

Specific Plan Notes

Purpose
The purpose of this specific plan is to permit a mixed use development that includes 301 residential / hotel units, 11,262 SF of commercial use, and up to 59,021 SF of office use.

General Plan & Policy Consistency
The property is within the Green Hills - Midtown Community Planning area last amended August 24, 2017. The structure plan for this property identifies this area as T3 Center Mixed Use Neighborhood.

Existing Conditions
The property currently includes one residential single story office building and surface parking over the rest of the site.

Fall Back Zoning
If a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subjected to the standards, regulations and requirements of the MUI-A zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

- Development Standards**
- Minor modifications to the SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enabling ordinance, or add vehicular access points not currently present or approved. The required fire flow, emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.
 - Approval of any specific plan does not exempt any parcel shown on the plan or any development within the SP from compliance with all provisions of the Metro Zoning Code with respect to floodplain, steep slopes, unstable soils, sinkholes, rock outcroppings, streams, springs and critical lots.
 - Any excavation, fill or disturbance of the existing ground must be done in accordance with stormwater management ordinance 78-840 and approved by the Metro Department of Water Services.
 - All surface parking areas must meet the "parking area screening and landscaping" requirements specified in the Metro Zoning Code.
 - According to the NRCS Soils Map, the soils on the property are McB (Maury Urban Land Complex, 2-7% slopes). These soils are not "problem soils" as noted in section 17.28.050 of the Metro Zoning Code.
 - Existing site slopes range from 2-10%. Proposed slopes will remain 3:1 or less.
 - A detailed signage plan will be submitted with the Final SP documents, if required.
 - All development with the boundaries of this plan shall be based on the requirements of the Americans with Disabilities Act and the Fair Housing Act.
 - All proposed public utilities and services shall be installed underground.
 - Final water & sewer service locations shall be submitted with the Final SP.
 - For development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the MUI-A zoning district as of the date of the applicable request or application.
 - The final site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
 - Architectural standards shall be submitted with the Final SP submittal.
 - Stormwater Pollution Prevention standards shall be submitted with the Final SP submittal.
 - It is intended that the total parking provided will be in excess of the minimum requirements of the Metro Nashville Zoning Code parking standards.
 - A Landscape Ordinance Plan shall be submitted with the Final SP submittal.
 - All driveways and sidewalks shall be concrete.
 - ROW dedication shall meet the Major and Collector Street Plan (MCSP). The appropriate ROW dedication shall be determined with the final site plan.
 - Building facades fronting the street shall provide a minimum of one principal entrance (doorway) and a minimum of 15% glazing.
 - Windows shall be vertically oriented at a ration of 1.5:1 or greater, except for dormers.
 - EIFS, vinyl siding and untreated wood shall be prohibited.

Public Works Construction Notes

- Proof rolling of all public street sub-grades is required in the presence of the Public Works' inspector. This request is to be made 24 hours in advance.
- Stop signs to be 30 inch x 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade.
- All signs to have 3M reflective coating.
- All utility boxes located in the right of way or in the sidewalk shall be approved by the MPW inspector prior to installation.
- All of the public sidewalk along the roadway shall follow the grade of the roadway and shall not be adjusted to meet private sidewalk connections. The adjustments shall be made out of the right of way.
- Drainage shall not flow over the sidewalk.
- Curb ramps shall have detectable warning strips.
- Driveway width can be sight adjusted at the discretion of the MPW inspector.
- Elevation of the curb and gutter is the responsibility of the contractor but once in place shall function as designed.
- Curb and gutter installed may be tested to verify flow to the storm drain system. Drainage shall not pool in roadways.
- Replace stormwater grates within public right of way with bike friendly grates.
- Final plans and road grades shall comply with the design regulations established by the Department of Public Works. Slopes along roadways shall not exceed 3 to 1.

Metro Stormwater Notes

- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Stormwater Management Ordinance No. 78-840 and approved by The Metropolitan Department of Water Services.
- Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any stormwater facilities within the property.
- Size driveways and culverts per the design criteria set forth by the Metro Stormwater management manual (minimum driveway culvert in Metro right-of-way is 15" CMP).
- Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to stormwater approval / comments only. The final lot count and details of the plan shall be governed by the appropriate storm water regulations at the time of final application.

Metro Water & Sewer Notes

- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approval.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the developer.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable Mylar in reverse and in digital (.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- All water mains must be located within the paved area including all blow-off assemblies.
- The contractor shall provide the record drawing information noted above to the engineer.

MWS Standard Private Utility Plan Notes

- All water and/or sewer services, along with appurtenances, shall be installed in accordance with specifications and standard details of the Metro Water Services.
- All connection to existing manholes shall be by coring and resilient connector method.
- Vertical Double Check Valve Assemblies, that are located in interior rooms, can only be used for fire services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Irrigation line shall be copper from the meter to the backflow preventer.
- The minimum fees outlined in the capacity letter must be paid before commercial construction plans can be approved.
- All sewer services shall be 6 inches in diameter, from the connection at the main until the first clean out assembly.
- Backflow device to remain accessible at all times.
- Plan size shall be 24"x36", and shall show contours around meter boxes.

NES Notes

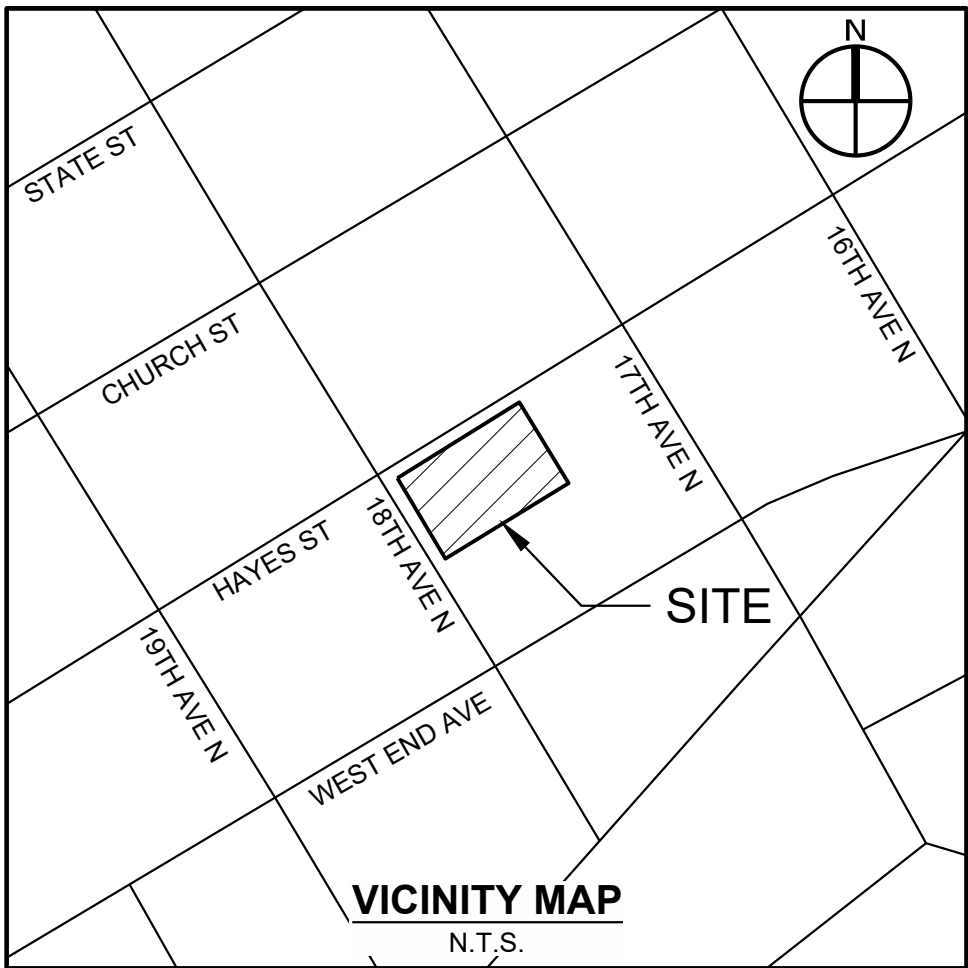
- NES can meet with the developer upon request to determine service options.
- Construction plans shall show any existing utilities easements on the property, the utility poles on the property, and the poles along the right-of-way.
- NES will need any road improvement plans to 18th Ave N or Hayes St.
- Existing poles, anchors, and overhead conductors that need to be relocated due to improvements may come at an additional cost to the developer.
- This development will be served with underground distribution and pad-mounted transformers.
- The riser pole should be placed on the development property.
- Additional underground infrastructure may be required in the form of switching cabinets, termination cabinets, and additional conduit in the event that the property is acquired in the future and for reliability.
- Final quantity and location of NES equipment to be determined by the NES Engineer after receiving final plans and electrical load information. An Exhibit 'B' design will be sent to the developer or representatives of the development for review. Suggestions or requests to the design should be made during the review process. Any changes requiring re-design, after this document has been signed, will be at the developer's cost.
- Multi-family portions of the development will be served with meter centers.
- The developer's vegetation design shall meet both Metro requirements and NES vegetation management requirements and clearances.
- NES facilities will not be allowed to sit in or to pass through retention areas including rain gardens, bio-retention, bio swales and the like. The includes primary duct between pad-mounted equipment, as well as service ducts to a meter or meter center.

FINAL SPECIFIC PLAN

AVALON MIDTOWN
HAYES ST. & 18TH AVE. N
NASHVILLE, DAVIDSON COUNTY, TN

CASE NO. 2020SP-028-002
COUNCIL BILL NO. 2020-417

MAP 92-12 PARCELS 465, 466, 467, 468 & 469



SHEET INDEX

	COVER
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	FINAL DEVELOPMENT PLAN
C3.00	GRADING & DRAINAGE PLAN
C3.01	EROSION CONTROL PLAN - STAGE 1
C3.02	EROSION CONTROL PLAN - STAGE 2
C3.03	STORM SEWER PLAN AND PROFILE
C4.00	SITE UTILITY PLAN
C4.01	OFFSITE WATERLINE
C4.02	OFFSITE WATERLINE PROFILE
C5.00	CIVIL DETAILS
C5.01	CIVIL DETAILS
LP1.0	OVERALL LANDSCAPE ORDINANCE PLAN
LP2.0	LANDSCAPE NOTES AND DETAILS

THESE SHEETS ARE
BOUND SEPARATELY

A5-01	BUILDING SECTIONS
A5-02	BUILDING SECTIONS



Planning | Engineering
Landscape Architecture

PLANNER | ENGINEER

CIVIL SITE DESIGN GROUP, PLLC
2305 KLINE AVENUE, SUITE 300
NASHVILLE, TENNESSEE 37211
PHONE: 615-248-9999
CONTACT: JEREMY WESTMORELAND, P.E.
EMAIL: jeremyw@csdgt.com

DEVELOPER

MACK MCCLUNG
VASTLAND COMMUNITIES
1720 WEST END AVENUE, SUITE 600
NASHVILLE, TN 37203
PHONE: 615-620-7810
FAX: 615-329-1790
EMAIL:

DEVELOPMENT SUMMARY

Council District:	21
Council Member:	Brandon Taylor
Owners of Record:	Vastland Development Partnership
SP Name:	Avalon Midtown
SP Number:	2020SP-028-001
Designer:	Civil Site Design Group, PLLC 2305 Kline Avenue, Suite 300 Nashville, TN 37211 Phone: (615) 248-9999 Contact: Jeremy Westmoreland, P.E. E-mail: jeremyw@csdgt.com
U.S. FEMA FIRM:	47037C0243H dated April 5, 2017
Plan Preparation:	March 31, 2021

JOB NO.: 19-151-01

ISSUE SET:

Final Specific Plan

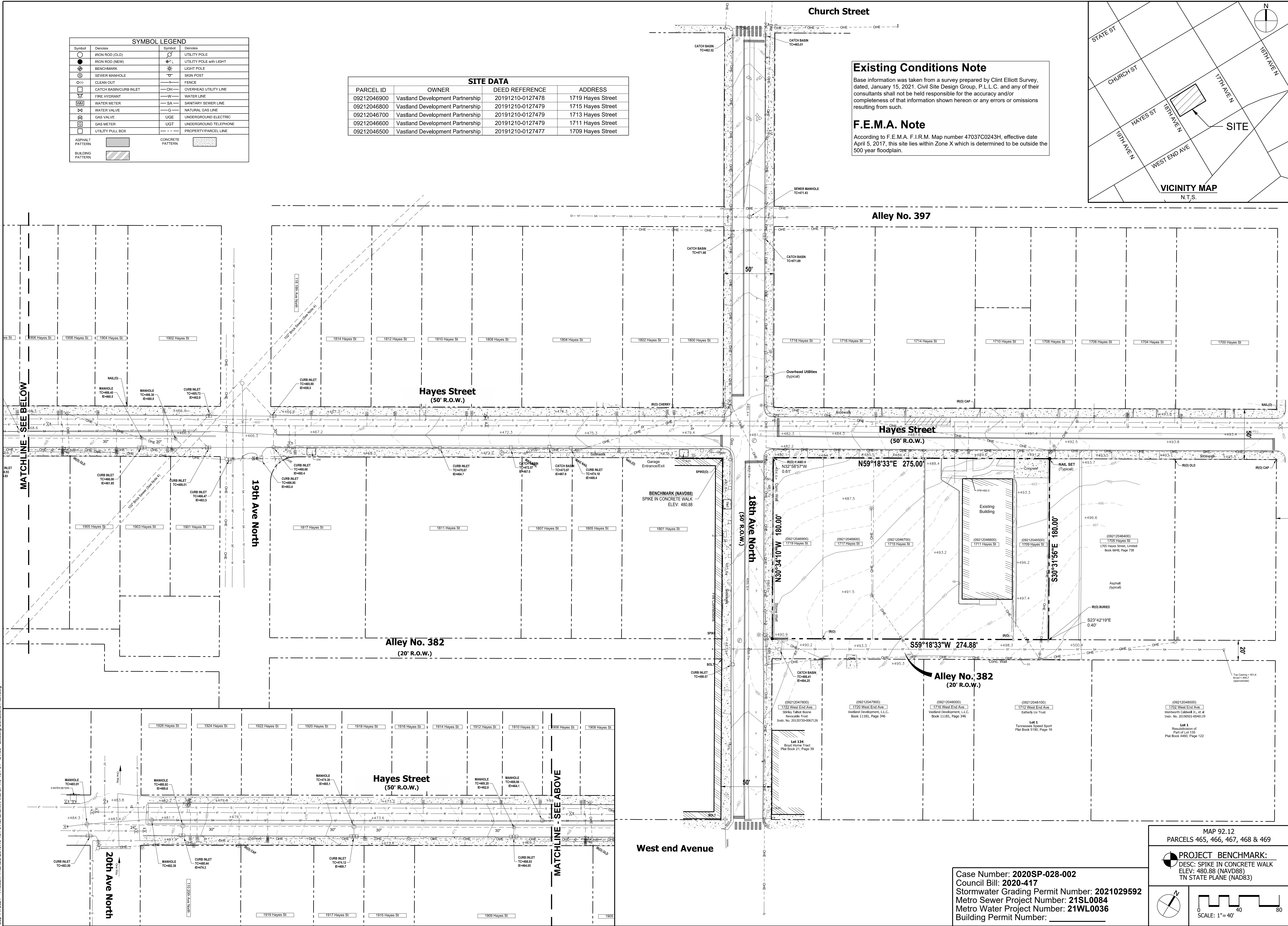
ISSUE DATE: March 31, 2021

REVISION SCHEDULE:

No.	Description	Date
1	Stormwater Comments	05/11/21
2	Final SP Resubmittal	05/27/21
3	MWS Resubmittals	07/16/21
4	MWS Resubmittals	08/17/21
5	Final SP Resubmittal	09/14/21

REVISION: | DRAWN: AM | CHECKED: KG





CSDG
Planning | Engineering
Landscape Architecture
2305 Kline Ave, Ste 300
Nashville, TN 37211
615.248.9999
csdgn.com

SEAL

KEVIN F. GANGAWARE
REGISTERED ENGINEER
No. 021990
STATE OF TENNESSEE

Avalon Midtown
Hayes St. & 18th Ave. N
Nashville, Davidson Co,
Tennessee 37203

ISSUE SET:
Final Specific Plan

ISSUE DATE: March 31, 2021

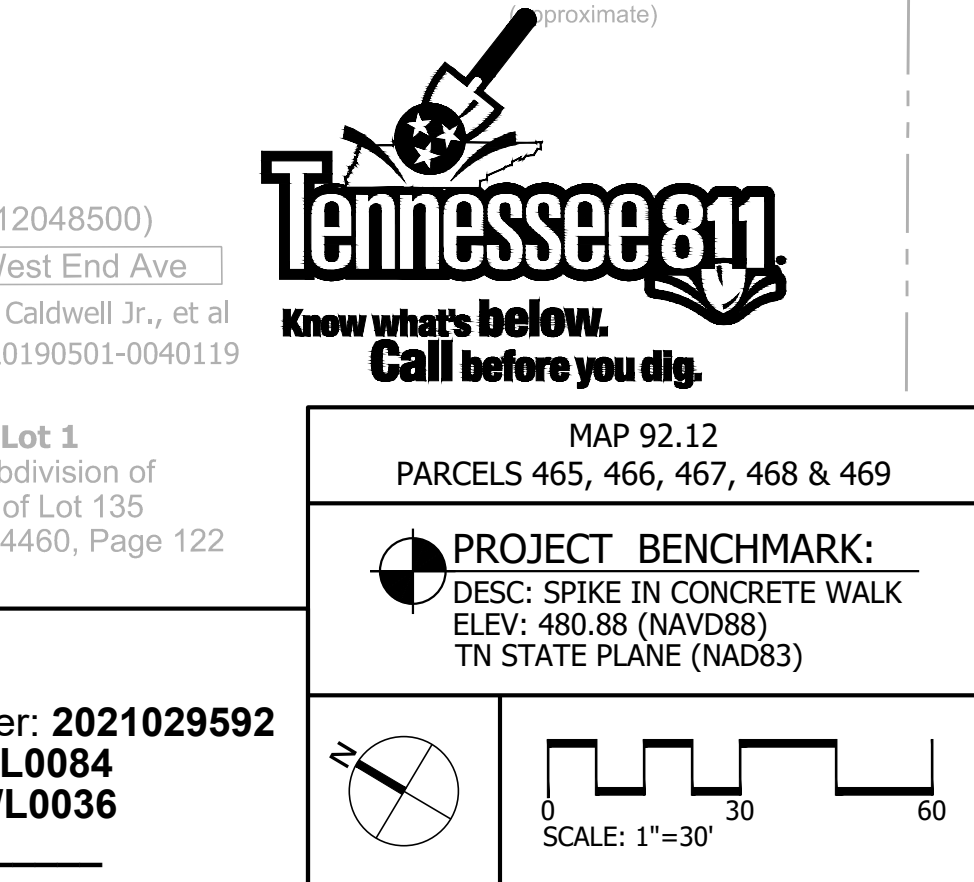
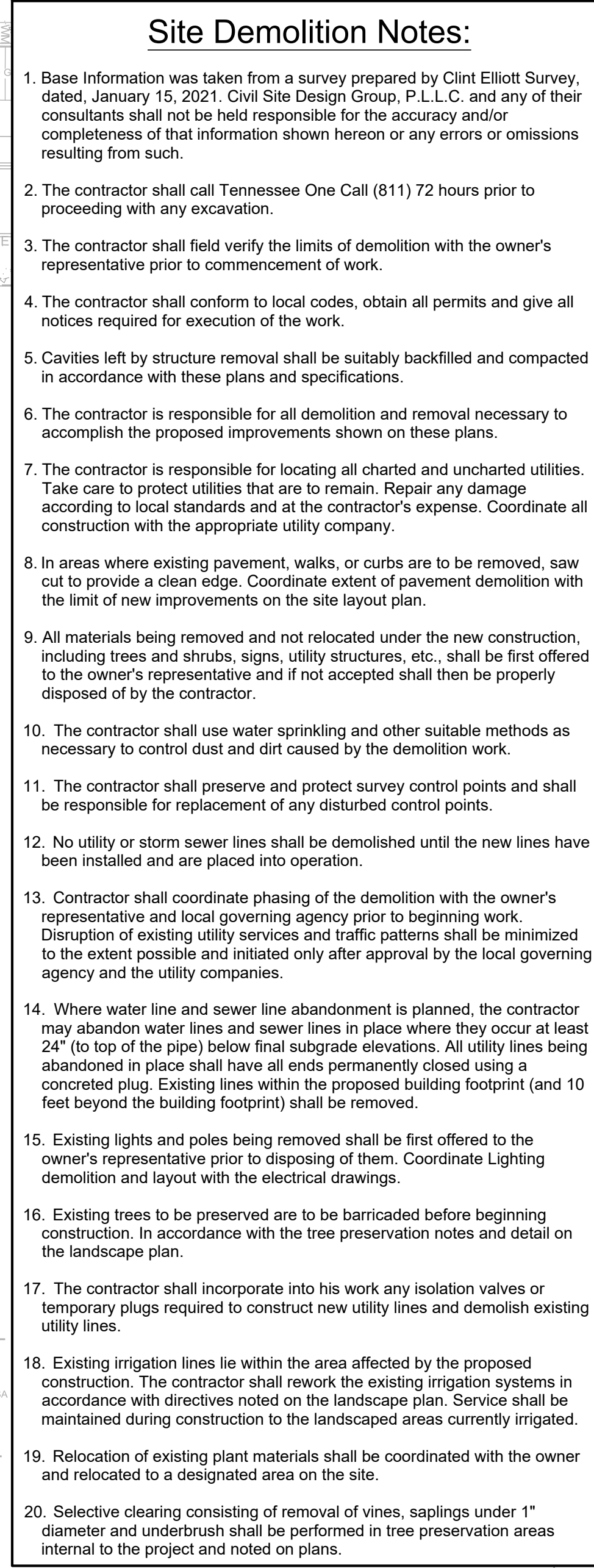
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REVISION: DRAWN: AM CHECKED: KG

EXISTING CONDITIONS PLAN

C1.00
PROJECT NO.: 19-151-01



Hayes St. & 18th Ave
Nashville, Davidson
Tennessee 37203

PROJECT NO.: 19-151-0

PROJECT NO.: 19-151-0



2305 Kline Ave, Ste 300
Nashville, TN 37211
615.248.9999
csdgt.com

Hayes St. & 18th Ave. N
Nashville, Davidson Co,
Tennessee 37203

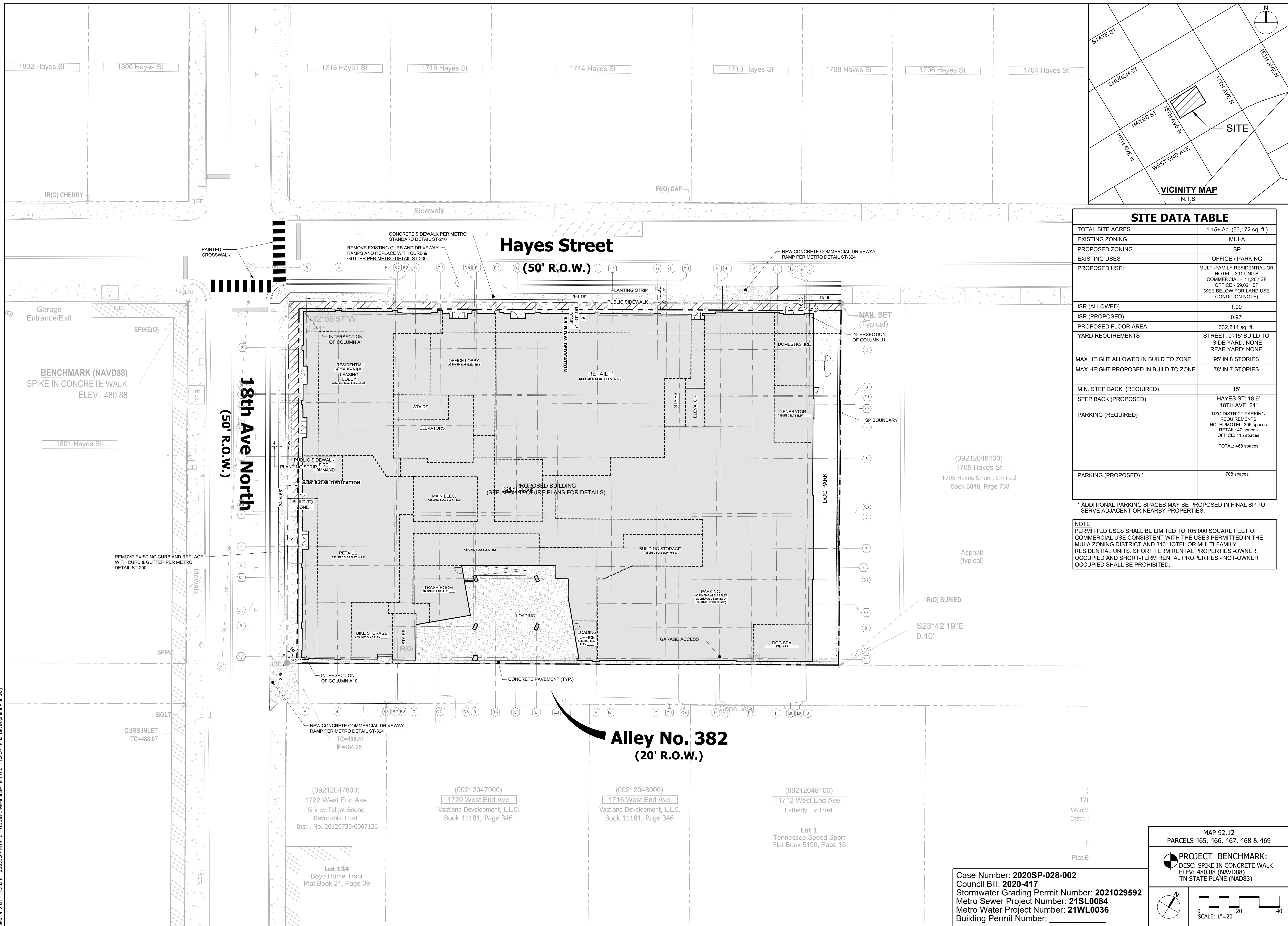
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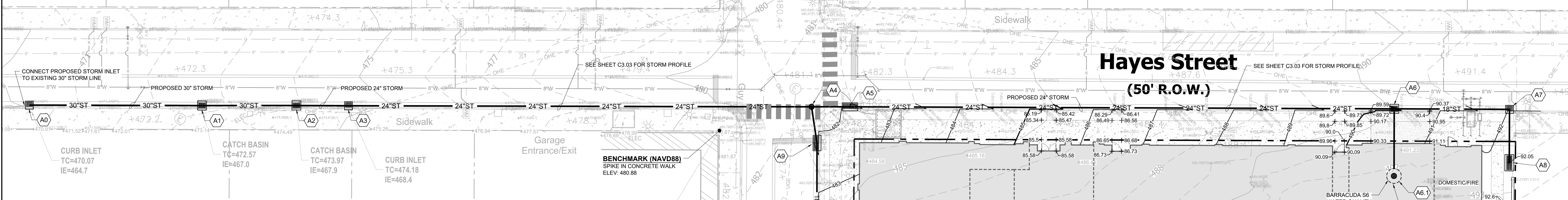
REVISION:	DRAWN:	CHECKED:
	AM	KG

C2.00

PROJECT NO.: 19-151-01



Hayes Street
(50' R.O.W.)



Site Grading, Drainage & Erosion Control Notes:

- The disturbed area for this project is approximately 1.14± acres.
- The contractor shall comply with all pertinent provisions of the manual of accident prevention and construction issued by AGC of America, Inc. and the safety and health regulations of construction issued by the U.S. Department of Labor.
- The contractor shall call "Tennessee One Call" (811) 72 hours prior to proceeding with any excavation.
- If any springs or underground streams are exposed during construction, permanent French drains may be required. The drains shall be specified and located during construction as required by the conditions which are encountered, and shall be approved by the engineer.
- Stockpiled topsoil or fill material shall be treated so no sediment run-off will contaminate surrounding areas or enter nearby streams.
- Clean silt barriers when they are approximately 50% filled with sediment or as directed by the owner's representative. Silt barriers shall be replaced as effectiveness is significantly reduced, or as directed by the owner's representative.
- All new pipes under existing paved areas shall be backfilled to the top of subgrade with # 57 crushed stone.
- Sediment removed from sediment control structures is to be placed at a site approved by the local governing authority. It shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the run-off. Cost for this treatment is to be included in the bid price for earthwork. The contractor shall obtain the disposal site as part of his work.
- Reinforced concrete storm drainage pipe shall be Class III. Corrugated metal pipe shall be 14 gauge unless otherwise noted.
- Minimum grade on asphalt or concrete paving shall be 1.0%.
- Construct silt barriers before beginning any grading operations.
- This grading & drainage plan is not a determination or guarantee of the suitability of the subsurface conditions for the work indicated. Determination of the subsurface conditions for the work indicated is solely the responsibility of the contractor.
- Do not disturb vegetation or remove trees except when necessary for grading purposes.
- Top of grate elevations and location of coordinates for drainage structures shall be installed as shown on the plans unless otherwise noted. The grates shall slope longitudinally with the pavement grades. Coordinates provided are for the center of the grate (at the face of curb where applicable).
- Any site used for disposal and/or stockpile of any material shall be properly permitted for such activity. It is the responsibility of the contractor to see that all required permits are secured for each property utilized. A copy of the approved permit must be provided to the inspector prior to commencement of work on any property. Failure to do so may result in the contractor removing any illegally placed material at his own expense.
- Respread topsoil (6 inch minimum thickness), seed, and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. Contractor shall take whatever means necessary to establish permanent soil stabilization.
- Proposed contour lines and spot elevations are the result of an engineered grading design and reflect a planned intent with regard to drainage and movement of materials. Should the contractor have any question of the intent or any problem with the continuity of grades, the engineer shall be contacted immediately.
- All cut and fill slopes shall be 3 horizontal to 1 vertical or flatter unless otherwise indicated on plans.
- Positive drainage shall be established as the first order of work and shall be maintained at all times during and after construction. Soil softened by perched water in foundation and pavement areas must be undercut and replaced with suitable fill materials.
- Remove sediment from all drainage structures before acceptance by local governing agency, or as directed by the owner's representative.
- Contractor shall conform to all applicable codes and obtain approval as necessary before beginning construction.
- Remove the temporary erosion and water pollution control devices only after a solid stand of grass has been established on graded areas and when in the opinion of the owner's representative, they are no longer needed.
- Provide temporary construction access(es) at the point(s) where construction vehicles exit the construction area. Maintain public roadways free of tracked mud and dirt.
- All earthwork, including the excavated subgrade and each layer of fill, shall be monitored and approved by a qualified geotechnical engineer, or his representative.
- All fill material on this project shall be approved by the geotechnical engineer prior to placement. This material shall be placed in lifts and compacted as directed by the geotechnical engineer. The contractor shall be responsible for employing a geotechnical engineer if one is not provided by the owner.
- All drainage construction materials and installation shall conform to the requirements and specifications of the local governing agency.
- It shall be the contractor's responsibility to waste excess earth material off site at no additional cost to the owner. The contractor shall first offer the excess material to the owner. If not accepted by the owner, the contractor shall dispose of the material off site. It shall also be the contractor's responsibility to import suitable material (at no additional cost to the owner) for earthwork operations if sufficient amounts of earth material are not available on site.
- The contractor shall check all existing grades and dimensions in the field prior to beginning work and report any discrepancies to the engineer. Commencement of any grading work constitutes the contractor's acceptance of the existing grade as matching those shown on the plans.

- Strip topsoil from all cut and fill areas and stockpile. Upon completion of general grading respread the topsoil over all disturbed areas, to a minimum depth of 6". Contractor shall supply additional topsoil if insufficient quantities exist on site. Remove any excess topsoil from site.
- The contractor shall take special care to compact fill sufficiently around and over all pipes, structures, valve stems, etc., inside the proposed paved areas to avoid settlement. Any settlement during the warranty period shall be restored by the contractor at no additional cost to the owner.
- In no case shall slope height, slope inclination, or excavation depth, including trench construction, exceed those specified in local, state and federal regulations, specifically the current OSHA Health and Safety Standards for Excavations (29 CFR Part 1926) shall be followed.
- All fill slopes and cut slopes on this project shall be reviewed by the owner's geotechnical engineer during construction to confirm that the slopes are (will be) stable. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
- All fill on this project shall be installed and compacted in accordance with the owner's geotechnical engineer's recommendation. The owner's geotechnical engineer shall review all filling operations to confirm the earthwork is properly installed and compacted. It is the contractor's responsibility to have this conformation in writing from the geotechnical engineer.
- Relocation of existing plant materials shall be coordinated with the owner and relocated to a designated area on site.
- All horizontal and vertical information of proposed culverts shown hereon which accept/discharge flows to/from existing channels are approximate utilizing topographic drawings. The final horizontal and vertical alignments shall be field located by the contractor prior to the ordering of materials or commencement of construction and shall notify the engineer of any discrepancies to what was designed.
- The contractor shall coordinate the exact location of the storm drain connections at the building with the plumbing plans.
- The location of all diversion swales and ditches shall be field adjusted to avoid trees as possible. The contractor shall walk the alignment of these swales and ditches in the field to verify avoidance of trees.
- The depth of foundations and/or footings for buildings and walls adjacent to bio-retention areas shall be based on the excavated depth of the bio-retention area and not the planting surface elevation.

Metro As-Built Note:

"In accordance with the Metro Stormwater Management Manual, Volume 1, Section 3.9, As-Built Certifications, MWS Stormwater Division must approve the following as-builts prior to issuance of the use and occupancy permit:

- Underground detention and water quality infrastructure
- Above ground detention and water quality infrastructure
- Public storm sewer infrastructure
- Cut and fill in the floodplain
- Sink Hole alterations
- Bioretention
- Permeable Pavers

The engineer shall contact Stormwater Development Review staff for submittal requirements."

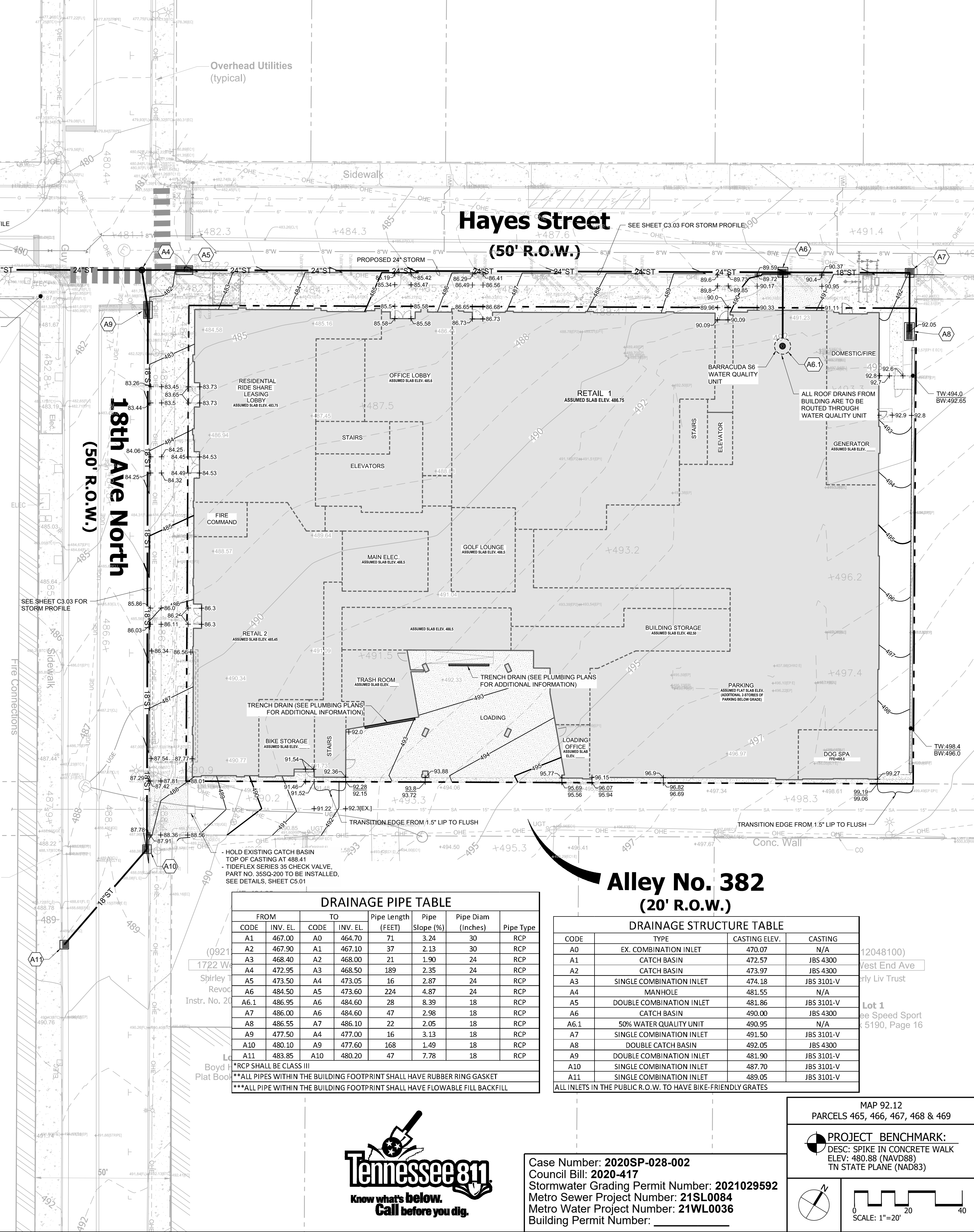
Metro As-Built Requirements:

- A certification letter from TN registered P.E. stating that the site has been inspected and that the stormwater management system and stormwater control measures (both structural and non-structural) are complete and functional in accordance with the plans approved by MWS.
- An as-built LID spreadsheet.
- Hydrologic and hydraulic calculations for as-built conditions, as required.
- As-built drawings showing final topographic features of all these facilities. This shall include invert elevations of outlet control structures.
- Any deviations from the approved plans shall be noted on as-built drawings submitted.
- Copy of as-built plan CAD file on a CD and should be registered to the TN State Plane Coordinate System, North American Datum 1983 (NAD83). Data should be placed in separate layers and should be labeled/named for easy identification.
- Cut and fill balance certification for floodplain and sinkhole alterations.
- Water quality buffers shall be surveyed and included with the as-built submittal.
- Any public (to become the responsibility of Metro to maintain) stormwater infrastructure shall be video-inspected to verify proper installation with the video recording and any associated inspection report submitted as part of as-built record.
- Additional testing may be required as if warranted by video inspection.

Sep 14, 2021 - 11:38am T:\CADD\2019\19-151-01\CAD\Civil\Final\SP19-151-01 - C3.00 - Grading and Drainage Plan.dwg

BENCHMARK (NAVD88)
SPIKE IN CONCRETE WALK
ELEV= 480.88

18th Ave North
(50' R.O.W.)



DRAINAGE PIPE TABLE						
FROM		TO		Pipe Length (FEET)	Pipe Slope (%)	Pipe Diam (Inches)
CODE	INV. EL.	CODE	INV. EL.			Pipe Type
A1	467.00	A0	464.70	71	3.24	30 RCP
A2	467.90	A1	467.10	37	2.13	30 RCP
A3	468.40	A2	468.00	21	1.90	24 RCP
A4	472.95	A3	468.50	189	2.35	24 RCP
A5	473.50	A4	473.05	16	2.87	24 RCP
A6	484.50	A5	473.60	224	4.87	24 RCP
A6.1	486.95	A6	484.60	28	8.39	18 RCP
A7	486.00	A6	484.60	47	2.98	18 RCP
A8	486.55	A7	486.10	22	2.05	18 RCP
A9	477.50	A4	477.00	16	3.13	18 RCP
A10	480.10	A9	477.60	168	1.49	18 RCP
A11	483.85	A10	480.20	47	7.78	18 RCP
*RCP SHALL BE CLASS III						
**ALL PIPES WITHIN THE BUILDING FOOTPRINT SHALL HAVE RUBBER RING GASKET						
***ALL PIPE WITHIN THE BUILDING FOOTPRINT SHALL HAVE FLOWABLE FILL BACKFILL						

Alley No. 382
(20' R.O.W.)

DRAINAGE STRUCTURE TABLE			
CODE	TYPE	CASTING ELEV.	CASTING
A0	EX. COMBINATION INLET	470.07	N/A
A1	CATCH BASIN	472.57	JBS 4300
A2	CATCH BASIN	473.97	JBS 4300
A3	SINGLE COMBINATION INLET	474.18	JBS 3101-V
A4	MANHOLE	481.55	N/A
A5	DOUBLE COMBINATION INLET	481.86	JBS 3101-V
A6	CATCH BASIN	490.00	JBS 4300
A6.1	50% WATER QUALITY UNIT	490.95	N/A
A7	SINGLE COMBINATION INLET	491.50	JBS 3101-V
A8	DOUBLE CATCH BASIN	492.05	JBS 4300
A9	DOUBLE COMBINATION INLET	481.90	JBS 3101-V
A10	SINGLE COMBINATION INLET	487.70	JBS 3101-V
A11	SINGLE COMBINATION INLET	489.05	JBS 3101-V
ALL INLETS IN THE PUBLIC R.O.W. TO HAVE BIKE-FRIENDLY GRATES			

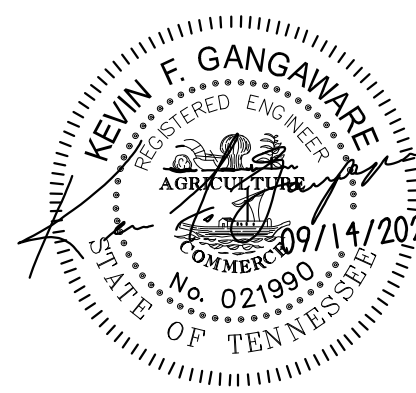
MAP 92.12
PARCELS 465, 466, 467, 468 & 469

PROJECT BENCHMARK:
DESC: SPIKE IN CONCRETE WALK
ELEV: 480.88 (NAVD88)
TN STATE PLANE (NAD83)



Case Number: 2020SP-028-002
Council Bill: 2020-417
Stormwater Grading Permit Number: 2021029592
Metro Sewer Project Number: 21SL0084
Metro Water Project Number: 21WL0036
Building Permit Number:

SEAL



Avalon Midtown
Hayes St. & 18th Ave. N
Nashville, Davidson Co,
Tennessee 37203

ISSUE SET:
Final Specific Plan

ISSUE DATE: March 31, 2021

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REVISION: | DRAWN: AM | CHECKED: KG

GRADING AND
DRAINAGE PLAN

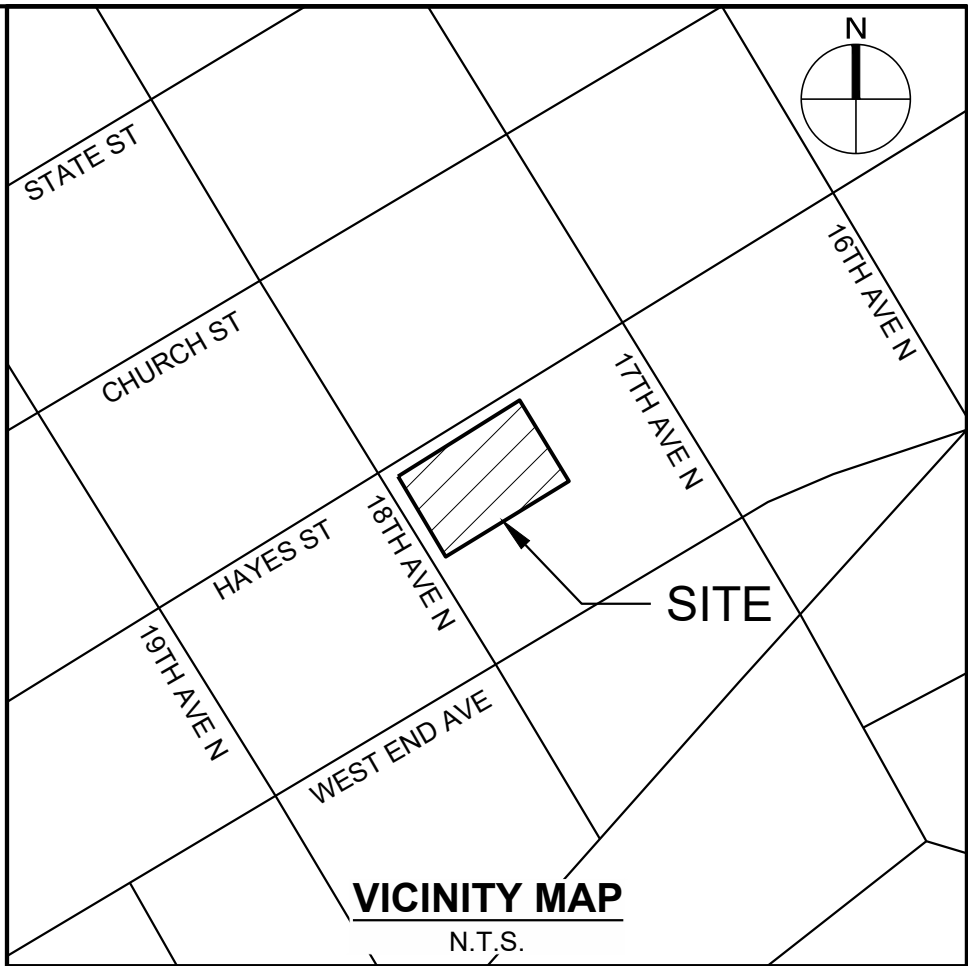
C3.00
PROJECT NO.: 19-151-01

Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro CP-10 & CP-13, respectively. Contractor to coordinate exact location with N.P.D.E.S. department during pre-construction meeting. Grading Permittee to include BMP's designed to control site wastes such as discarded building materials, chemicals, litter, and sanitary wastes that may cause adverse impacts to water quality. The location of and / or notes referring to said BMP's shall be shown on the EPSC Plan.

NOTE: A project will not be scheduled for a Pre-Construction Meeting until the State Construction General Permit NOC letter is submitted.

- EE** EROSION EELS
(TCP-14)
- CE** CONSTRUCTION ENTRANCE
(TCP-03)
- CW** CONCRETE WASHDOWN
(CP-10 & CP-13)
- IP** INLET PROTECTION
(TCP-24)
- SF** SILT FENCE
(TCP-13)

1. The contractor is responsible for making sure that a copy of the SWPPP is retained on-site at or near the construction entrance. If a construction trailer is not available, the contractor shall provide a waterproof enclosure near the construction entrance to place the SWPPP. In addition to the SWPPP, the contractor shall make certain that the following information must also be posted at the construction site (in a construction trailer or in the work area):
 - a) A copy of the notice of coverage (NOC) with the NPDES permit tracking number for the construction project number
 - b) name, company name, email address, telephone number and address of the project site owner or a local contact person
 - c) a brief description of the project
 - d) the location of the SWPPP if an on-site location for storing the plan is not available.
2. The owner of this project site will provide erosion control measures as shown on this SWPPP. Once the owner sells this property, the new property owner will be required to obtain coverage under this permit from the governing federal, state and local agencies and the new property owner shall assume operational control and responsibility for the portion of the site that he/she purchases.



Nashville, TN 37211
615.248.9999
csdgt.com

Hayes St. & 18th Ave. N
Nashville, Davidson Co.,
Tennessee 37203

No.	Description	Date
1	Stormwater Comments	05/11/21
2	Final SP Resubmittal	05/27/21
3	MWS Resubmittals	07/16/21
4	MWS Resubmittals	08/17/21
5	Final SP Resubmittal	09/14/21

[illegible]

C3.01

PROJECT NO.: 19-151-01

Concrete Washdown Note:

Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro CP-10 & CP-13, respectively. Contractor to coordinate exact location with N.P.D.E.S. department during pre-construction meeting. Grading Permittee to include BMP's designed to control site wastes such as discarded building materials, chemicals, litter, and sanitary wastes that may cause adverse impacts to water quality. The location of and / or notes referring to said BMP's shall be shown on the EPSC Plan.

Tennessee Construction General Permit Notice of Coverage (NOC) Certification:

1. The project associated with these submitted plans is covered under Tennessee Construction General Permit TNR244967. The Total Disturbed Area is: ± 1.27 acres.

Check all that apply: This site discharges into waters identified by TDEC as:
☐ Impaired for sedimentation ☐ Impaired for habitat alteration ☐ Exceptional

Signature: *[Signature]* Date: 04/30/2020

Circle one: Developer Project Engineer Other _____

Please attach a copy of the Notice of Coverage under the Construction General Permit.

NOTE: A project will not be scheduled for a Pre-Construction Meeting until the State Construction General Permit NOC letter is submitted.

SWPPP LEGEND

- EE** EROSION EELS (TCP-14)
- CE** CONSTRUCTION ENTRANCE (TCP-03)
- CW** CONCRETE WASHDOWN (CP-10 & CP-13)
- IP** INLET PROTECTION (TCP-24)
- SF** SILT FENCE (TCP-13)

TOTAL DISTURBED AREA = ± 1.27 ACRES

Hayes Street (50' R.O.W.)

18th Ave North (50' R.O.W.)

Alley No. 382 (20' R.O.W.)

BENCHMARK (NAVD88) SPIKE IN CONCRETE WALK ELEV: 480.88

Garage Entrance/Exit

Existing Building

Conc. Wall

Curb Inlet

Catch Basin

Property Line, Typ.

Limits of Disturbance, Typ.

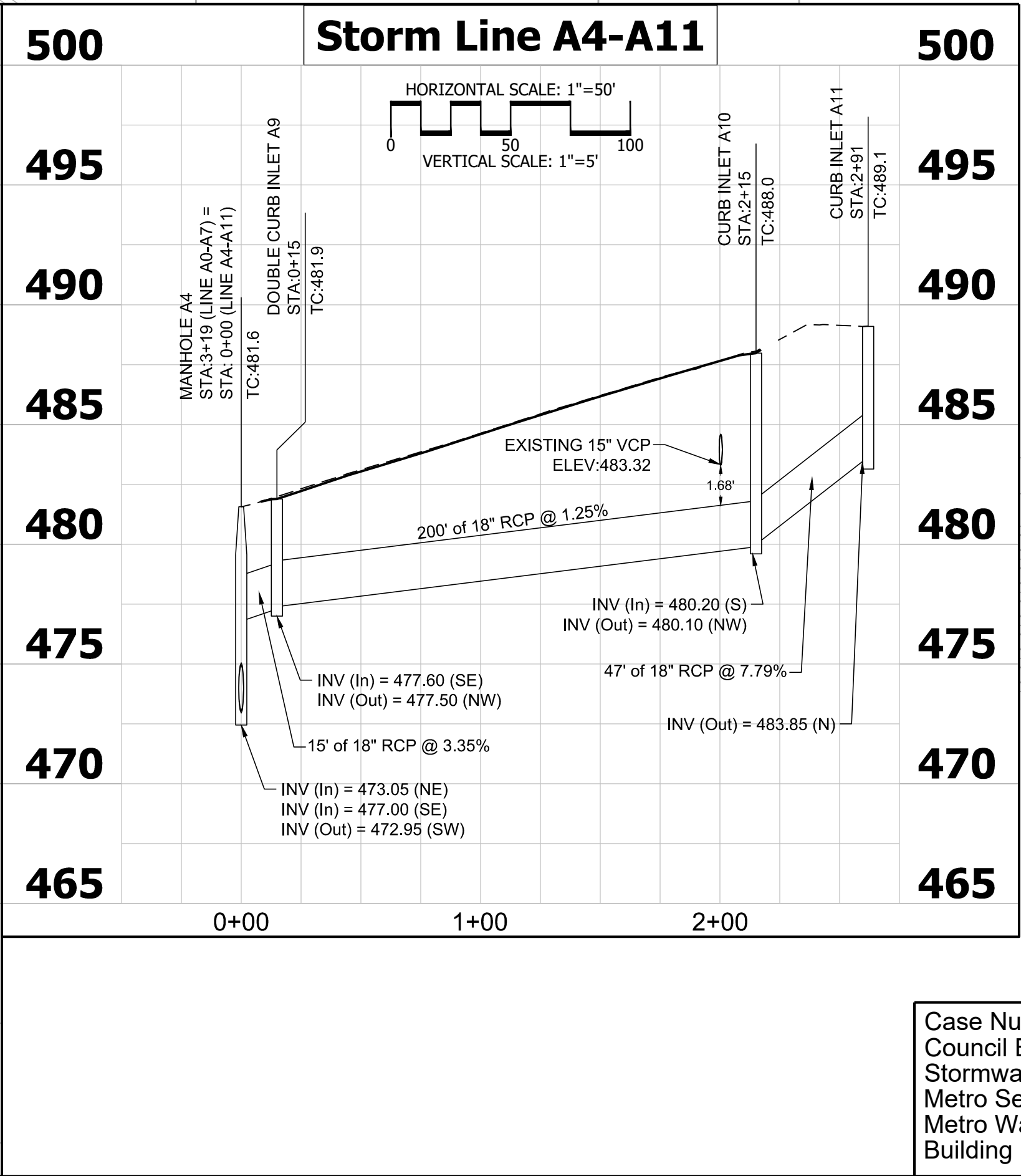
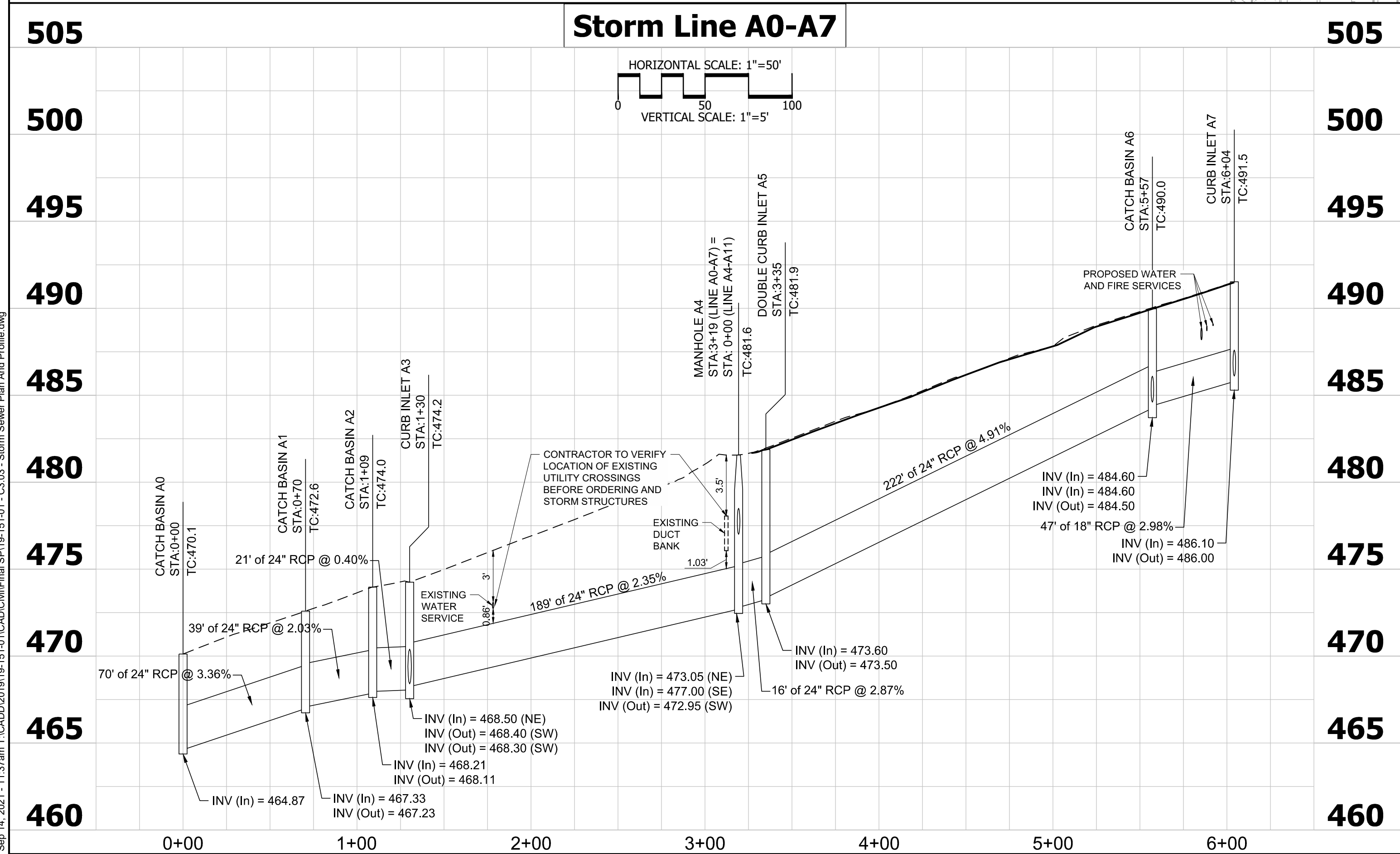
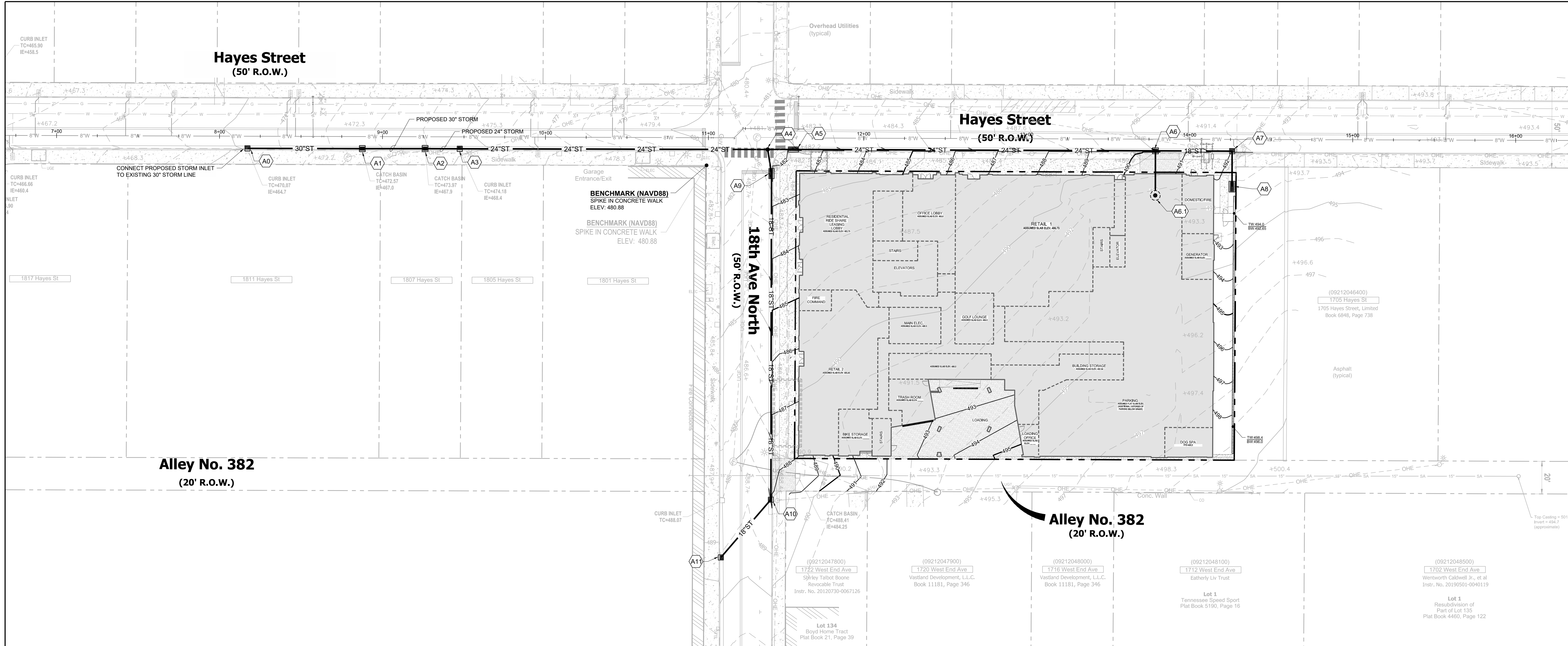
Site Outfall
LAT: N36.15400
LONG: W86.79662

Lot 134
Boyd Home Tract
Plat Book 21, Page 39

Lot 1
Tennessee Speed Sport
Plat Book 5190, Page 16

Tennessee 811
Know what's below.
Call before you dig.

Case Number: **2020SP-028-002**
Council Bill: **2020-417**
Stormwater Grading Permit Number: **2021029592**
Metro Sewer Project Number: **21SL0084**
Metro Water Project Number: **21WL0036**
Building Permit Number: _____

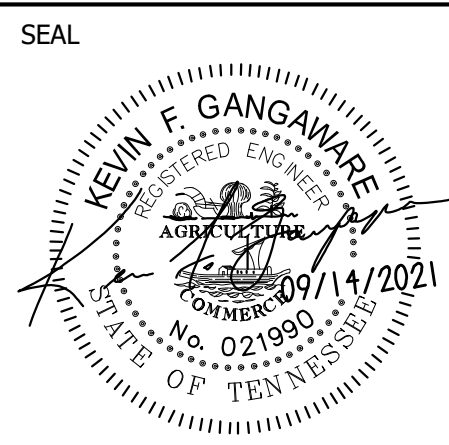
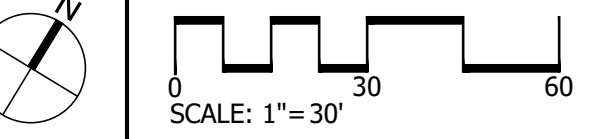


SITE DATA			
PARCEL ID	OWNER	DEED REFERENCE	
09212046900	Vastland Development Partnership	20191210-0127478	1719
09212046800	Vastland Development Partnership	20191210-0127479	1719
09212046700	Vastland Development Partnership	20191210-0127479	1719
09212046600	Vastland Development Partnership	20191210-0127479	1719
09212046500	Vastland Development Partnership	20191210-0127479	1719



Case Number: **2020SP-028-002**
Council Bill: **2020-417**
Stormwater Grading Permit Number: **2021029592**
Metro Sewer Project Number: **21SL0084**
Metro Water Project Number: **21WL0036**
Building Permit Number: _____

PROJECT BENCHMARK:
DESC: SPIKE IN CONCRETE WALK
ELEV: 480.88 (NAVD88)
TN STATE PLANE (NAD83)



REVISION SCHEDULE:		
No.	Description	Date
1	Stormwater Comments	05/11/21
2	Final SP Resubmittal	05/27/21
3	MWS Resubmittals	07/16/21
4	MWS Resubmittals	08/17/21
5	Final SP Resubmittal	09/14/21

REVISION:	DRAWN: AM	CHECKED: KG
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es St. & 18th Ave. N
hville, Davidson Co,
ennessee 37203

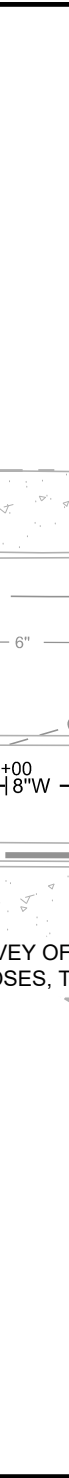
PROJECT NO. : 10.151.01



1. All water and sewer construction shall be in accordance with specifications and standards details of the Metro Water Services.
2. The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
3. The contractor is to provide and maintain the construction identification sign for private development approved.
4. After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the developer.
5. All connections to existing manholes shall be by boring and resilient connector method.
6. Reduced Pressure Backflow Prevention Devices (RPBD) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
7. All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
8. Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans in digital (DWG and PDF) format. All drawings must be completed and submitted prior to the acceptance of the sewers or water mains into the public system and any connections being made.
9. a. Sewer plans shall be sealed by a licensed professional engineer and/or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to actual corners and lines and/or station and offset from sewer centerline to end of service line and from the top of the end of the service line, shall reflect all alignment and grade changes.
10. a. Water line plans shall be sealed by a licensed professional engineer and/or a registered land surveyor and shall include offset distance from the roadway centerline or property line to right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable.
9. Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
10. Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
11. All water mains must be located within the paved area including all below- or above-assemblies.
12. All lead or galvanized water service lines encountered with this project shall be reinstated with copper of like size from the water main to the meter box.
13. Domestic and irrigation water meters and associated appurtenances shall not be placed in or under a paved or impervious surface other than the portion of the service located in the right of way.
14. Sanitary sewer taps shall be placed at the lowest adjacent sewer main elevation for each structure and shall not be located in or under a paved or improved surface other than the portion within the right of way.

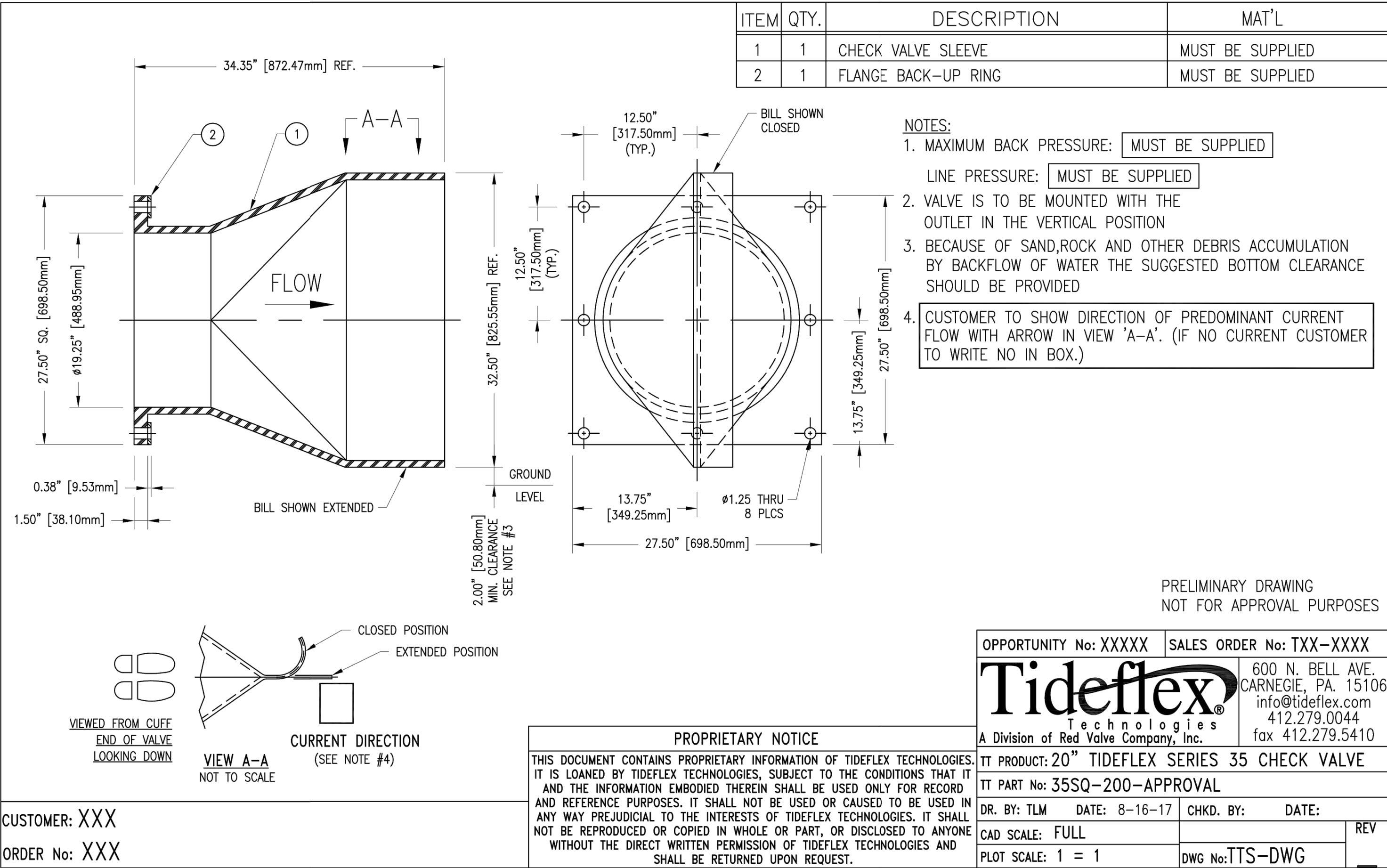
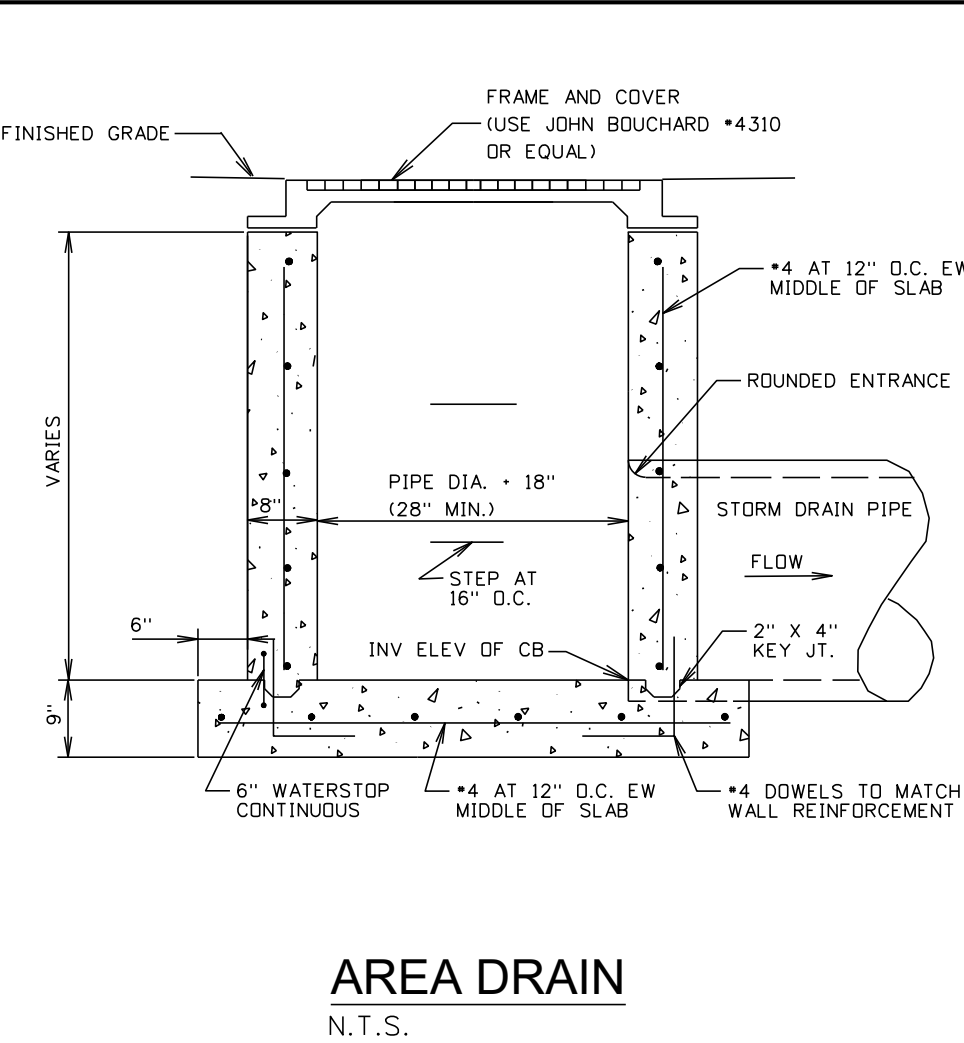
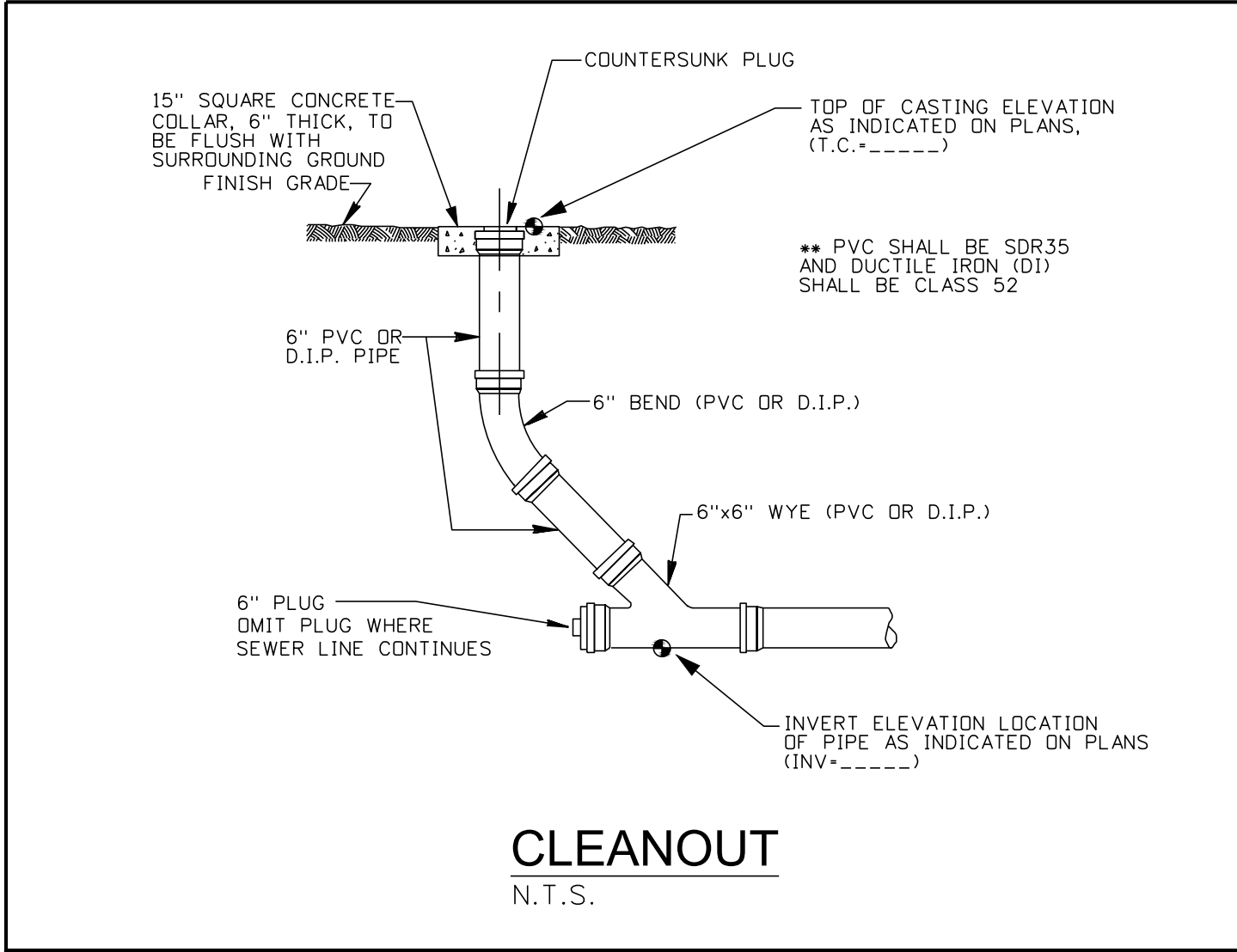


KEVIN F. GANGAWARE
REGISTERED ENGINEER
AGRICULTURE
COMMERCIAL
No. 021990
09/14/2021
STATE OF TENNESSEE



PROJECT NO.: 19-151-01

Sep 14 2021 - 11:37am T:\CADD\2019\19-151-01\CAD\Civil\Final SP\19-151-01 - C4 01 - Offsite Waterline.dwg



Electric Service Guidelines

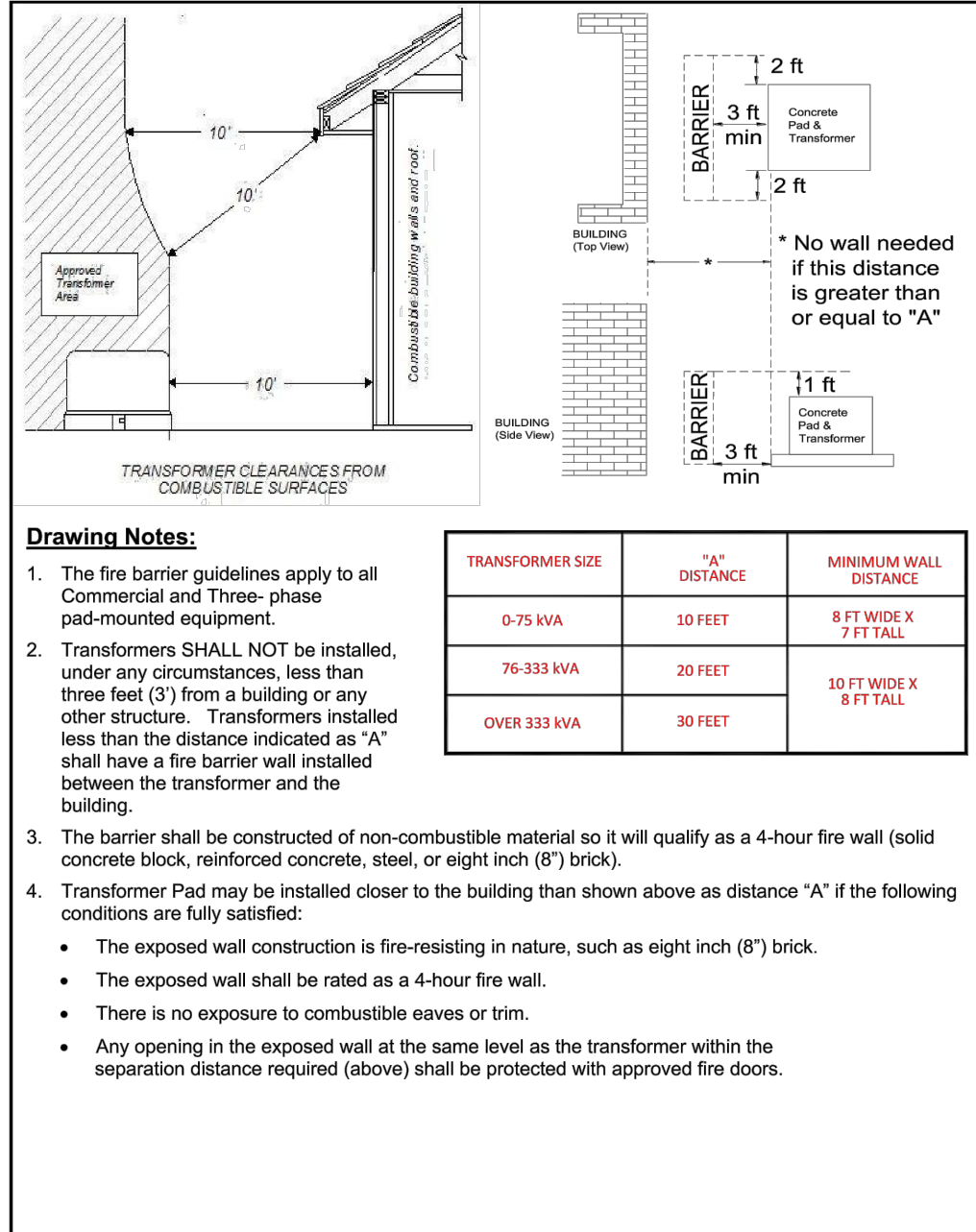
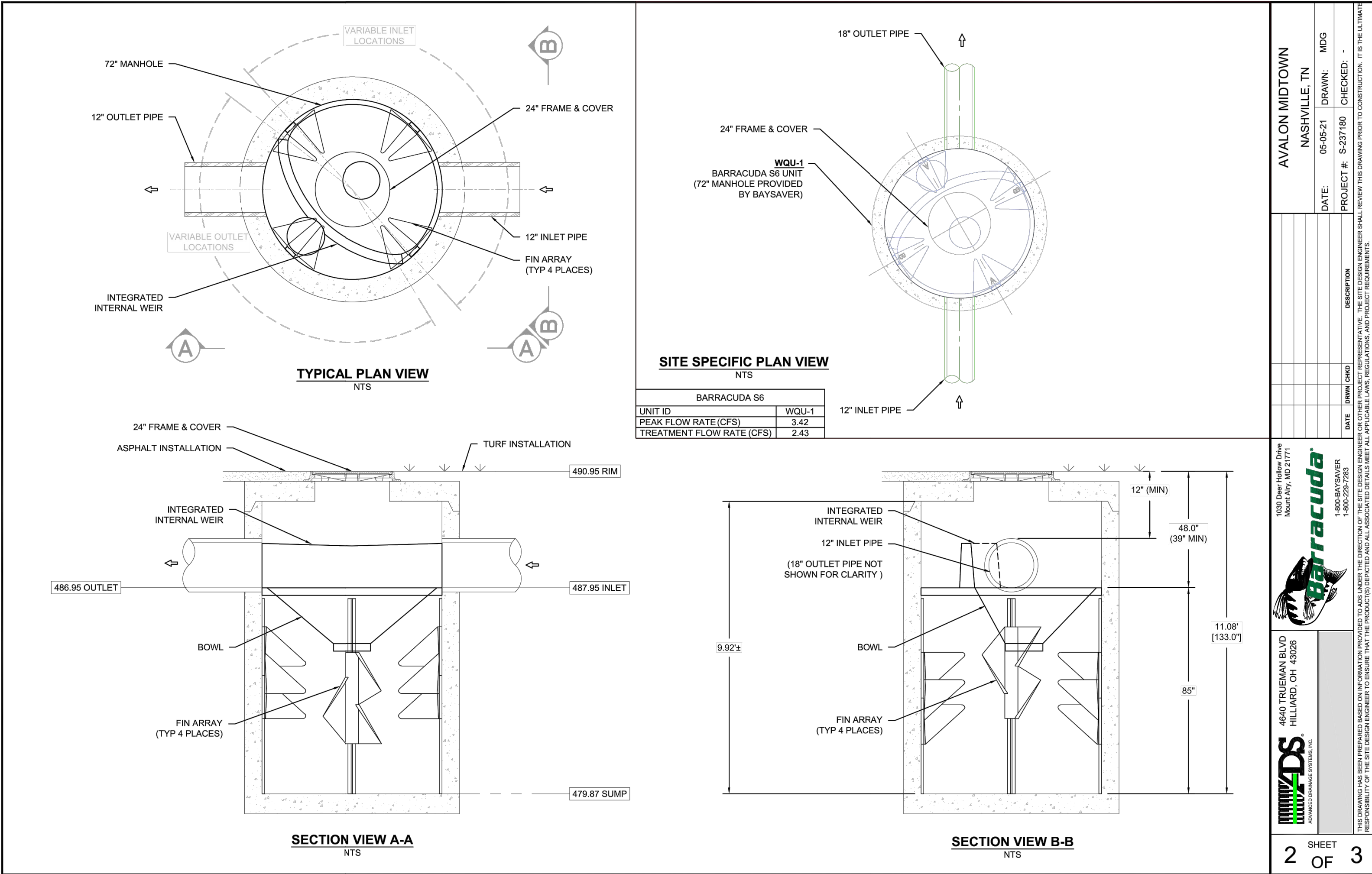
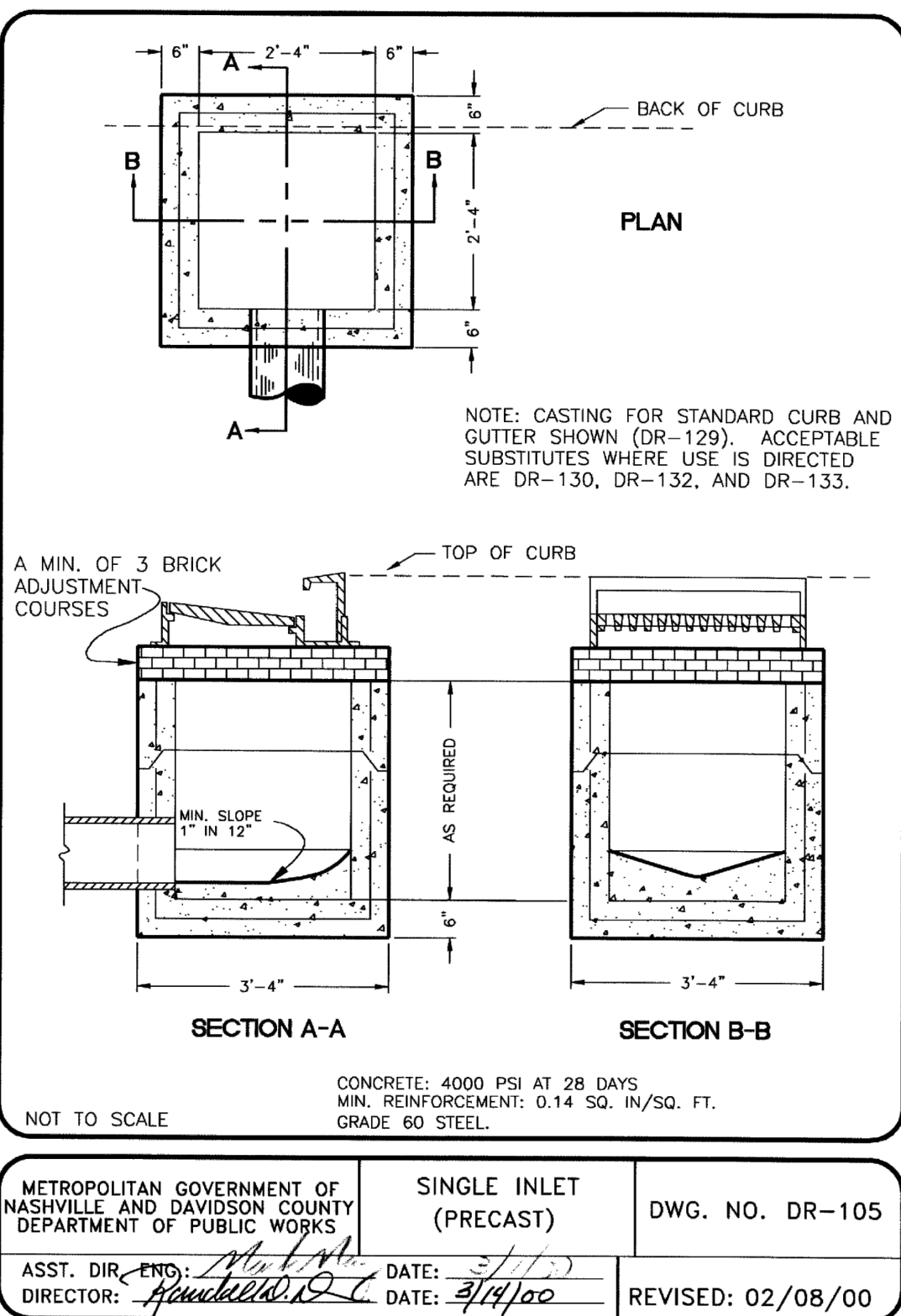
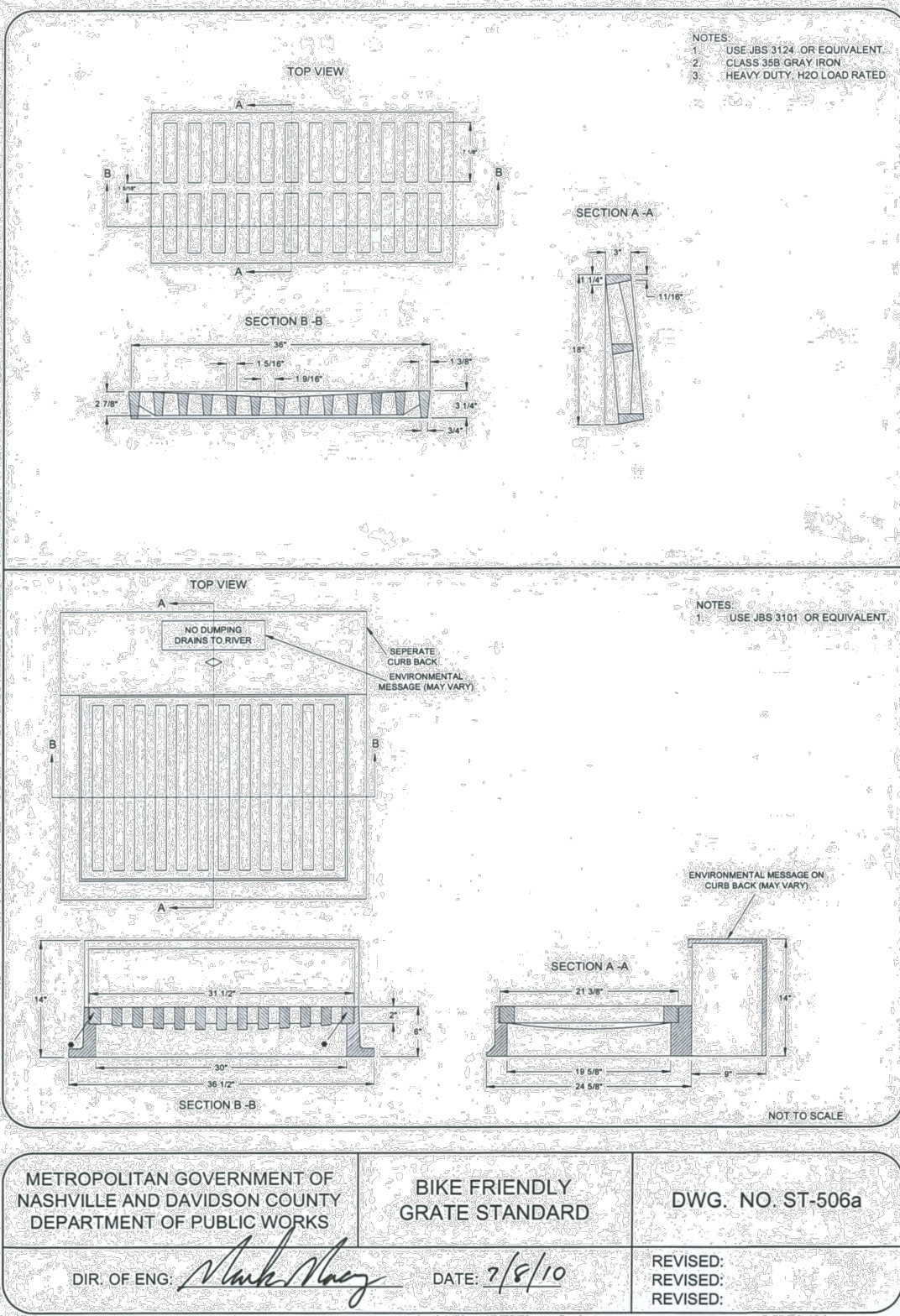


Figure 51: Fire Barrier Wall

Page 100



CSDG
Planning | Engineering
Landscape Architecture
2305 Kline Ave, Ste 300
Nashville, TN 37211
615.248.9999
csdgtm.com

SEAL

Avalon Midtown
Hayes St. & 18th Ave. N
Nashville, Davidson Co,
Tennessee 37203

ISSUE SET:

Final Specific Plan

ISSUE DATE: March 31, 2021

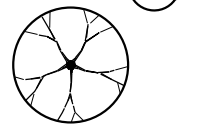
REVISION SCHEDULE:

No.	Description	Date
1	Stormwater Comments	05/11/21
2	Final SP Resubmittal	05/27/21
3	MWS Resubmittals	07/16/21
4	MWS Resubmittals	08/17/21
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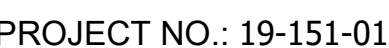
REVISION: | DRAWN: AM | CHECKED: KG

CIVIL DETAILS

C5.01
PROJECT NO.: 19-151-01



SOIL AREA
- UNDERSTORY TREES: MIN. OF 400
- CANOPY TREES: MIN. OF 600 CUBIC



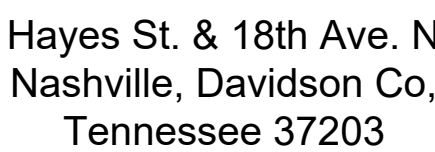
1. This property is located within Metro Nashville, Davidson County. Contractor shall conform to all necessary requirements outlined by the standards of the City of Metro - Nashville.
2. All work shall be performed by fully qualified Plantsmen. Use good Horticultural practices to keep all plants and plant material installed in a living, healthy condition up to the date of termination of the Contractor's responsibility for care.
3. The Contractor shall be responsible for examining fully both the site and the bid documents. Discrepancies in the documents and the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure to report such condition, or for errors on the part of the Contractor at the time of bidding.
4. The Contractor is responsible for locating all underground utilities and shall avoid damage to existing utilities during the course of the work.
5. The Contractor is responsible for repairing any damage to utilities, site structures, etc., resulting from landscape construction.
6. The Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth on this plan set and the specifications.
7. The Contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
8. No material shall be planted before finish grading has been completed.
9. The plants delivered to the project site shall be planted as soon as site conditions permit. Contractor shall take care in scheduling plant deliveries and the size of the deliveries so that long periods of storage are avoided. Adequately protect plants placed in temporary storage from the sun and wind; water plants so as to maintain their appearance and health. Plants that have not been properly maintained during temporary storage may be rejected by the Landscape Architect.
10. Should the Contractor encounter unsatisfactory surface or other subsurface drainage conditions, soil erosion, hard pan, stem of utility lines or other conditions that will jeopardize the health and vigor of the plants, he/she must advise the Owner's Representative in writing of the conditions prior to installing the plants. Otherwise, the Contractor warrants that the planting areas are suitable for proper growth and development of the plant material to be installed and Contractor shall take responsibility for the cost of any revision.
11. It is the responsibility of the Contractor to verify that each excavated tree or shrub pit will percolate (drain) prior to adding topsoil of planting mix and installing trees or shrubs. The Contractor shall fill the bottom of selected holes with six inches of water. This water should percolate out within a 24-hour period. If the soil at a given area does not drain properly, a PVC drain or gravel sump shall be installed, and the planting area shall be approved by the Owner's Representative.
12. Prior to installation of plant materials, the width and length of all parking lot landscape island and median areas are to be excavated to a depth of 24 inches below the proposed top of pavement elevation. Excavated material is to be removed from the landscape areas and disposed of off site or in an area approved by the Project Engineer. No asphaltic construction trash and/or materials are to be left in the topsoil and planting mix backfill and/or subgrade of any proposed parking area islands and/or planting medians and strips. Parking lot islands and medians are to be backfilled with sifted topsoil as per project specifications and to the elevations indicated on the grading plans.
13. All shrub and ground cover beds not in parking lot islands or median strips are to be excavated to a depth of 24 inches below the proposed top of pavement elevation and approved by the Project Engineer. Trees in these bed areas shall be installed per the tree planting detail. The bed area is to be backfilled with sifted topsoil to the elevations indicated on the grading plans as per the specifications.
14. The optimum time for planting is from October 1 to April 1. Scheduling for planting at other times must be approved in writing by the Landscape Architect.
15. Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
16. New tree plantings are to not be staked per planting details. Trees that are planted in special circumstances of windy conditions may be staked once approved by the Landscape Architect.
17. All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
18. The Contractor shall stake or mark all plant material locations prior to installation. The Contractor shall have the Landscape Architect or Owner's Representative approve all staking prior to installation.
19. All plant material which dies, turns brown, or defoliates (prior to total acceptance of the work) shall be promptly removed from the site and replaced with material of the same species quantity and size and meeting all plant list specifications at no expense to the Owner.
20. The Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
21. Chemical Weed Control (pre-emergent, i.e. Treflan) shall be applied to all landscape areas prior to any planting.
22. All planting areas shall receive a 3 inch layer of shredded hardwood bark mulch, which is to be watered-in after installation.
23. All plants shall be vigorous, healthy material, free of pests and disease.
24. All plants and trees must meet all requirements specified in the plant list, details, and notes.
25. The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted on the material schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
26. Digging instructions for trunk caliper heights, as specified on the material schedule, are a general guide for the minimum required size of each plant. Quality and size of plants, spread of roots and size of balls shall be in accordance with A.N.S.I. 260 "American Standard for Nursery Stock" (current edition) as published by the American Association of Nurserymen, Inc.
27. All disturbed areas shall be planted with turf as indicated on the material schedule.
28. Existing sod shall be removed as necessary to accommodate new plantings.
29. Any existing sod areas that are unnecessarily disturbed during the landscape installation shall be resodded to match existing at no expense to the Owner.
30. The Contractor is responsible for completely maintaining the work (including but not limited to: watering, mulching, spraying, fertilizing, etc.) of all planting areas and lawns per project specifications until total acceptance of the work by the Owner.
31. The Contractor shall completely guarantee all work for a period of one year beginning at the date of total acceptance.
32. The Contractor shall provide the Owner with written instructions on the proper care of all specified plant materials prior to final payment.
33. The Contractor shall be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.
34. **ATTENTION OWNER/INSTALLER:** This landscape plan has been designed to meet the minimum requirements of the City of Nashville, Tennessee, for the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing or deleting material may cause the site to no longer conform to the requirements; thus problems may arise with releasing the performance / maintenance bond for landscaping. Deviation from the approved landscape plan shall not be made without first consulting Civil-Site Design Group and then obtaining approval from either the City of Nashville planning commission or the planning department.
35. Prior to installing any plant material in the R.O.W., the Contractor shall contact the City of Nashville Urban Environmental Department (UED) at (615) 862-6488 for a permit to plant in the R.O.W. Any trees installed in the City of Nashville's R.O.W. must be inspected by the UED and Landscape Architect prior to installation. Any materials not inspected prior to installation are subject to removal at the Contractor's expense.
36. Trees of the same species shall have the following characteristics: matched branching height, caliper, height of tree, spread of branches and branching structure, and overall shape.
37. All on-site utility providers shall be contacted to locate all above ground structures. Once located, these utility structures shall be screened from the public R.O.W. on three sides.

1. Any series of trees to be planted in a particular arrangement will be field checked for accuracy by the Landscape Architect. Any plants misarranged will be relocated by the Contractor at no expense to the Owner. Trees shall be placed on-center when possible unless noted otherwise on plans.
2. Soil used in backfilling planting pits shall be topsoil and mixed with 25% peat by volume, except for ericaceous plants, very acid or sour soil (soil having a pH less than 6) shall be mixed with sufficient lime to produce a slightly acid reaction (a pH of 6.0 to 6.5). 10-10-10 commercial fertilizer at the rate of 2 pound per cubic yard shall be added. Both fertilizer and peat shall be thoroughly mixed by hand or rotary tiller.
3. Soil used in backfilling ericaceous plants shall be topsoil mixed with 50% peat by volume, 5-10-5 commercial fertilizer at the rate of 5 pounds per cubic yard shall be added. Both fertilizer and peat shall be thoroughly mixed by hand or rotary tiller.
4. Upon securing plant material, and before installation, the Contractor shall notify the Landscape Architect for a pre-installation inspection in order to verify all plant material meets specifications. Trees of same species shall be matched in growth character and uniformity.
5. Herbicide (Treflan or equivalent) shall be applied to all planting beds prior to planting for noxious weed control at a rate of 2 pounds per 1,000 square feet.
6. Contractor shall submit a 10 ounce sample of the topsoil proposed to a testing laboratory for analysis. Test results, with recommendations for suitability, shall be submitted to the Owner's Representative for approval.
7. Plants shall be oriented vertically and oriented for best appearance. All non-biodegradable root containers shall be removed and disposed of off site.
8. Tree branches shall be selectively trimmed by 25%, maintaining natural shape. All dead and broken branches in trees and shrubs shall also be pruned. Remove tags, twine or other non-biodegradable material, and remove from project site.
9. Scarify subsoil in planting beds to a depth of 3 inches. All planting beds shall receive a minimum of 6 inches of topsoil.
10. Contractor shall provide smooth, neatly trenched (3 inch deep) bed edges.
11. All planting beds to have a minimum of 3 inch deep shredded hardwood bark mulch.
12. Dimensions for trunk caliper, heights, and spread specified on the material schedule are a general guide for the minimum required size of each plant. Quality & size of plants, spread of roots, and size of balls shall be in accordance with A.N.S.I. Z60 "American Standard for Nursery Stock" (current edition) as published by the American Association of Nurserymen, Inc.
13. If quantities indicated on the material schedule are provided for the benefit of the Contractor, but should not be assumed to always be correct. In the event of a discrepancy, the planting plan will take precedence over the material schedule. The Contractor shall be responsible for his/her own quantity calculations and the liability pertaining to those quantities and any related contract documents and/or price quotations.
14. Contractor shall warranty all material for one year after date of final acceptance.

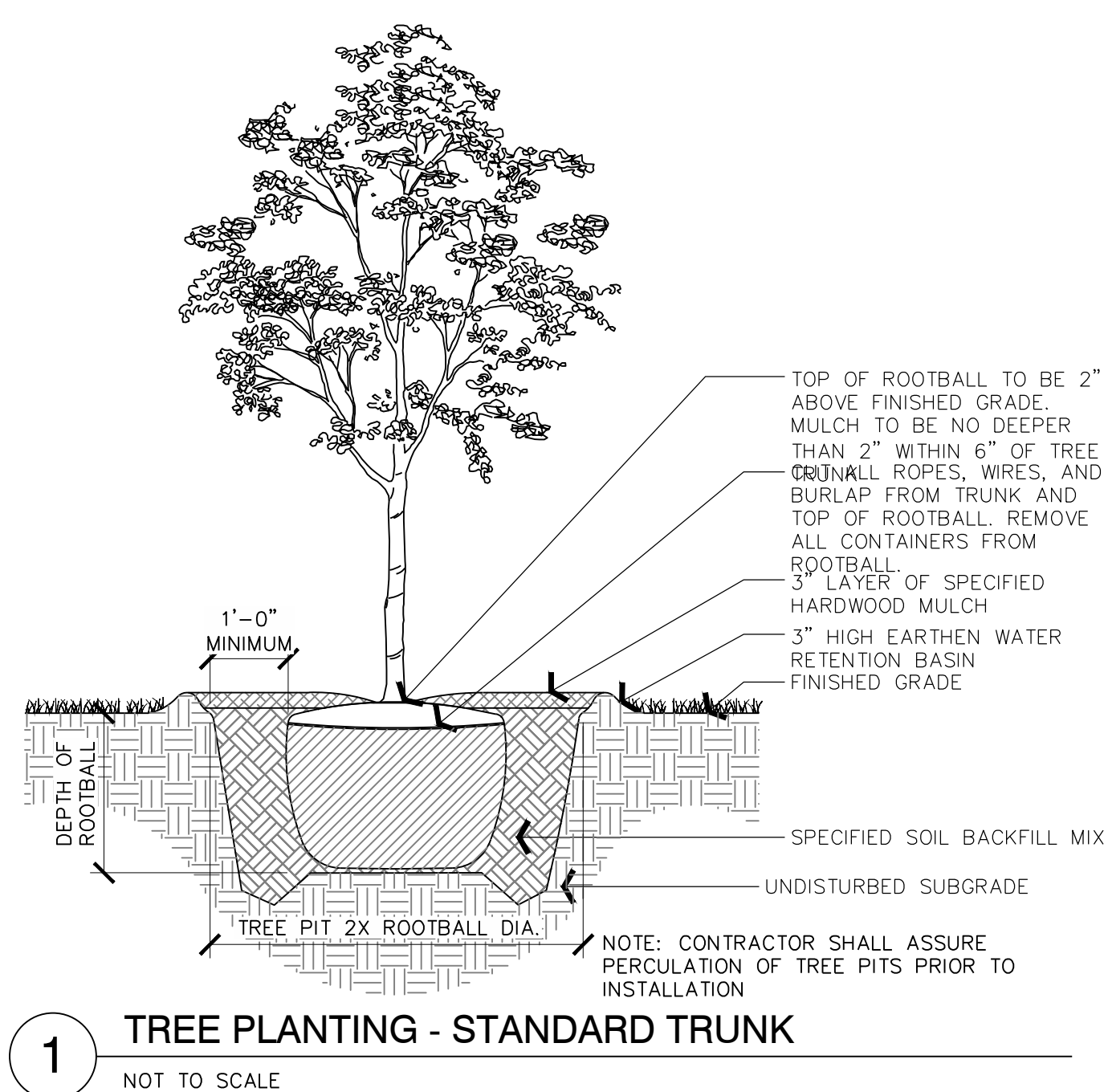
1. Areas indicated for sod shall be Kentucky 31 Fescue, minimum age shall be 18 months, with root development that will support its own weight without tearing when suspended vertically by holding the upper two corners.
2. Contractor shall submit sod certification for grass species and location of sod source. Contractor shall include certification that sod is free of disease, nematodes, undesirable insects, and quarantine restrictions.
3. Sod shall be delivered on pallets. Prior to installation, sod shall be stored at a location that is protected from damaging effects of sun and wind.
4. 6-12 inch commercial type fertilizer, with 50% of the element derived from organic sources, shall be applied at a rate recommended by the manufacturer. Apply after smooth raking of topsoil and no more than 48 hours before laying sod. Mix thoroughly in the upper 2 inches of topsoil and lightly water to aid breakdown.
5. Areas to receive sod shall be lightly moistened immediately prior to laying sod.
6. Lay sod tightly with no open joints visible and not overlapping. Stagger end joints a minimum of 12 inches and do not stretch sod pieces.
7. On slopes 6 inches per foot and steeper, lay sod perpendicular to slope and secure every row with wooden pegs at a maximum 2 feet on-center. Drive pegs flush with sod portion of sod.
8. Prior to placing sod on slopes of 8 inches per foot and steeper, place juice erosion control mesh over topsoil. Securely anchor mesh in place with pegs driven firmly into the ground. Contractor shall submit 12" x 12" samples of juice mesh for review to Landscape Architect or Owner's Representative prior to installation.
9. Immediately after installation, water sodded areas to a depth of 4 inches.
10. After sod and soil have dried, roll sodded areas to ensure a good bond between soil and sod. Roller shall not exceed 150 pounds.
11. Contractor shall be responsible for maintaining (mowing, trimming, watering) the sod until the installation is inspected and accepted by the Landscape Architect or Owner's Representative.
12. The Contractor shall replace sod areas that show deterioration for a period of one year after acceptance of the installation. Deteriorated material shall be replaced with sod of equal quality originally specified at no expense to the Owner.

1. All disturbed areas to be seeded with Kentucky 31 Fescue at the rate of 5 pounds per 1,000 square feet. All seed to be 98% pure with 85% germination and conform to all state requirements for grass seed. The fertilizer shall be 6-12-12 commercial type with 50% of its elements derived from organic sources.
2. Straw mulch shall be placed upon seeded areas. Straw shall be oats or wheat straw, free from weeds, foreign matter detrimental to plant life, and dry. Hay or chopped cornstalks are not acceptable.
3. Contractor shall verify that the prepared soil base is ready to receive work. The topsoil shall be cultivated to a depth of 4 inches with a mechanical tiller and subsequently raked until smooth. Foreign materials collected during cultivation and raking operations shall be removed from the project site.
4. Fertilizer shall be applied per the manufacturer's recommendations. Limestone may be applied with the fertilizer. Fertilizer shall be applied after smooth raking and prior to roller compaction and it shall be mixed thoroughly in the upper 2 inches of topsoil.
5. Seed shall be applied evenly in two intersecting directions and raked in lightly. The topsoil shall be lightly watered prior to applying seed. Do not seed area in excess of that which can be mulched on the same day.
6. Roll seeded area with roller not exceeding one and one half pounds.
7. Immediately following seeding and compacting, apply straw mulch at the rate of one and one half bale per 1,000 square feet. Immediately after mulching, apply water with a fine spray and saturate the ground to a depth of 4 inches.
8. Contractor shall be responsible for watering seeded areas to prevent grass and soil from drying out until the installation is inspected and accepted by the Landscape Architect or Owner's Representative.
9. Contractor shall be responsible for reseeded bare spots for a period of one year after acceptance of installation at no expense to the Owner.

NOTE: TREE SIZES SHOWN ARE REQUIRED MINIMUMS.
CONTRACTOR TO REFER TO ENHANCED LANDSCAPE PLANS FOR PRICING



PROJECT NO.: 19-151-01



Architect
The Preston Partnership, LLC
115 Perimeter Center Plaza, Suite 1000
Atlanta, Georgia 30346
Tel: 770.356.7246 Contact: Jim Fredrickson

Client
Vastland CO.
1720 West End Avenue, Suite 600
Nashville, TN 37203
Tel: 615.326.1201 Ext. 251 Contact: Mack McClung

Civil Engineer
Civil Site Design Group
2395 Kline Ave., Suite 300
Nashville, Tennessee 37211
Tel: 615.246.9999 Contact: Kevin Gangware

Parking/Security Consultant
HMA Consulting
6010 Ingot Road Suite 150
Stafford, TX 77477
Tel: 632.941.6020 Contact: Matthew Bate

Parking Consultant
HWA Parking
2700 W Sam Houston Pkwy, South Suite 100
Houston, TX 77042
Tel: 888.768.7275 Contact: Matt Strickland

Structural Engineer
Structural Design Group
220 Great Circle Road Suite 106
Nashville, Tennessee 37208
Tel: 615.255.5537 Contact: Kris Bomar

MEP Engineer
IC Thomasson Associates, Inc.
2650 Kraft Drive
Nashville, Tennessee 37294
Tel: 615.346.3400 Contact: Philip Sutherland

AVIT Consultant
IC Thomasson Associates, Inc.
2650 Kraft Drive
Nashville, Tennessee 37294
Tel: 615.346.3400 Contact: Philip Sutherland

Landscape Architect
HDLA
507 Main Street
Nashville, Tennessee 37206
Tel: 615.327.4447 Contact: Chris Bankley

SEAL

PROJECT

AVALON MIDTOWN

Hayes St. & 18th Ave N.
Nashville, Tennessee 37203

SHEET HISTORY

ISSUE	DATE
SCHEMATIC DESIGN 3	08/24/2020
DESIGN DEVELOPMENT	03/12/2021
PROGRESS PRINT	04/16/2021

JOB NUMBER

191801

SHEET TITLE

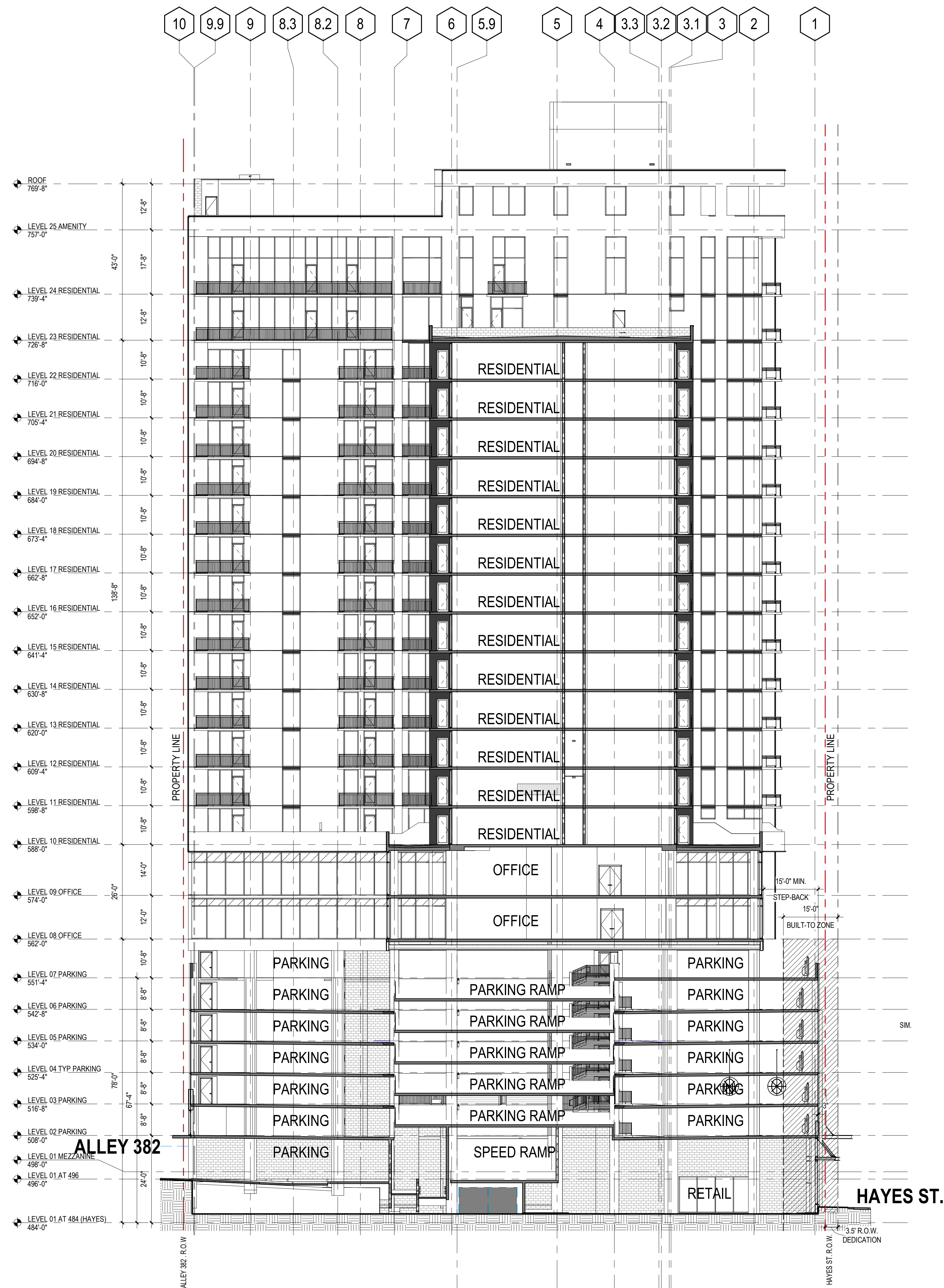
BUILDING SECTIONS

SHEET NUMBER

A5-01

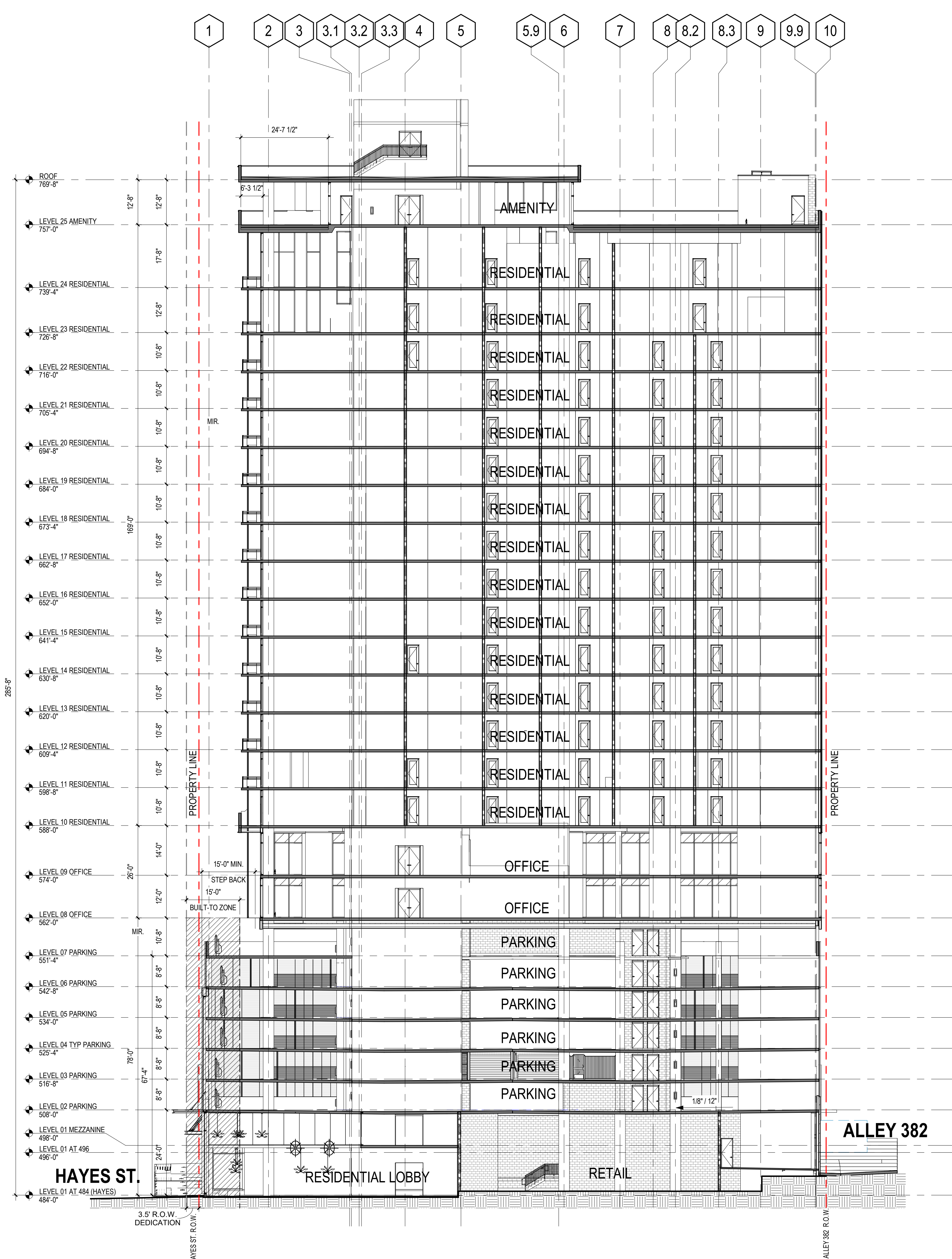
COMMENTS

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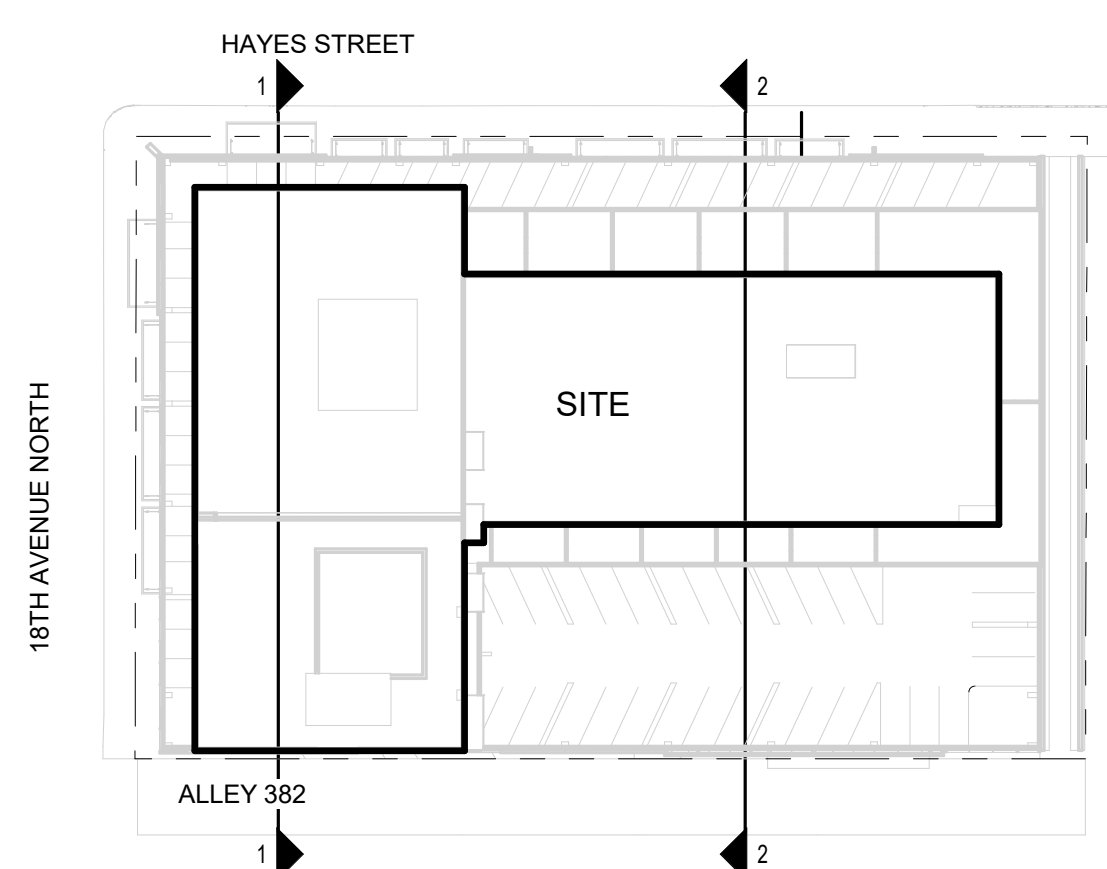
2 BUILDING NS SECTION ACROSS PARKING RAMP

SCALE: 1/16" = 1'-0"



1 BUILDING NS SECTION ACROSS PARKING AISLE

SCALE: 1/16" = 1'-0"



Architect
The Preston Partnership, LLC
115 Perimeter Center Plaza, Suite 1000
Atlanta, Georgia 30346
Tel: 770.356.7246 Contact: Jim Fredrickson

Client
Vastland CO.
1720 West End Avenue, Suite 600
Nashville, TN 37203
Tel: 615.329.1201 Ext. 251 Contact: Mack McClung

Civil Engineer
Civil Site Design Group
2395 Kline Ave., Suite 300
Nashville, Tennessee 37211
Tel: 615.246.9999 Contact: Kevin Gangware

Parking/Security Consultant
HMA Consulting
6010 Ingram Road Suite 150
Stafford, TX 77477
Tel: 632.941.6020 Contact: Matthew Bate

Parking Consultant
HWA Parking
2300 W. Sam Houston Pkwy. South Suite 100
Houston, TX 77042
Tel: 888.788.7275 Contact: Matt Strickland

Structural Engineer
Structural Design Group
220 Great Circle Road Suite 106
Nashville, Tennessee 37228
Tel: 615.255.5537 Contact: Kris Bomar

MEP Engineer
IC Thomasson Associates, Inc.
2560 Kraft Drive
Nashville, Tennessee 37294
Tel: 615.346.3400 Contact: Philip Sutherland

AVIT Consultant
IC Thomasson Associates, Inc.
2560 Kraft Drive
Nashville, Tennessee 37294
Tel: 615.346.3400 Contact: Philip Sutherland

Landscape Architect
HDLA
507 Main Street
Nashville, Tennessee 37206
Tel: 615.327.4447 Contact: Chris Barkley

SEAL

PROJECT

AVALON MIDTOWN

Hayes St. & 18th Ave N.
Nashville, Tennessee 37203

SHEET HISTORY

ISSUE	DATE
SCHEMATIC DESIGN 3	08/24/2020
DESIGN DEVELOPMENT	03/12/2021
PROGRESS PRINT	04/16/2021

JOB NUMBER

191801

SHEET TITLE

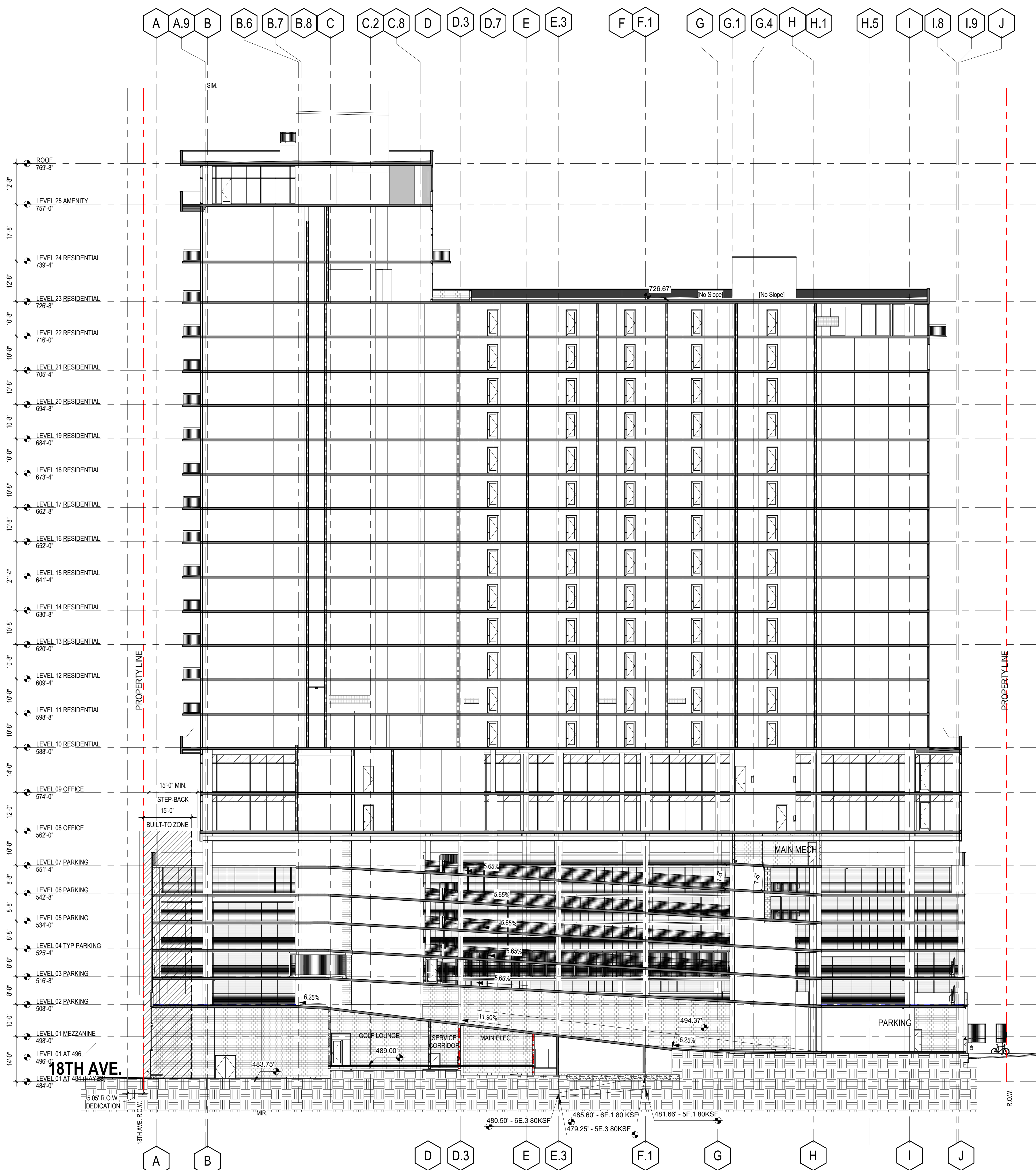
BUILDING SECTIONS

SHEET NUMBER

A5-02

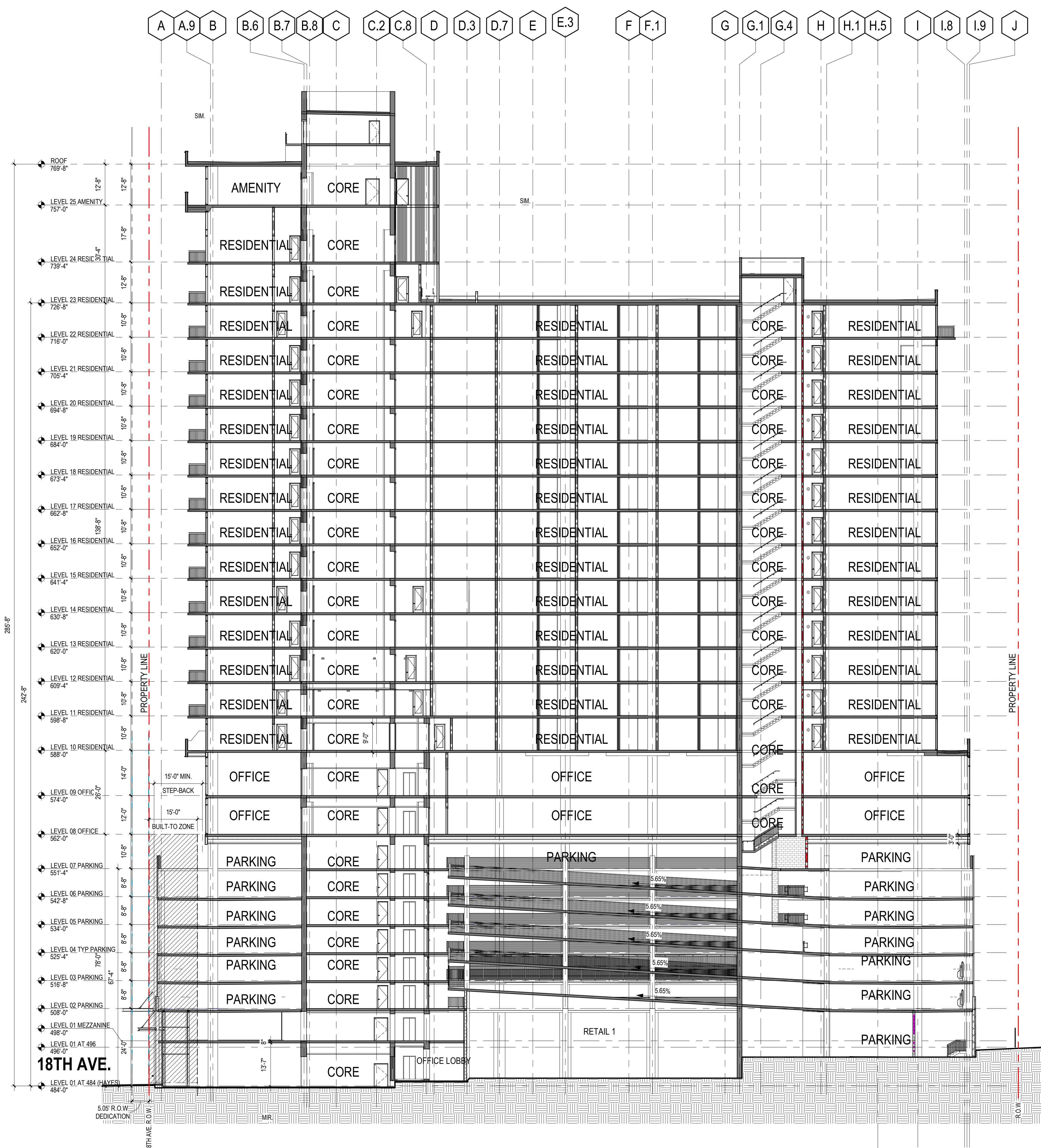
COMMENTS

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2 BUILDING EW SECTION ACROSS CENTRAL RAMP

SCALE: 1/16" = 1'-0"



1 BUILDING EW SECTION ACROSS CORE

SCALE: 1/16" = 1'-0"

