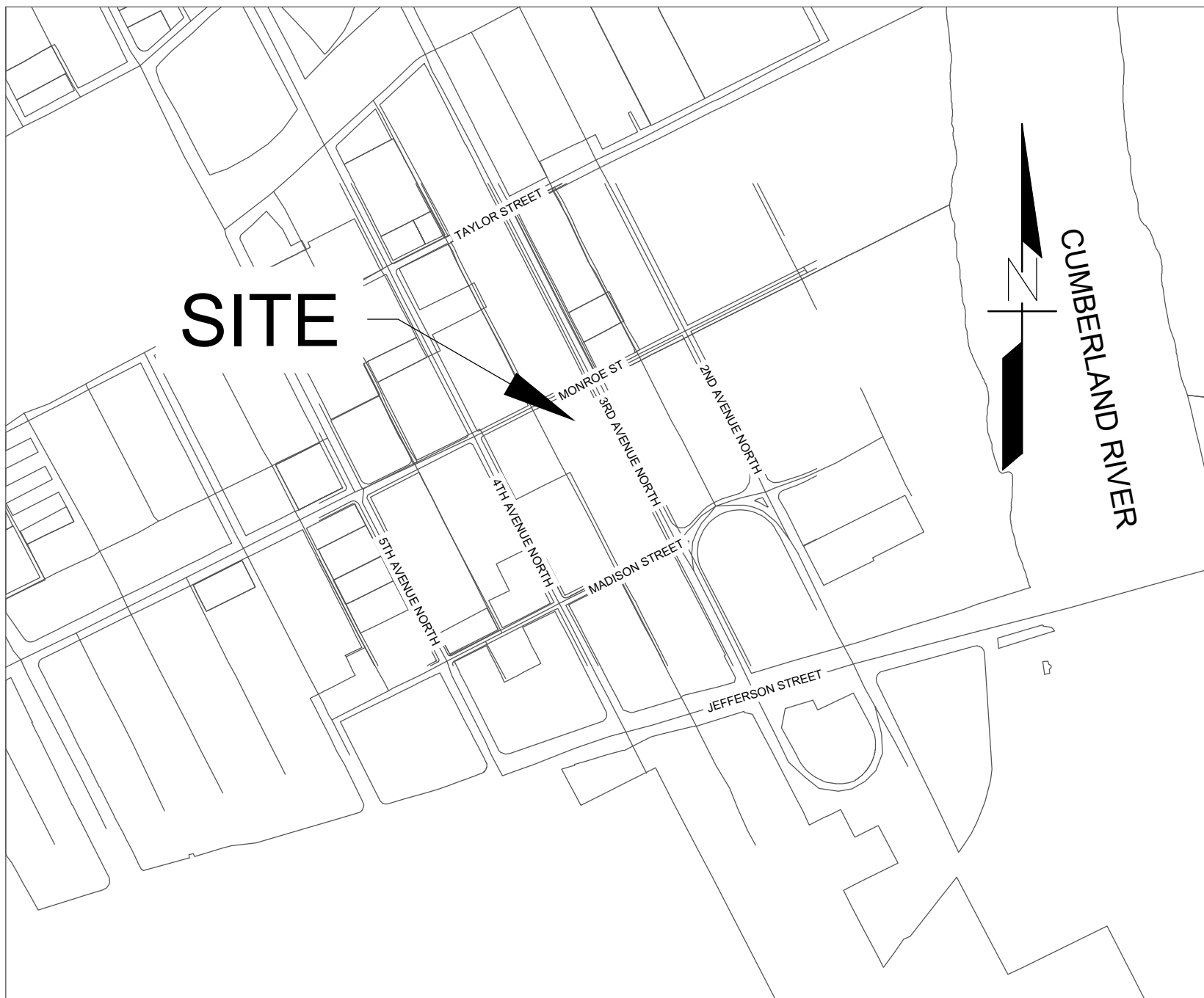


**FINAL SP (SPECIFIC PLAN)
FOR
2021SP-018-002**

**3RD AND MONROE TOWNHOMES
1227 3RD AVENUE NORTH
NASHVILLE, TENNESSEE 37208**



VICINITY MAP - NTS

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- 3RD AVENUE ARCHITECTURAL ELEVATION
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Civil Engineers
6606 CHARLOTTE PIKE, STE 210
NASHVILLE, TENNESSEE 37209
615.356.9911 PHONE
615.352.6737 F A X



**FINAL SP PLAN COVER SHEET
3RD AND MONROE TOWNHOMES
1227 3RD AVENUE NORTH
NASHVILLE, TN, 37208**

DATE	DESCRIPTION
1/26/2022	FINAL SP SUBMITTAL

C0.0

PURPOSE NOTE:	
THE PURPOSED OF THIS SP IS TO REZONE 0.62 ACRES TO ALLOW FOR A MAXIMUM OF 18 MULTI-FAMILY RESIDENTIAL UNITS, AND A MAXIMUM OF 1,600 SF OF COMMERCIAL SPACE ("OWNER OCCUPIED" STRIPS PERMITTED, AND "NON-OWNER OCCUPIED" STRIPS PROHIBITED).	
SITE DATA TABLE:	
MAP/ PARCEL:	MAP 82-09, PARCEL 346.00
OWNER / CONTACT:	STEVEN D. EZELL MORE ON FIFTH, LLC 1227 3RD AVENUE NORTH NASHVILLE, TN 37208 (615) 949-8460 STEVE.EZELL@LANDCORP.COM
EXISTING ZONING:	IR
COUNCIL DISTRICT:	19, FREDDIE O'CONNELL
TOTAL AREA:	0.64 ACRES
MAX ALLOWABLE ISR:	0.9
MAX ALLOWABLE RESIDENTIAL DENSITY:	18 UNITS
MAX ALLOWABLE COMMERCIAL USE:	1,600 SF
MAX ALLOWABLE HEIGHT/ STORIES IN BUILT-TO ZONE:	3 STORIES IN 45 FEET
MAX ALLOWABLE HEIGHT/ STORIES W/ 15' STEP-BACK:	4 STORIES IN 60 FEET
BUILT-TO ZONE:	0 - 15 FEET
MIN REAR SETBACK:	5 FEET
MIN SIDE SETBACK:	NONE REQ.
FOR ANY DEVELOPMENT STANDARDS, REGULATIONS, AND REQUIREMENTS SPECIFICALLY NOT SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS OF A MUN-A ZONING DISTRICT WITHIN THE UOZ AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.	
THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS	
PROPOSED USE(S):	
1. MULTI-FAMILY RESIDENTIAL	
ON-SITE PARKING NOTE:	
1. ALL FINAL SITE DEVELOPMENTS SHALL PROVIDE ON-SITE PARKING AS REQUIRED BY THE METRO ZONING ORDINANCE, OR BY AN APPROVED SHARED PARKING PLAN. FINAL SP PLANS SHALL INCLUDE A COMPREHENSIVE PARKING TABLE DETAILING EACH USE, REQUIRED PARKING TOTALS, AND PROVIDED PARKING TOTALS.	

LANDSCAPE NOTES:	
1. ALL FINAL SITE DEVELOPMENT SHALL MEET LANDSCAPE REQUIREMENTS OF THE LANDSCAPE SECTION OF THE METRO ZONING ORDINANCE, CHAPTER 17-24 "LANDSCAPING, BUFFERING AND TREE REPLACEMENT".	
2. FINAL SITE DEVELOPMENT SHALL PROVIDE STREET TREES IN ACCORDANCE WITH THE REQUIREMENTS OF METRO ZONING ORDINANCE, CHAPTER 17-20-120.	
3. FINAL SITE PLAN SHALL INCLUDE SUBMITTAL OF A LANDSCAPE PLAN.	

FIRE MARSHAL NOTES:	
1. NEW COMMERCIAL DEVELOPMENTS SHALL BE PROTECTED BY A FIRE HYDRANT THAT COMPLIES WITH THE 2009 EDITION OF NFPA 1 TABLE H.	
2. NO PART OF ANY BUILDING SHALL BE MORE THAN 500 FEET FROM A FIRE HYDRANT WITH HARD SURFACE ROAD. METRO ORDINANCE 095-1541 SEC. 1568.020B.	
3. ALL FIRE DEPARTMENT ACCESS ROADS SHALL BE 20 FEET MINIMUM WIDTH AND SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13.5 FEET.	
4. IF MORE THAN THREE STORIES ABOVE GRADE, CLASS 1 STANDPIPE SYSTEM SHALL BE INSTALLED.	
5. IF MORE THAN ONE STORY BELOW GRADE, CLASS 1 STANDPIPE SYSTEM SHALL BE INSTALLED.	
6. A FIRE HYDRANT SHALL BE PROVIDED WITHIN 100 FEET OF THE FIRE DEPARTMENT CONNECTION.	
7. FIRE HYDRANTS SHALL BE IN SERVICE BEFORE ANY COMBUSTIBLE MATERIAL IS BROUGHT ON SITE.	

METRO PUBLIC WORKS NOTES:	
1. THE FINAL SITE PLAN / BUILDING PERMIT SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP FRONTAGE OR FRONTAGE ZONE, AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. WHERE FEASIBLE, VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.	
2. PARKING RATIOS SHALL BE PROVIDED AT OR ABOVE THE REQUIREMENTS OF THE METRO ZONING ORDINANCE WITH FINAL SP SUBMITTAL.	
3. REQUIRED RIGHT-OF-WAY WITHIN THE PROJECT SITE THAT IS IDENTIFIED AS NECESSARY TO MEET THE ADOPTED ROADWAY PLANS SHALL BE DEDICATED. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS, IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN, OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.	
5. THE DESIGN OF THE PUBLIC INFRASTRUCTURE IS TO BE COORDINATED WITH THE FINAL SP, THE ROADS, PEDESTRIAN INFRASTRUCTURE, BICYCLE ROUTES, ETC. ARE TO BE DESIGNED AND CONSTRUCTED PER MPW STANDARDS AND SPECIFICATIONS.	
6. ALL CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL COMPLY WITH ADA AND METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.	
7. ALL SOLID WASTE AND RECYCLING COLLECTION FOR THE SITE WILL BE HANDLED BY A PRIVATE HAULER/SERVICE.	

ARCHITECTURAL STANDARDS:	
1. ALL BUILDING FACADES FRONTING THE STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND GROUND FLOOR UNITS SHALL HAVE DIRECT ACCESS TO THE STREET.	
2. GROUND FLOOR BUILDING FACADES FRONTING THE STREET SHALL HAVE A MINIMUM OF 40% GLAZING FOR COMMERCIAL USE AND 25% GLAZING FOR RESIDENTIAL USE. UPPER STORY RESIDENTIAL BUILDING FACADES FRONTING THE STREET SHALL HAVE A MINIMUM OF 25% GLAZING. ON CORNER BUILDINGS GLAZING SHALL ADDRESS BOTH FRONTAGES.	
3. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1:1.1 OR GREATER, EXCEPT FOR DORMERS.	
4. EIFS, VINYL SIDING, AND UNTREATED WOOD SHALL BE PROHIBITED.	
5. RAISED FOUNDATIONS OF 8" - 8" ARE REQUIRED FOR ALL RESIDENTIAL UNITS.	
6. MAX ALLOWABLE HEIGHT IS MEASURED FROM FINISHED GRADE AT FRONT OF UNITS.	
7. THE ARCHITECTURAL DESIGN OF THE BUILDINGS WITHIN THIS SP DEVELOPMENT SITE IS TO BE CONSISTENT WITH THE GENERAL FABRIC AND DEVELOPMENT PATTERN OF THE EXISTING GERMANTOWN NEIGHBORHOOD.	
8. BUILDING FACADE SHALL HAVE A MINIMUM OF 45% BRICK.	

NEE NOTES:	
1. WHERE FEASIBLE, THIS DEVELOPMENT WILL BE SERVED WITH UNDERGROUND POWER AND PAD-MOUNTED TRANSFORMERS.	
2. NEW FACILITIES WILL NOT BE ALLOWED TO SIT IN OR PASS THROUGH BIoretention AREAS, BIOWALES AND THE LIKE. THIS INCLUDES PRIMARY DUCT BETWEEN PAD-MOUNTED TRANSFORMER EQUIPMENT, AS WELL AS SERVICE DUCT TO A METER.	

PRELIMINARY SP BILL BL2021-823:

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from IR to SP zoning for property located at 1227 3rd Avenue North, at the southwest corner of Monroe Street and 3rd Avenue North (0.62 acres), to permit a mixed-use development, all of which is described herein (Proposal No. 2021SP-018-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from IR to SP zoning for property located at 1227 3rd Avenue North, at the southwest corner of Monroe Street and 3rd Avenue North (0.62 acres), to permit a mixed use development, being Property Parcel No. 346 as designated on Map 082-09 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 082 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to 18 multi-family units, a maximum of 16,000 square feet of non-residential uses, and short term rental property (STRP) owner occupied. Short term rental property (STRP) not owner occupied shall be prohibited.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

1. Comply with all conditions and requirements of Metro reviewing agencies.
2. The Final SP plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
3. The Preliminary SP plan is the site plan and associated documents. If applicable, remove all notes and references that indicate that the site plan is illustrative, conceptual, etc.
4. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.

Section 5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 7. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUN-A zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

Section 8. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

METRO WATER & SEWER NOTES:	
1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS DETAILS OF METRO WATER SERVICES.	
2. ALL LOTS SHALL HAVE INDIVIDUAL WATER AND SEWER CONNECTIONS.	

GENERAL STORMWATER NOTES:	
1. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.	
2. THE FINAL DESIGN AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.	
3. DRIVEWAY CULVERTS TO BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO R.O.W. IS 15" RCP).	
4. SEWER WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNOBSTRUCTED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.	

STORMWATER TREATMENT NOTES:	
1. SPECIFIC STORMWATER STORAGE AND TREATMENT MEASURES SHALL BE PROVIDED DURING FINAL SP SUBMITTAL AND GRADING PERMIT REVIEW.	
2. ALL PROPOSED STORMWATER MANAGEMENT PRACTICES SHALL CONFORM TO THE LATEST VERSION OF THE METRO STORMWATER MANAGEMENT MANUAL AT TIME OF APPLICATION. COMMON PROPOSED INCLUDE LOW IMPACT DEVELOPMENT (LID) DESIGN, PROPRIETARY WATER QUALITY DEVICES, AND AN IN-LIEU FEE PAYMENT IN PLACE OF TREATMENT.	

FEMA NOTE:	
1. THIS PROPERTY IS NOT LOCATED IN AN AREA OF FLOOD HAZARD OR SPECIAL FLOOD HAZARD ACCORDING TO FEMA FLOOD INSURANCE RATE MAP PANEL NUMBER 47037C0241H, EFFECTIVE APRIL 5, 2017.	

ARCHITECTURAL STANDARDS:	
1. ALL BUILDING FACADES FRONTING THE STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND GROUND FLOOR UNITS SHALL HAVE DIRECT ACCESS TO THE STREET.	
2. GROUND FLOOR BUILDING FACADES FRONTING THE STREET SHALL HAVE A MINIMUM OF 40% GLAZING FOR COMMERCIAL USE AND 25% GLAZING FOR RESIDENTIAL USE. UPPER STORY RESIDENTIAL BUILDING FACADES FRONTING THE STREET SHALL HAVE A MINIMUM OF 25% GLAZING. ON CORNER BUILDINGS GLAZING SHALL ADDRESS BOTH FRONTAGES.	
3. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1:1.1 OR GREATER, EXCEPT FOR DORMERS.	
4. EIFS, VINYL SIDING, AND UNTREATED WOOD SHALL BE PROHIBITED.	
5. RAISED FOUNDATIONS OF 8" - 8" ARE REQUIRED FOR ALL RESIDENTIAL UNITS.	
6. MAX ALLOWABLE HEIGHT IS MEASURED FROM FINISHED GRADE AT FRONT OF UNITS.	
7. THE ARCHITECTURAL DESIGN OF THE BUILDINGS WITHIN THIS SP DEVELOPMENT SITE IS TO BE CONSISTENT WITH THE GENERAL FABRIC AND DEVELOPMENT PATTERN OF THE EXISTING GERMANTOWN NEIGHBORHOOD.	
8. BUILDING FACADE SHALL HAVE A MINIMUM OF 45% BRICK.	

UTILITY NOTES:

1. WHERE UTILITY LINES PASS OVER OR WITHIN 2.5 FEET OF WATER MAINS, THE SEWER SHALL BE ENCASED IN CONCRETE.
2. ALL PAVED AREAS SHALL BE CONSTRUCTED TO SUBGRADE AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF SANITARY SEWER.
3. CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL BENDS, JOINTS AND FITTINGS TO CONSTRUCT UTILITIES.
4. CONTRACTOR IS RESPONSIBLE FOR ANY FEES ASSOCIATED WITH CONSTRUCTION SHOWN ON DRAWINGS.
5. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES, INCLUDING SEWERS, PRIOR TO CONSTRUCTION.
6. ALL CONNECTIONS TO EXISTING MAN-HOLE(S) SHALL BE CORING AND RESILIENT CONNECTOR METHOD.
7. A MINIMUM OF 4' GROUND COVER SHALL BE MAINTAINED OVER ALL PROPOSED SANITARY SEWER LINES AND WATER LINES.
8. SEE MECHANICAL DRAWINGS FOR EXACT LOCATIONS OF SEWER CONNECTIONS, WATER CONNECTIONS AND GAS CONNECTIONS. UTILITY CONTRACTOR TO INSTALL PROPOSED UTILITIES TO WITHIN 5 FT. OF BUILDING LINE.
9. ALL SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS OF METRO WATER SERVICES.
10. THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING METRO WATER SERVICES THE COST OF INSPECTION.
11. AFTER COMPLETION OF THE SANITARY SEWER(S), METRO WATER SERVICES WILL DIRECT THE TELEVISIONING OF THE LINES PRIOR TO FINAL ACCEPTANCE.
12. THE CONTRACTOR SHALL MAINTAIN UNINTERRUPTED DOMESTIC AND FIRE WATER SERVICE UNTIL THE NEW SYSTEM HAS BEEN COMPLETED, TESTED AND APPROVED.
13. INSPECTION CLEANOUTS TO BE INSTALLED ACCORDING TO METRO WATER SERVICES SPECIFICATIONS.
14. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SEWER CUT SHEETS AS REQUIRED BY METRO WATER SERVICES.
15. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
16. MAIN LINE SEWER TAPS WILL BE MADE BY METRO WATER SERVICES.
17. COORDINATE MAINLINE WATER TAPS WITH METRO WATER SERVICES PRIOR TO CONSTRUCTION.

18. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH METRO WATER SERVICES DESIGN SPECIFICATIONS. METRO WATER SERVICES REQUIREMENTS TO SUPERSEDE ANY SPECIFICATIONS PROVIDED. CONTRACTOR SHALL BE KNOWLEDGEABLE OF METRO WATER SERVICES REQUIREMENTS PRIOR TO BIDDING.
19. CONTRACTOR TO PROVIDE CONCRETE ANCHORS ON WATER AND SEWER MAINS IN ACCORDANCE WITH METRO WATER SERVICES.

GRADING AND DRAINAGE NOTES:

1. NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND AS APPROVED BY OWNER'S REPRESENTATIVE.
2. REGARDLESS OF DEPTH, TOPSOIL IS TO BE STRIPPED FROM ALL DISTURBED AREAS, STOCKPILED ONSITE, AND PROPERLY STABILIZED AND PROTECTED. TOPSOIL SHALL BE STABILIZED WITH SEEDING AND MULCH.
3. ALL GRADED AREAS, INCLUDING SLOPES, ARE TO BE MULCHED AND SEEDED WITHIN 14 DAYS AFTER GRADING IS COMPLETED.
4. CONSTRUCT EROSION CONTROL AS SHOWN ON DRAWINGS PRIOR TO BEGINNING GRADING OPERATIONS.
5. ALL NEW AND EXISTING STRUCTURES SHALL HAVE SEDIMENT REMOVED PRIOR TO FINAL ACCEPTANCE.
6. THE CONTRACTOR SHALL PROVIDE THE NECESSARY PROTECTION, IN ACCORDANCE WITH THE SPECIFICATIONS, FOR TREES TO REMAIN. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE OR STORE MATERIALS, WITHIN THE DRIP LINES OF TREES TO REMAIN.
7. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK.
8. IN THE EVENT OF DISCREPANCIES THE RECOMMENDATIONS OF THE ENGINEER SHALL GOVERN.
9. ALL GRADING OPERATIONS, EXCAVATION, FILL, COMPACTION TESTING AND BACKFILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED TESTING AGENCY.
10. NO FILL SHALL BE PLACED PRIOR TO APPROVAL OF THE SUBGRADE BY THE TESTING AGENCY.
11. COMPACTION SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF A TESTING AGENCY.
12. COMPACTION TESTS SHALL BE DONE FOR EACH TWO FEET OF FILL, BUT NOT LESS THAN ONE TEST FOR EVERY 500 CUBIC YARDS, OR MORE FREQUENTLY IF REQUIRED BY A TESTING AGENCY. RESULTS OF THE TESTS SHALL BE SUPPLIED TO SITE ENGINEER.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS INCURRED FOR INSPECTION AND TESTING OF SOILS DUE TO FAILURE TO COMPLY WITH THE MINIMUM REQUIREMENTS OF THE TESTING AGENCY.
14. ALL GRADING OPERATIONS SHALL BE STAKED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR APPROVED BY THE OWNER.
15. UPON COMPLETION OF GRADING, THE TESTING AGENCY SHALL PROVIDE OWNER WITH A LETTER INDICATING THAT THE SITE AND BUILDING PAD WERE PREPARED IN DIRECT CONFORMANCE WITH HIS RECOMMENDATIONS.
16. ALL SLOPES 3:1 OR STEEPER SHALL BE STABILIZED WITH EROSION CONTROL BLANKET OR APPROVED EQUAL WITHIN SEVEN (7) DAY AFTER GRADING IS COMPLETE.
17. CONTRACTOR TO PROVIDE ENGINEER WITH A COMPLETE AS-BUILT SURVEY OF THE SITE BY A LICENSED LAND SURVEYOR. THE AS-BUILT SURVEY SHOULD INCLUDE (AT A MINIMUM) THE FOLLOWING:
 - 17.1. CONTOURS ON 1' INTERVALS
 - 17.2. SPOT ELEVATIONS AT TOPS AND TOES OF SLOPES IN BIoretention AREAS
 - 17.3. SPOT ELEVATIONS AT EDGES OF Pervious PAVEMENT
 - 17.4. DELINEATION OF Pervious PAVEMENT AREAS
 - 17.5. PIPE SIZE, MATERIAL, CASTING AND INVERT ELEVATIONS OF STORM AND SANITARY SEWER
 - 17.6. LOCATIONS OF WATER AND GAS LINES AND APPURTENANCES
18. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL ENVIRONMENTAL LAWS.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL LOCAL GRADING AND INSPECTION CODES.
20. CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13, RESPECTIVELY. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICAL, LITTER AND SANITARY WASTE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMIT.

GENERAL DEMOLITION NOTES:

1. DEGRADABLE DEMOLITION DEBRIS INCLUDING, BUT NOT LIMITED TO, WOOD, METAL, PLASTER, TILE, ETC., SHALL NOT BE USED AS FILL ON SITE. THESE MATERIALS MUST BE WASTED OFF-SITE. CONTRACTOR TO VERIFY WITH GEOTECHNICAL ENGINEER ALL UNACCEPTABLE DEMOLITION FILL MATERIALS.
2. THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS OR ANY SUBCONTRACTOR'S WORK.
3. THE CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE WELL IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO SCHEDULE, SEQUENCE, AND COORDINATE ALL WORK.
4. IN THE EVENT THE CONTRACTOR ENCOUNTERS MATERIAL ON THE SITE REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BIPHENYL OR OTHER TOXIC MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION IN WRITING TO THE OWNER.
5. THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ENGINEER/ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.
6. THE CONTRACTOR SHALL REMOVE ALL ABANDONED SYSTEMS AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE DRAWINGS. IF AN EXISTING SYSTEM IS TO REMAIN, RELOCATE AND/OR REROUTE AS REQUIRED. NEW LOCATION TO BE APPROVED BY ENGINEER/ARCHITECT PRIOR TO WORK BEING PERFORMED.
7. THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE PROPOSED CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN DEMOLITION WORK OF EXISTING BUILDINGS, UTILITIES, ETC.
9. ALL BUILDINGS OUTSIDE OF THE DEMOLITION AREA SHALL BE PROTECTED.

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY(S).
3. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
4. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. OBTAIN APPROVAL FROM ENGINEER PRIOR TO ANY DEVIATIONS FROM INTENDED GRADES ON PLANS. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
5. CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH, UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE CLASS "A" (4,000 P.S.I.), UNLESS OTHERWISE NOTED.
6. ALL DAMAGE TO EXISTING ASPHALT PAVEMENT, CURB AND GUTTER, AND CONCRETE SIDEWALKS TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
7. DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
9. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
10. IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
11. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
12. CONTRACTOR SHALL SAW CUT ANY SIDEWALKS, CURBS, GUTTERS, DRIVEWAYS, OR PAVED STREETS FOR UTILITY CROSSINGS, AND REPLACE WITH SAME SECTION AND MATERIALS AS EXISTING.
13. NO TREES OR VEGETATION SHALL BE DISTURBED WITHOUT OWNER'S APPROVAL.
14. CONTRACTOR SHALL HIGH-PRESSURE WASH PARKING LOT, CONCRETE PAVEMENT, AND SIDEWALKS UPON COMPLETION OF CONSTRUCTION AS NEEDED.
15. CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CAISSONS, WALKS, ETC. AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT / ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.
16. NO CONSTRUCTION OR STORAGE OF SUPPLIES AND EQUIPMENT SHALL BE PERMITTED OUTSIDE SILT FENCE.
17. ALL CONSTRUCTION ACTIVITIES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) IN EFFECT AT THE TIME IN WHICH THE CONSTRUCTION ACTIVITIES ARE PERFORMED.
18. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.

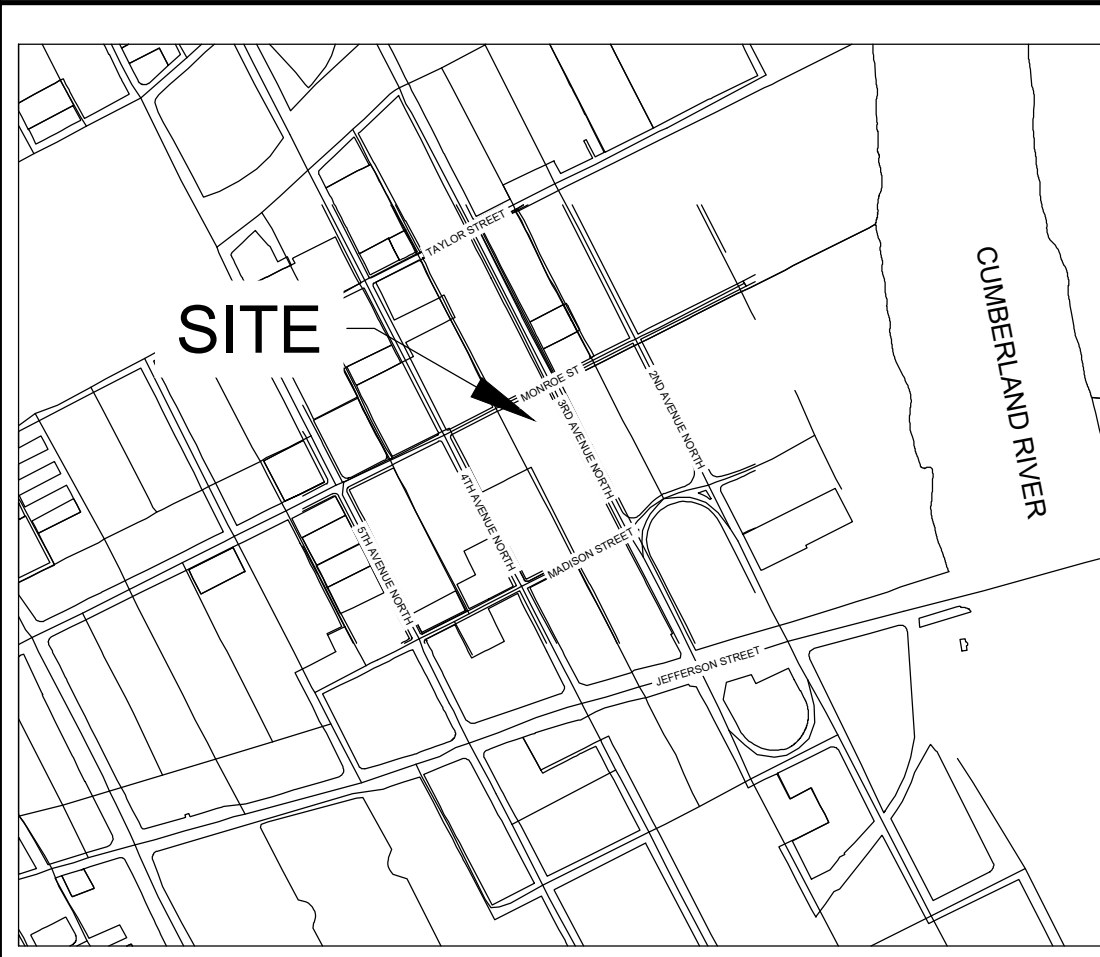
EROSION CONTROL (EPSC) NOTES:

1. ALL EROSION CONTROL PLANS SHALL BE KEPT CURRENT, AND WILL BE AVAILABLE TO ALL OPERATORS AND SITE PERSONNEL INVOLVED WITH EROSION PREVENTION AND SEDIMENT CONTROL. FOR PROJECTS REQUIRING COVERAGE UNDER THE TENNESSEE CONSTRUCTION GENERAL PERMIT, A COPY OF THE SWPPP, AND NOI WILL ALSO BE AVAILABLE TO THE SAME PERSONNEL. AND A COPY OF THE NOC WITH THE NPDES TRACKING NUMBER WILL BE POSTED AT THE SITE ENTRANCE.
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Chill Engineers
6606 CHARLOTTE PIKE, STE 210
NASHVILLE, TENNESSEE 37209
815.356.9911 PHONE
815.352.6737 F A X

3RD AND MONROE TOWNHOMES
1227 3RD AVENUE NORTH
NASHVILLE, TN, 37208

DATE	1/26/2022
DESCRIPTION	FINAL SP SUBMITTAL
C0.1	
BCA JOB NO. 2525-10-03	

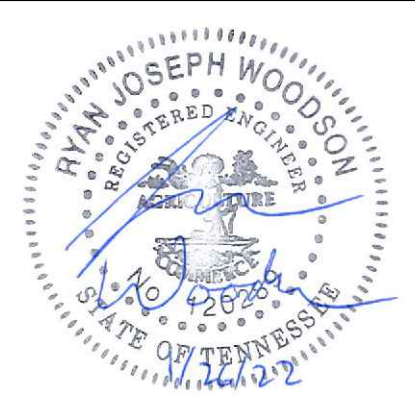


SITE PLAN KEYNOTES:

- ① PROPOSED CONCRETE PAVEMENT, SEE DETAIL SHEET C5.0
- ② METRO STANDARD DRIVEWAY RAMP, SEE DETAIL SHEET C5.0
- ③ PROPOSED 5' METRO STANDARD BRICK SIDEWALK, SEE DETAIL SHEET C5.0
- ④ PROPOSED 4' GRASS STRIP
- ⑤ PROPOSED 8' METRO STANDARD BRICK SIDEWALK, SEE DETAIL SHEET C5.0
- ⑥ PROPOSED 3.5' GRASS STRIP
- ⑦ PROPOSED LEVEL 2 PERVIOUS PAVERS, SEE DETAIL SHEET C5.0
- ⑧ TIE CURB TO EXISTING CURB ALONG 3RD AVENUE
- ⑨ METRO STANDARD CURB AND GUTTER, SEE DETAIL SHEET C5.0
- ⑩ 5' SIDE SETBACK LINE
- ⑪ 5' REAR SETBACK LINE
- ⑫ PROPOSED RIGHT OF WAY DEDICATION
- ⑬ PROPOSED METRO STANDARD POST CURB, SEE DETAIL SHEET C5.0
- ⑭ PROPOSED METRO STANDARD CURB RAMP, SEE DETAIL SHEET C5.0
- ⑮ PROPOSED METRO STANDARD FLUSH RIBBON CURB, SEE DETAIL SHEET C5.0
- ⑯ PROPOSED 2 CAR PARKING GARAGE, TYP. EACH UNIT TO HAVE A TWO CAR GARAGE.
- ⑰ 3RD AVE AND MONROE ROADWAY CENTERLINES, TYP.
- ⑱ EXISTING OVERHEAD TELECOM LINES ALONG 3RD AVE TO BE BURIED TO ALLOW FOR AERIAL FIRE ACCESS FROM 3RD AVE.
- ⑲ PROPOSED 6' BIKE LANE BUFFER ALONG 3RD AVE FRONTAGE.
- ⑳ EXISTING OVERHEAD ELECTRIC LINES AND POLES TO REMAIN ALONG MONROE ST. FRONTAGE.
- ㉑ EXISTING NES EASEMENT TO BE ABANDONED AND OVERHEAD SERVICE TO BE RELOCATED UNDERGROUND.
- ㉒ PROPOSED PAD MOUNTED TRANSFORMER.
- ㉓ PROPOSED UNDERGROUND ELECTRIC SERVICE AND 10' PRIVATE UTILITY EASEMENT.
- # INDICATES TOWNHOUSE NUMBER

Civil Engineers
 6606 CHARLOTTE PIKE, STE 210
 NASHVILLE, TENNESSEE 37209
 615.356.9911 PHONE
 615.352.6737 F A X

Barge Cauthen & ASSOCIATES



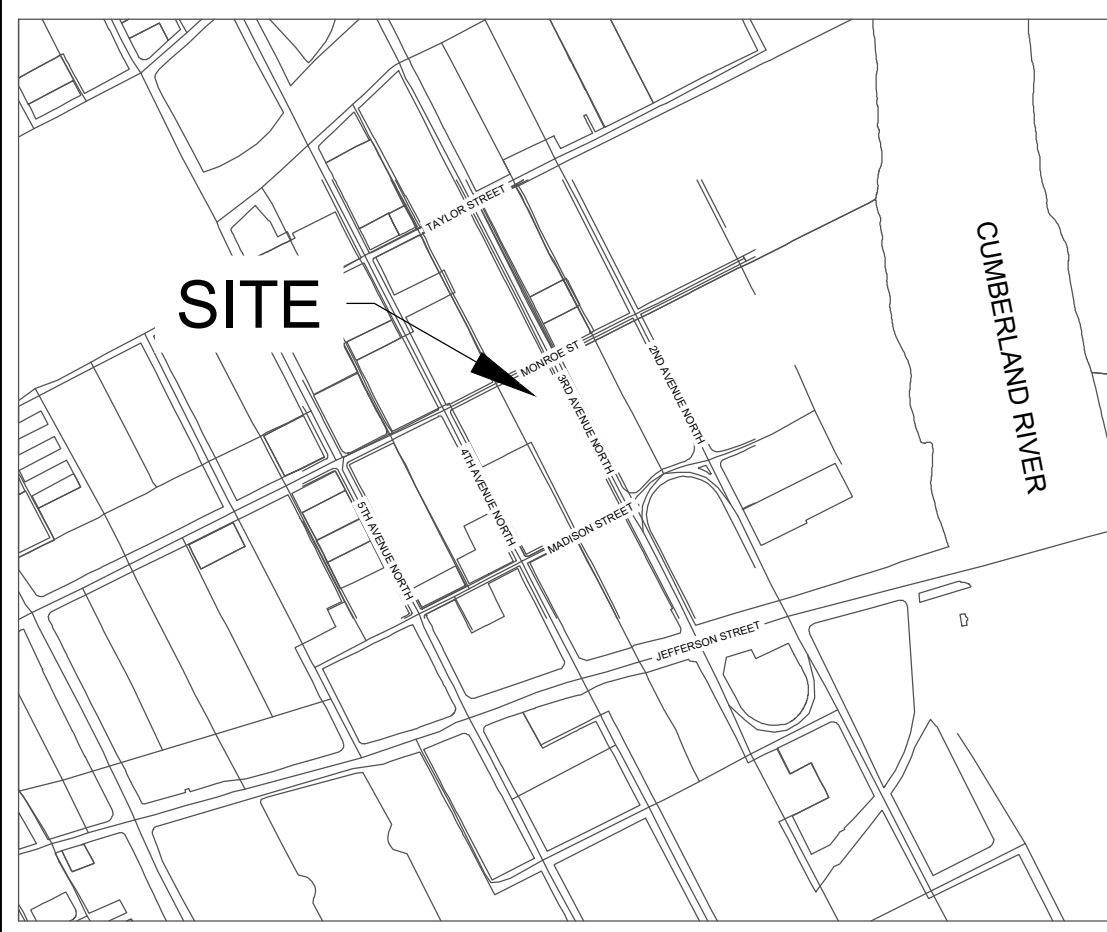
3RD AND MONROE TOWNHOMES
 1227 3RD AVENUE NORTH
 NASHVILLE, TN, 37208

3RD. AVENUE

DATE	DESCRIPTION
1/26/2022	FINAL SP SUBMITTAL

C1.0
 BCA JOB NO. 2525-10-03

P:\2525 Landmark Rm\2525-10-03 DD\CA 3rd & Monroe Townhomes\DWG\2525-10-03_C1\1 SITE.rvt-2438



GRADING AND DRAINAGE NOTES:

- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS APPROVED BY OWNER'S REPRESENTATIVE.
- REGARDLESS OF DEPTH, TOPSOIL IS TO BE STRIPPED FROM ALL DISTURBED AREAS, STOCKPILED ONSITE, AND PROPERLY STABILIZED AND PROTECTED. TOPSOIL SHALL BE STABILIZED WITH SEEDING AND MULCH.
- ALL GRADED AREAS, INCLUDING SLOPES, ARE TO BE MULCHED AND SEEDED WITHIN 14 DAYS AFTER GRADING IS COMPLETED.
- CONSTRUCT EROSION CONTROL AS SHOWN ON DRAWINGS PRIOR TO BEGINNING GRADING OPERATIONS.
- ALL NEW AND EXISTING STRUCTURES SHALL HAVE SEDIMENT REMOVED PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL PROVIDE THE NECESSARY PROTECTION, IN ACCORDANCE WITH THE SPECIFICATIONS, FOR TREES TO REMAIN. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE OR STORE MATERIALS, WITHIN THE DRIP LINES OF TREES TO REMAIN.
- CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK.
- IN THE EVENT OF DISCREPANCIES THE RECOMMENDATIONS OF THE ENGINEER SHALL GOVERN.
- ALL GRADING OPERATIONS, EXCAVATION, FILL, COMPACTION TESTING AND BACKFILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED TESTING AGENCY.
- NO FILL SHALL BE PLACED PRIOR TO APPROVAL OF THE SUBGRADE BY THE TESTING AGENCY.
- COMPACTION SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF A TESTING AGENCY.
- COMPACTION TESTS SHALL BE DONE FOR EACH TWO FEET OF FILL, BUT NOT LESS THAN ONE TEST FOR EVERY 500 CUBIC YARDS, OR MORE FREQUENTLY IF REQUIRED BY A TESTING AGENCY. RESULTS OF THE TESTS SHALL BE SUPPLIED TO SITE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS INCURRED FOR INSPECTION AND TESTING OF SOILS DUE TO FAILURE TO COMPLY WITH THE MINIMUM REQUIREMENTS OF THE TESTING AGENCY.
- ALL GRADING OPERATIONS SHALL BE STAKED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR APPROVED BY THE OWNER.
- UPON COMPLETION OF GRADING, THE TESTING AGENCY SHALL PROVIDE OWNER WITH A LETTER INDICATING THAT THE SITE AND BUILDING PAD WERE PREPARED IN DIRECT CONFORMANCE WITH HIS RECOMMENDATIONS.
- ALL SLOPES 3:1 OR STEEPER SHALL BE STABILIZED WITH EROSION CONTROL BLANKET OR APPROVED EQUAL WITHIN SEVEN (7) DAY AFTER GRADING IS COMPLETE.
- CONTRACTOR TO PROVIDE ENGINEER WITH A COMPLETE AS-BUILT SURVEY OF THE SITE BY A LICENSED LAND SURVEYOR. THE AS-BUILT SURVEY SHOULD INCLUDE (AT A MINIMUM) THE FOLLOWING:
 - CONTOURS ON 1' INTERVALS
 - SPOT ELEVATIONS AT TOPS AND TOES OF SLOPES IN DETENTION PONDS, PONDS SPILLWAYS, BIORETENTION AREAS AND PRETREATMENT CELLS.
 - SPOT ELEVATIONS AT EDGES OF PERVIOUS PAVEMENT
 - DELININATION OF PERVIOUS PAVEMENT AREAS
 - PIPE SIZE, MATERIAL, CASTING AND INVERT ELEVATIONS OF STORM AND SANITARY SEWER
 - LOCATIONS OF WATER AND GAS LINES AND APPURTENANCES
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL ENVIRONMENTAL LAWS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL LOCAL GRADING AND INSPECTION CODES.
- CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13, RESPECTIVELY. CONTRACTOR TO COORDINATE EXACT LOCATION WITH METRO DEPARTMENT DURING PRE-CONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICAL LITTER AND SANITARY WASTE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMIT.

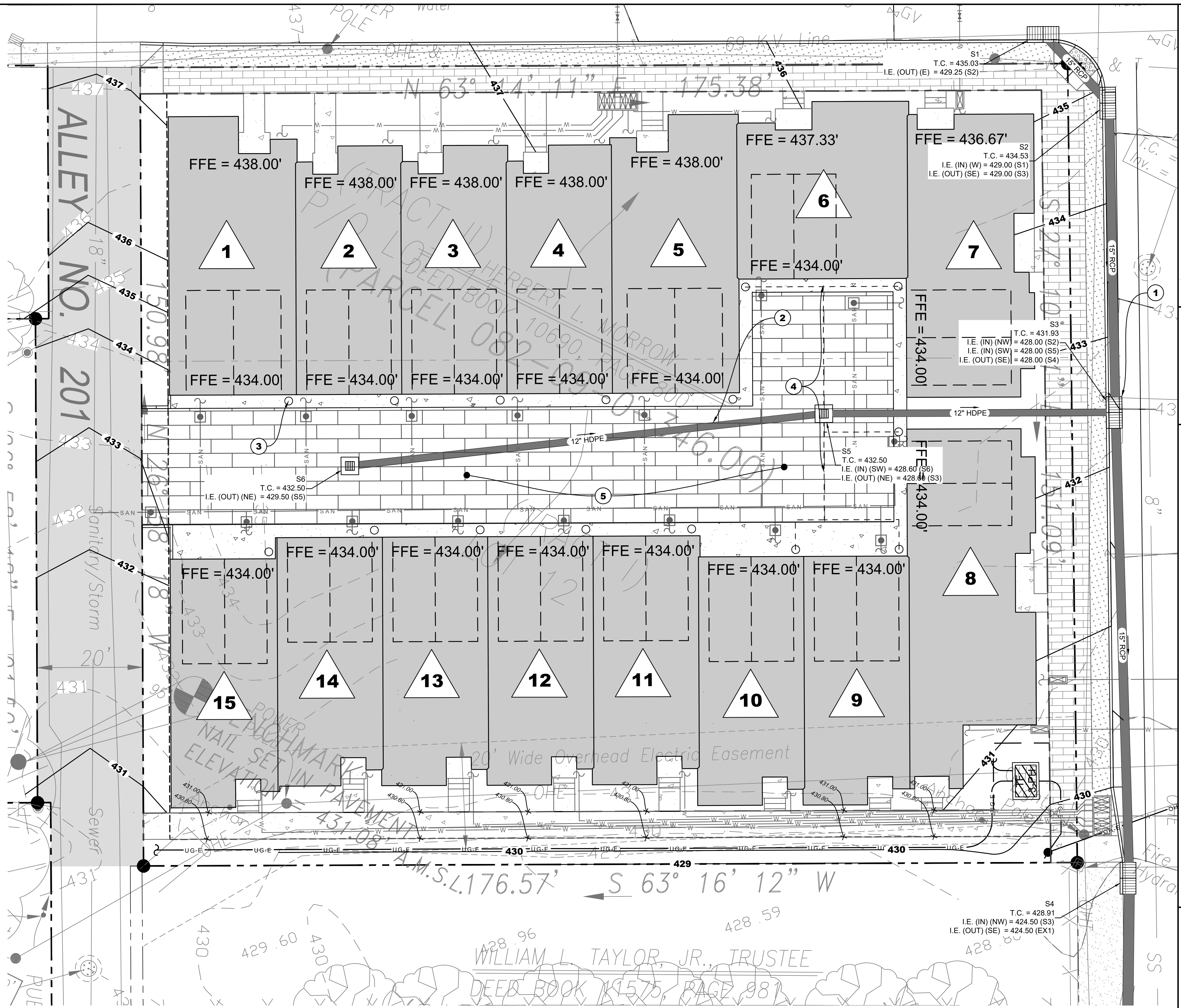
FEMA NOTE:

THE SUBJECT PROPERTY LIES OUTSIDE OF THE FLOOD PLAIN IN FLOOD AREA ZONE 'X' AS IDENTIFIED ON MAP NUMBER 47037C0241H OF THE FLOOD INSURANCE STUDY FOR METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY, TENNESSEE, DATED APRIL 5, 2017. THE 100-YEAR BASE FLOOD ELEVATION (BFE) = XXX.XX DATUM IS NAVD XXXX.

MWS STORMWATER ASBUILT NOTE:

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOODPLAIN
- SINK HOLE ALTERATIONS



STORM STRUCTURE TABLE

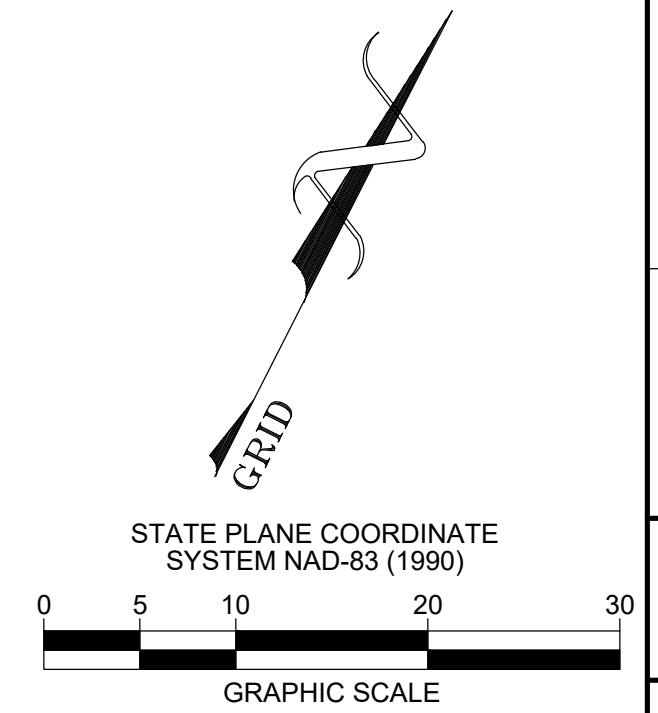
STRUC. #	TYPE	CASTING FRAME	TOP OF CASTING (Elev.)	PIPE I.E. (IN)	PIPE I.E. (OUT)
EX1	SINGLE CURB INLET	JBS 3101	423.67	419.00	419.00
EX2	SINGLE CURB INLET	JBS 3101	424.00	418.80	418.80
S1	DOUBLE CURB INLET	JBS 3101	435.03		429.25
S2	DOUBLE CURB INLET	JBS 3101	434.53	429.00	429.00
S3	DOUBLE CURB INLET	JBS 3101	431.93	428.00	428.00
S4	DOUBLE CURB INLET	JBS 3101	428.91	424.50	424.50
S5	AREA INLET REC STR REC FRAME	----	432.50	428.60	428.60
S6	AREA INLET REC STR REC FRAME	----	432.50		429.50

STORM PIPE TABLE

UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	PIPE SIZE (INCHES)	PIPE MATERIAL	SLOPE (%)	LENGTH (L.F.)
EX1	EX2	24	RCP	0.47%	43
S1	S2	15	RCP	1.37%	18
S3	S2	15	RCP	1.71%	58
S3	S4	15	RCP	3.97%	88
S4	EX1	18	RCP	3.41%	161
S5	S3	12	HDPE	1.09%	55
S6	S5	12	HDPE	1.00%	90

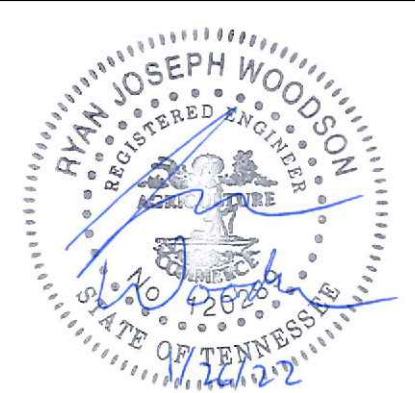
GRADING PLAN KEYNOTES:

- PROPOSED PUBLIC STORM LINE, SEE PROFILE SHEET C2.1
- PROPOSED PRIVATE STORM LINE
- PROPOSED ROOF DOWNSPOUT TO DISCHARGE ONTO CONCRETE APRON ALONG PERIMETER OF PERVIOUS PAVER DRIVE, TYP.
- TIE ROOF DRAIN DOWNSPOUTS TO STORM STRUCTURE S5 WITH 6" HDPE COLLECTOR PIPE
- PROPOSED LEVEL 2 PERVIOUS PAVERS, SEE DETAIL THIS SHEET



Civil Engineers
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 NASHVILLE, TENNESSEE 37209
 615.356.9911 PHONE
 615.352.6737 F A X

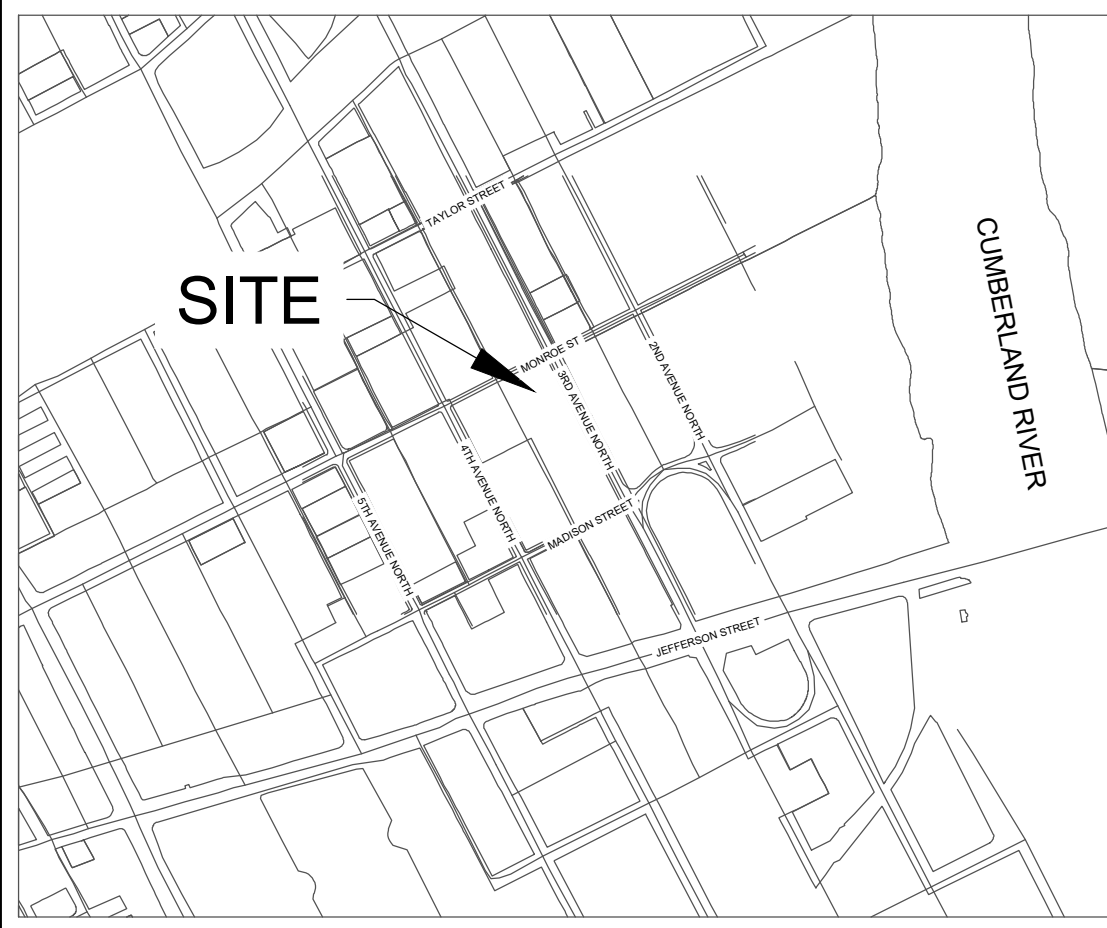
Barge Cauthen & ASSOCIATES



SITE GRADING PLAN
3RD AND MONROE TOWNHOMES
1227 3RD AVENUE NORTH
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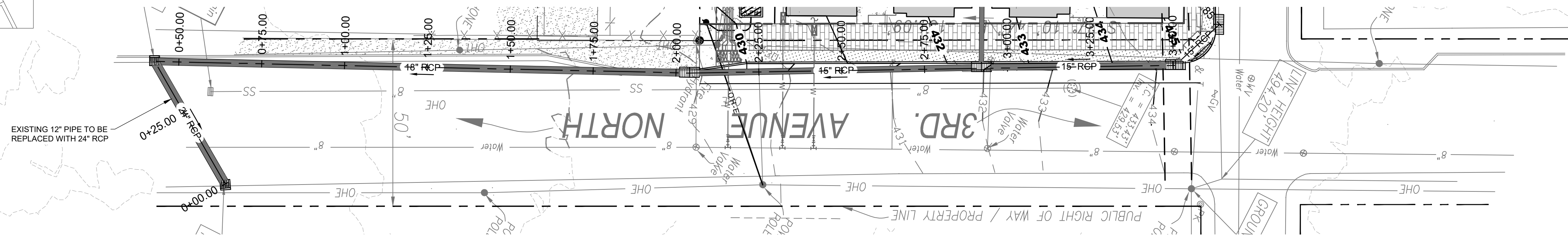
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BCA JOB NO. 2525-10-03	

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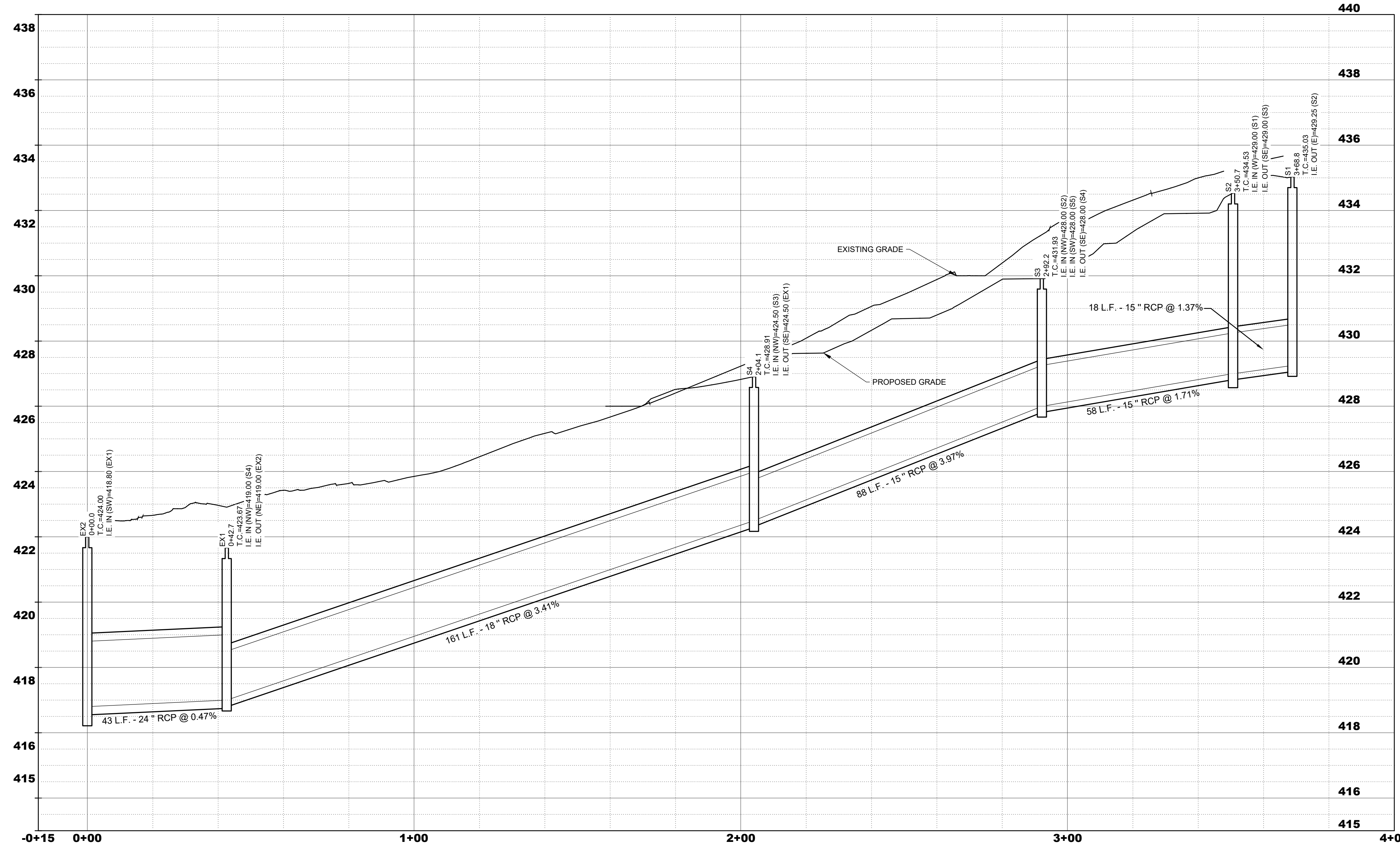


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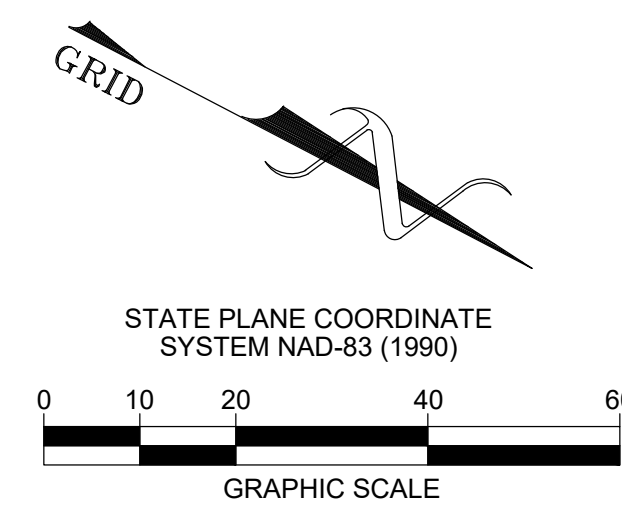
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PROFILE VIEW OF PUBLIC STORM LINE



PUBLIC STORM NOTE:
REPAIR AND REPLACE ALL INFRASTRUCTURE (ASPHALT, SIDEWALKS, CURBS, RAMPS, ETC.) DAMAGED/REMOVED DURING STORM LINE CONSTRUCTION PER NDOT STANDARDS AND SPECIFICATIONS. COORDINATE WORK WITH NDOT.

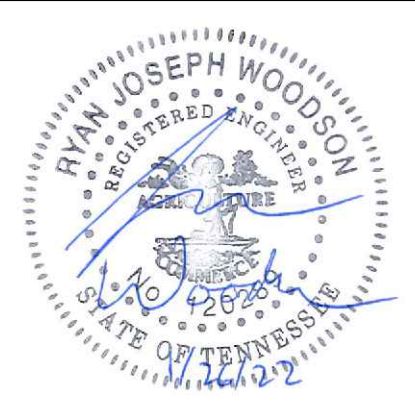


PUBLIC STORM PLAN AND PROFILE
3RD AND MONROE TOWNHOMES
1227 3RD AVENUE NORTH
NASHVILLE, TN, 37208

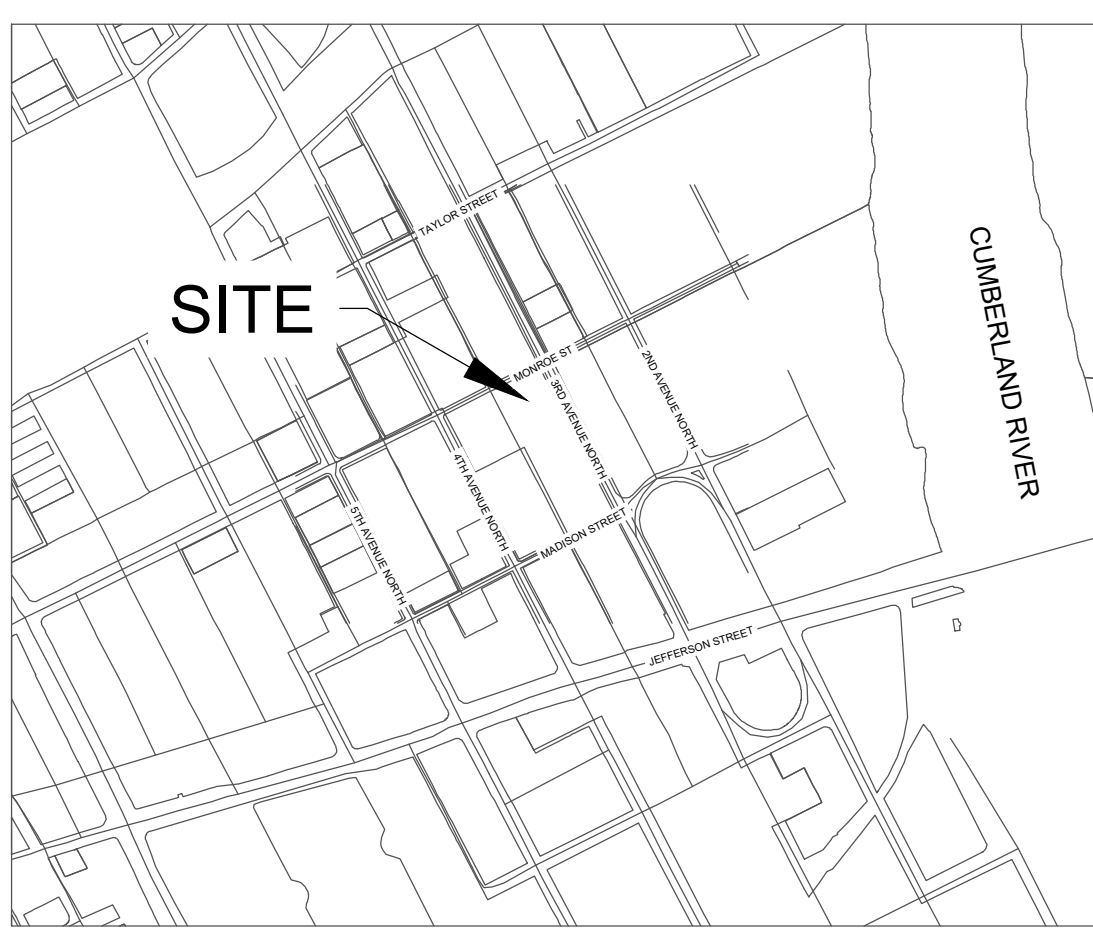
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NASHVILLE, TENNESSEE 37209
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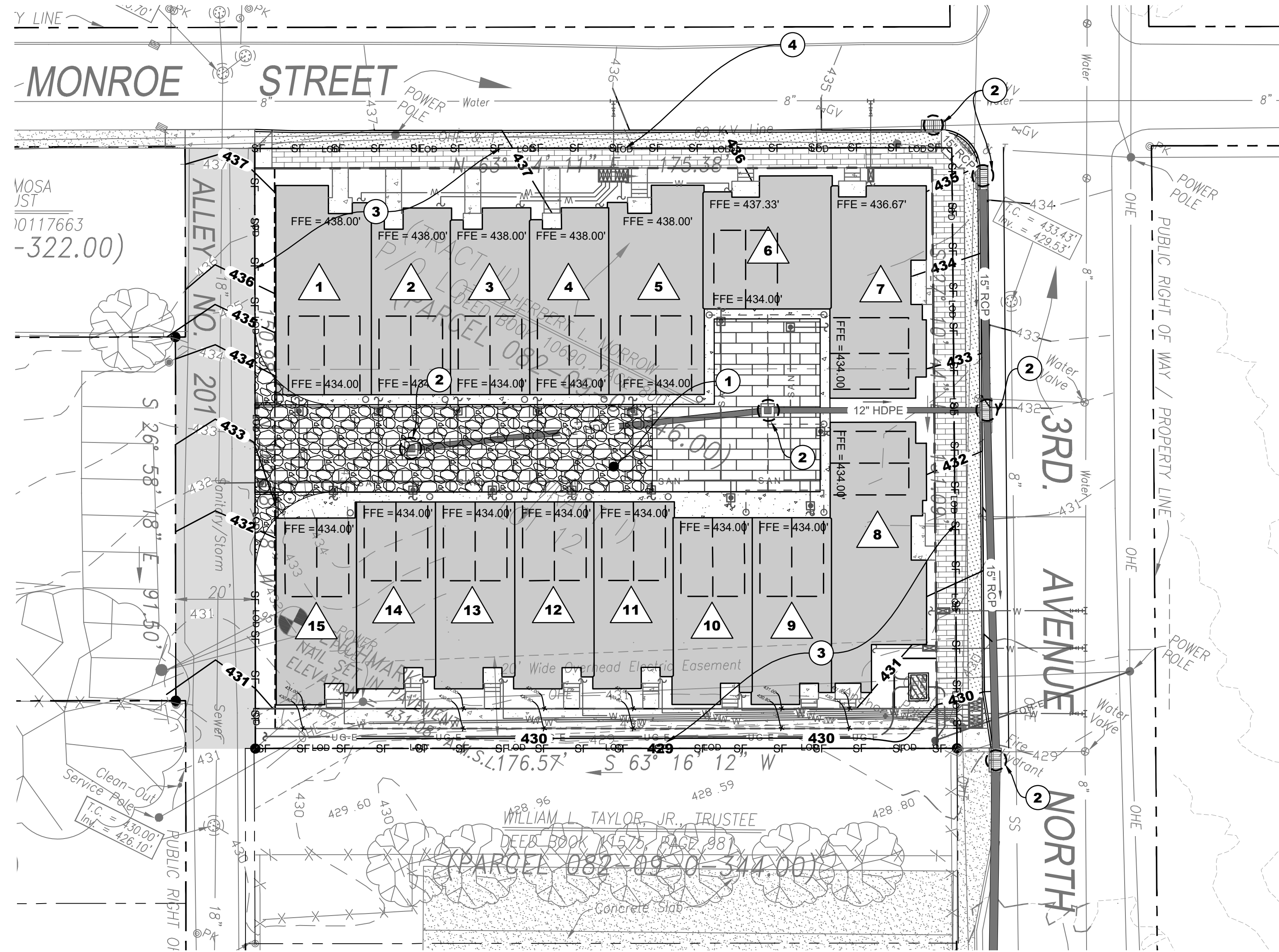
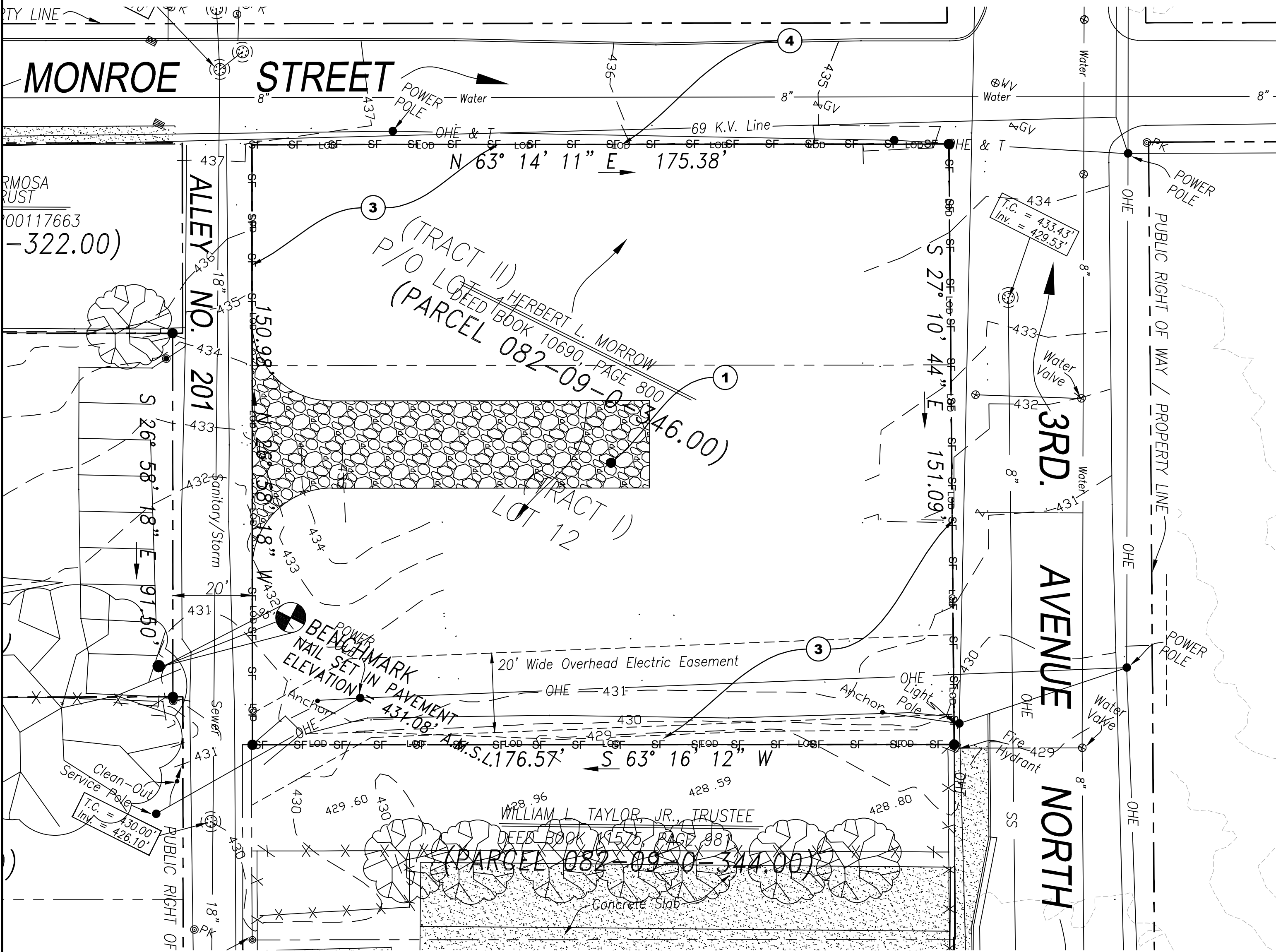


EPSC PLAN KEYNOTES:

- ① CONSTRUCTION ENTRANCE, SEE DETAIL THIS SHEET
- ② INLET PROTECTION, SEE DETAIL THIS SHEET
- ③ SILT FENCE, SEE DETAIL THIS SHEET
- ④ LIMITS OF DISTURBANCE = 0.61 ACRES

INITIAL EPSC PLAN

INTERMEDIATE & FINAL EPSC PLAN



EROSION CONTROL (EPSC) NOTES:

1. ALL EROSION CONTROL PLANS SHALL BE KEPT CURRENT, AND WILL BE AVAILABLE TO ALL OPERATORS AND SITE PERSONNEL INVOLVED WITH EROSION PREVENTION AND SEDIMENT CONTROL. FOR PROJECTS REQUIRING COVERAGE UNDER THE TENNESSEE CONSTRUCTION GENERAL PERMIT, A COPY OF THE SWPPP, AND NOI WILL ALSO BE AVAILABLE TO THE SAME PERSONNEL, AND A COPY OF THE NOC WITH THE NPDES TRACKING NUMBER WILL BE POSTED AT THE SITE ENTRANCE.
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16. CONTRACTOR SHALL FILE A NOTICE OF TERMINATION (NOT) WITH T.D.E.C. UPON FINAL STABILIZATION OF SITE.

TDEC NOC NOTE:
 AS THE DESIGN ENGINEER RESPONSIBLE FOR THE DEVELOPMENT OF THESE PLANS, I DO HEREBY CERTIFY THAT THIS DEVELOPMENT DOES NOT REQUIRE COVERAGE UNDER A TENNESSEE GENERAL PERMIT. THE TOTAL DISTURBED AREA IS: 0.4 ACRES.

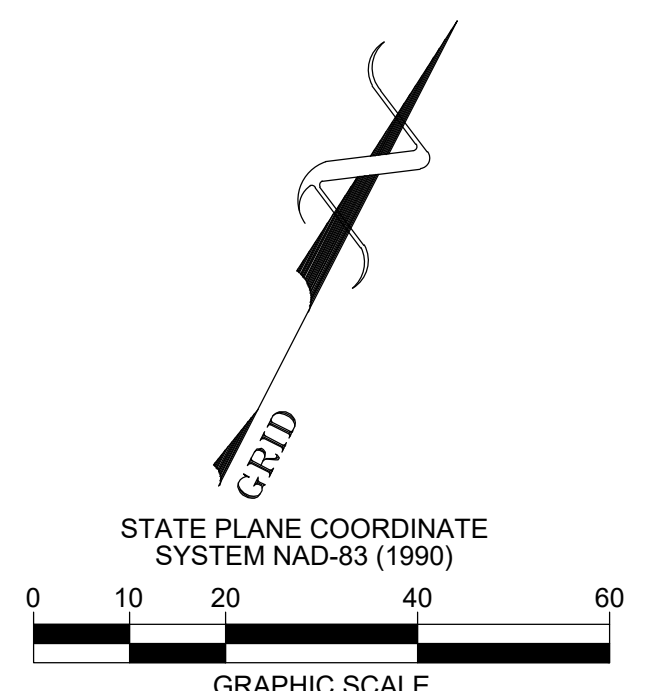
RECEIVING WATER: CUMBERLAND RIVER

THIS SITE DISCHARGES INTO WATERS IDENTIFIED BY TDEC AS:
 • IMPAIRED FOR E. COLI.

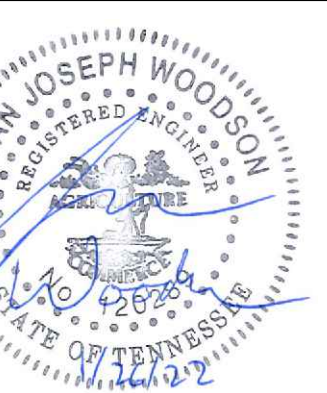
Ryan Woodson 01/12/2022
 ENGINEER DATE

EPSC NOTE:
 I HEREBY CERTIFY THAT I AM THE EROSION PREVENTION AND SEDIMENT CONTROL SPECIALIST FOR THIS PROJECT, UNTIL AN ALTERNATE IS DESIGNATED BY THE CONTRACTOR.

Ryan Woodson 1/12/2022
 (SIGNATURE) DATE



Civil Engineers
 6606 CHARLOTTE PIKE, STE 210
 NASHVILLE, TENNESSEE 37209
 615.356.9911 PHONE
 615.352.6737 F A X



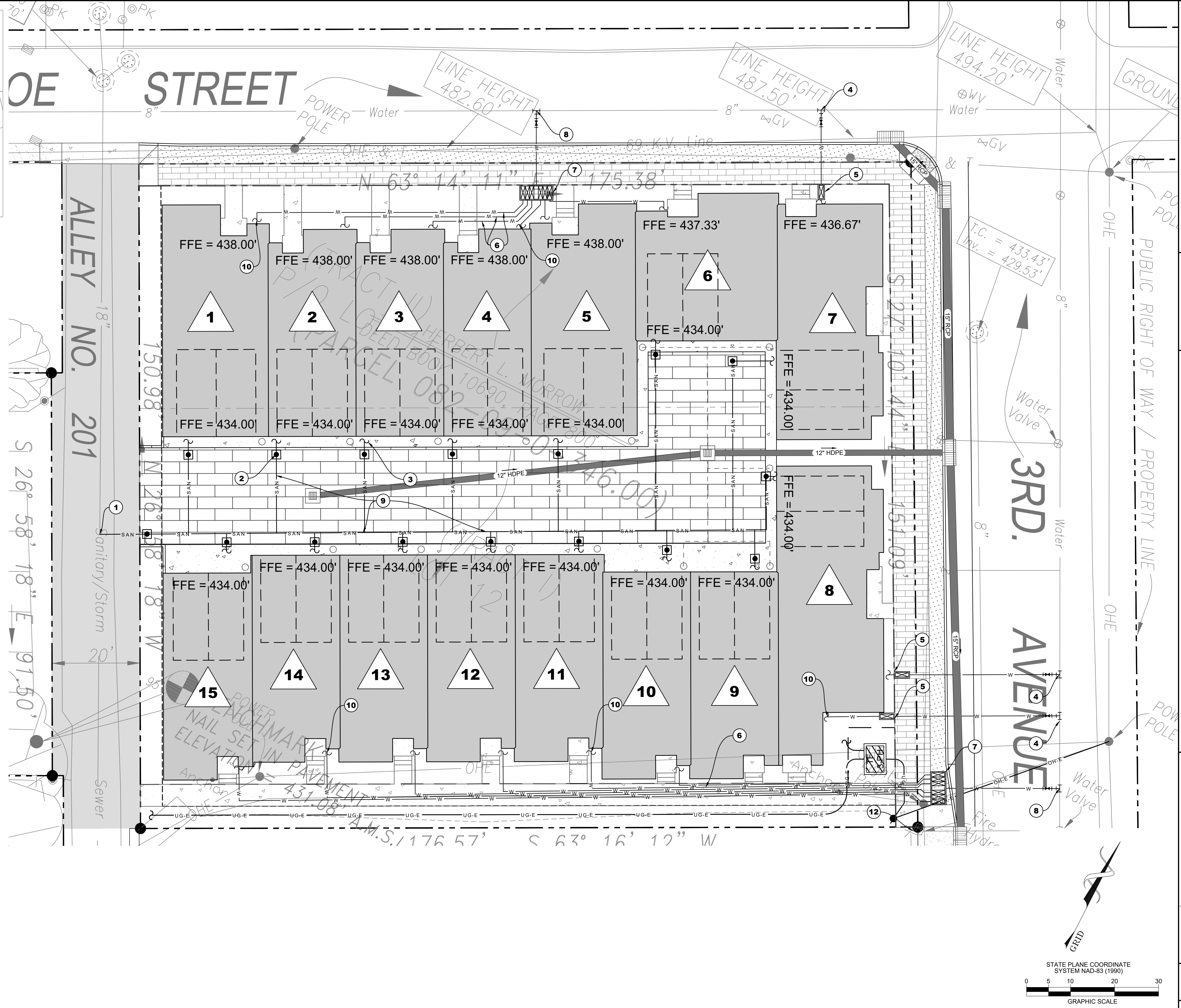
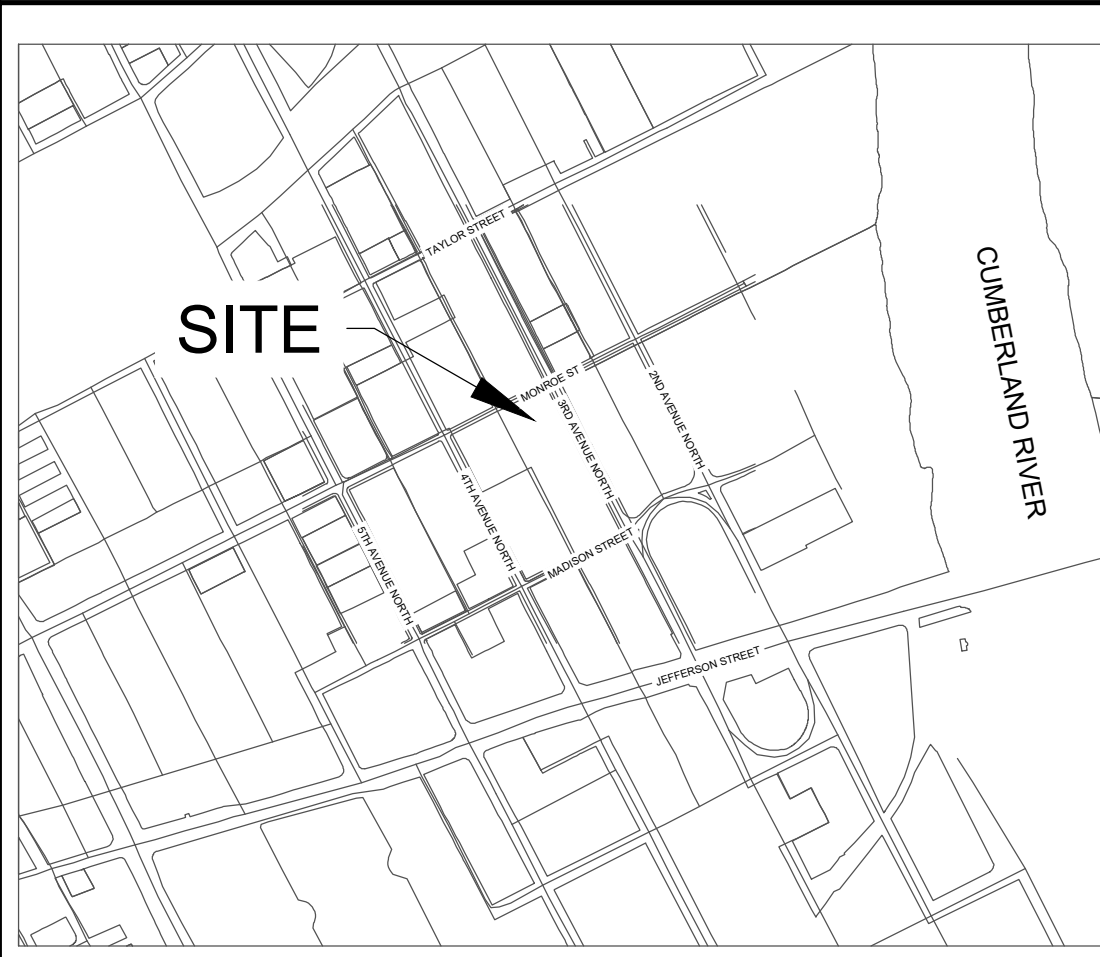
SITE EPSC PLAN
3RD AND MONROE TOWNHOMES
1227 3RD AVENUE NORTH
NASHVILLE, TN, 37208

DESCRIPTION	DATE
FINAL SP SUBMITTAL	1/26/2022

C3.0

BCA JOB NO. 2525-10-03

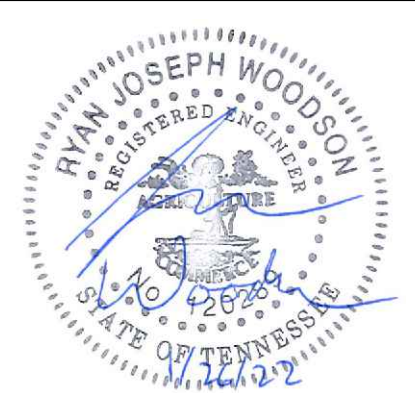
P:\2525 Landmark Rm\2525-10-03 DD-CA 3rd & Monroe Townhomes\Draw\2525-10-03_C3 EPSC.dwg 2/2/22



UTILITY PLAN KEYNOTES:

- ① TIE TO EXISTING 18" COMBINED SANITARY
- ② PROPOSED SANITARY CLEANOUT (TYP.). SEE DETAIL SHEET C5.0
- ③ SANITARY CONTINUATION LINE (TYP.). SEE PLUMBING PLANS
- ④ PROPOSED 3/4" DOMESTIC WATER SERVICE LINE TAPPED TO EXISTING 8" WATER MAIN
- ⑤ PROPOSED DOMESTIC WATER METER
- ⑥ PROPOSED 3/4" DOMESTIC WATER LINE (TYP.)
- ⑦ PROPOSED 3/4" WATER METER VAULT. CONTAINS 6 TOTAL UNITS. SEE DETAIL SHEET C5.0.
- ⑧ PROPOSED 3" DOMESTIC WATER SERVICE LINE TO WATER METER VAULT TAPPED TO EXISTING 8" WATER MAIN
- ⑨ PROPOSED 6" SANITARY SEWER SERVICE LINE (TYP.)
- ⑩ WATER CONTINUATION LINE (TYP.). SEE PLUMBING PLANS
- ⑫ EXISTING METRO FIRE HYDRANT

Civil Engineers
 Barge & Cauthen & ASSOCIATES
 6606 CHARLOTTE PIKE, STE 210
 NASHVILLE, TENNESSEE 37209
 615.356.9911 PHONE
 615.352.6737 F A X

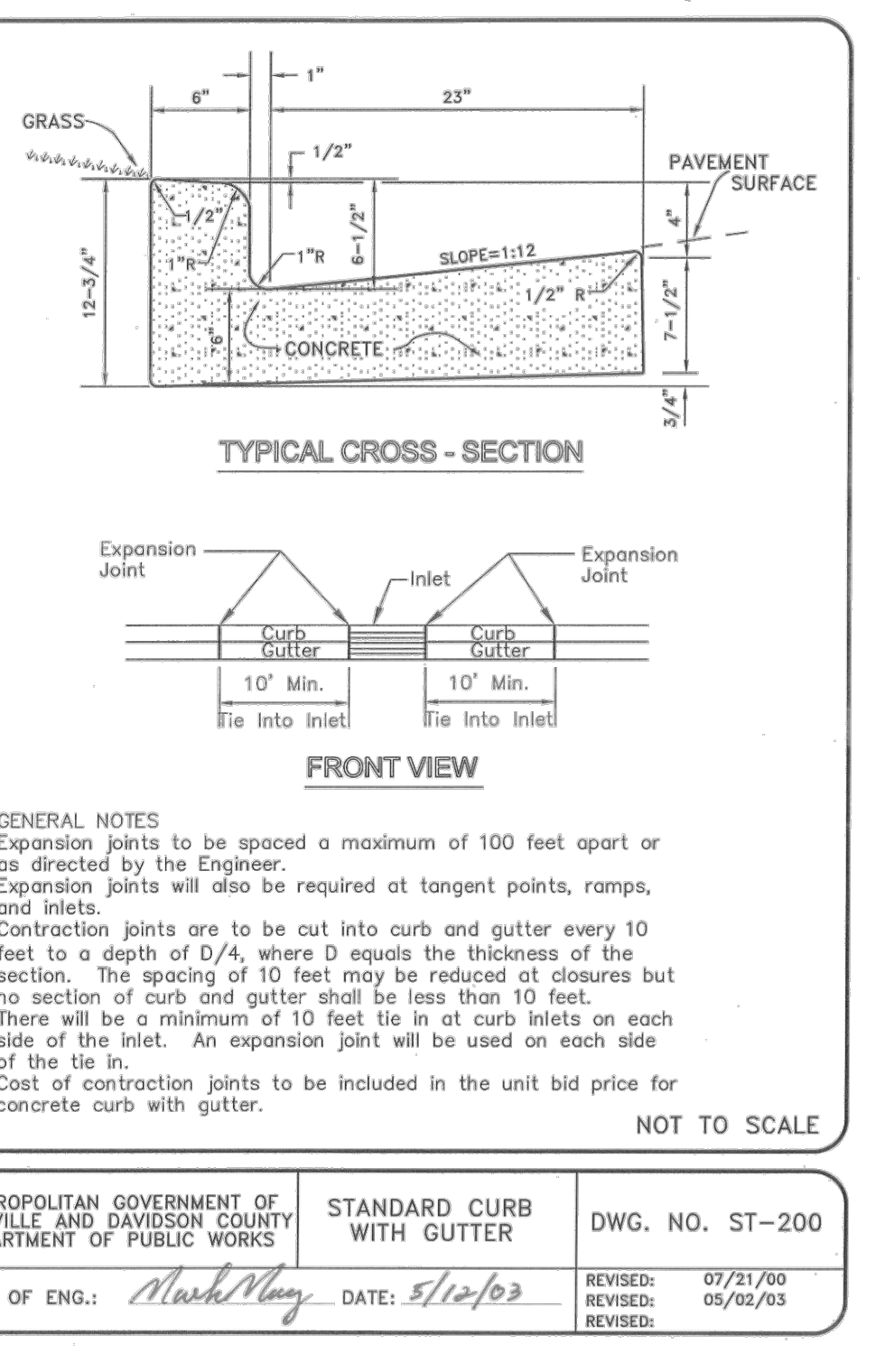
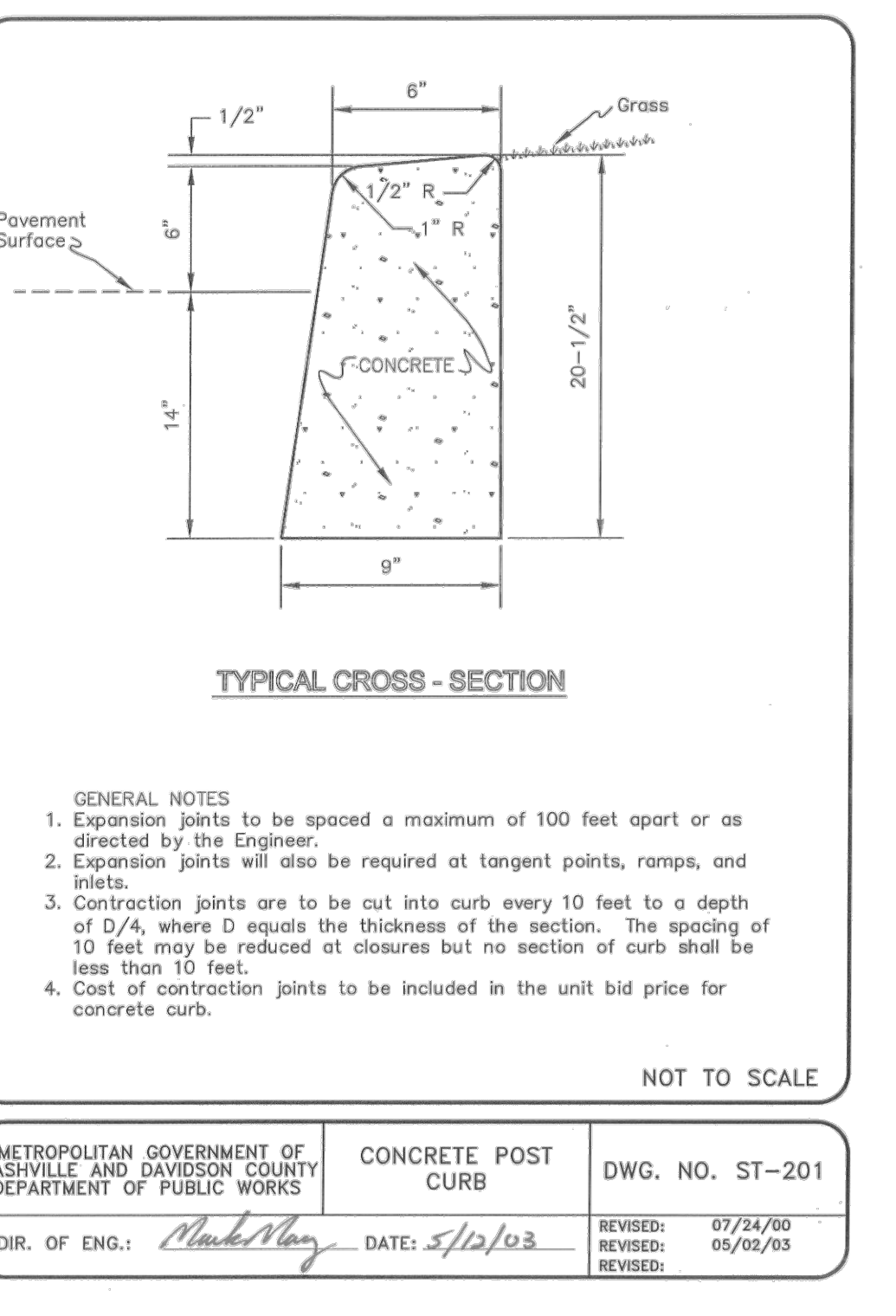
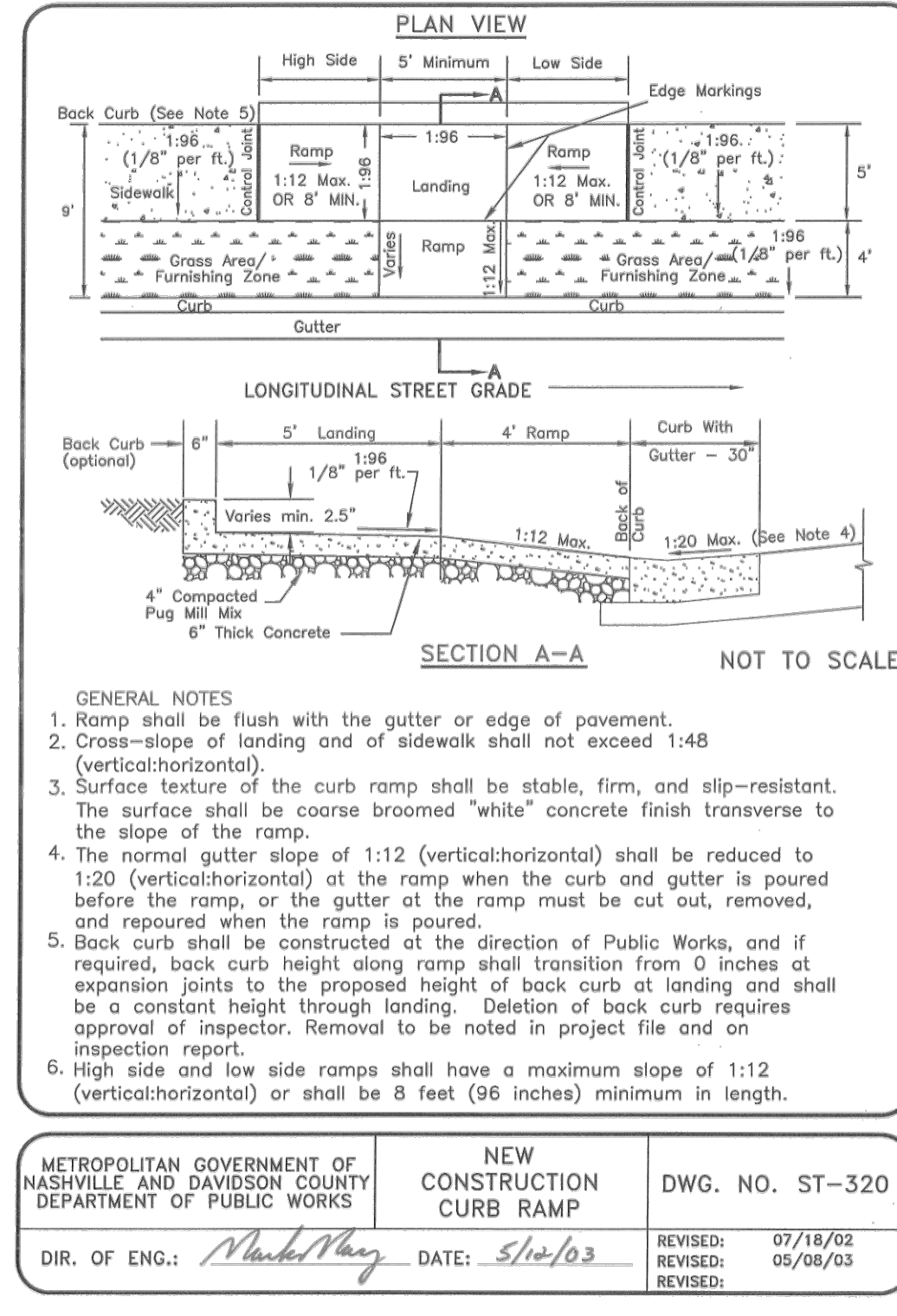
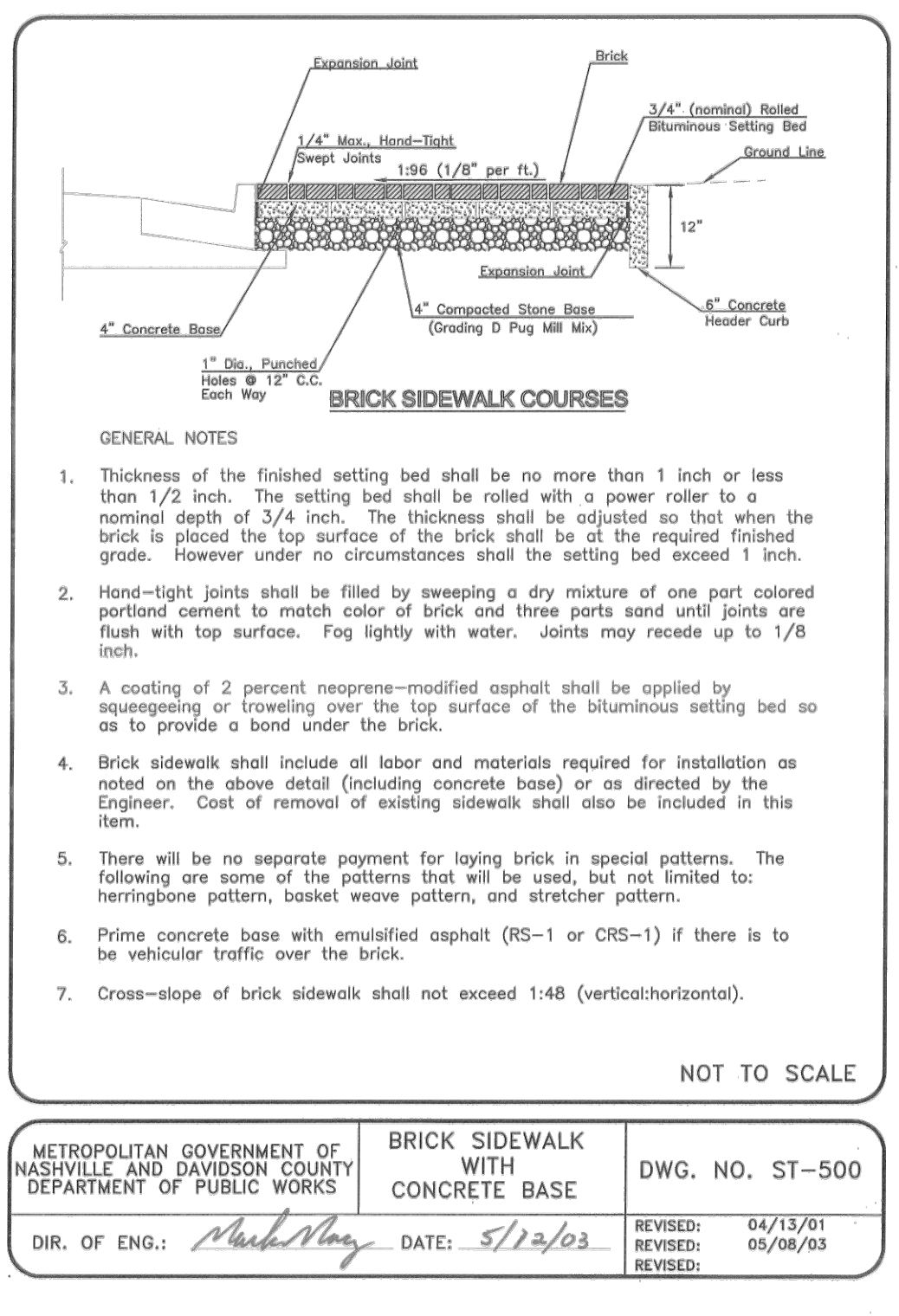
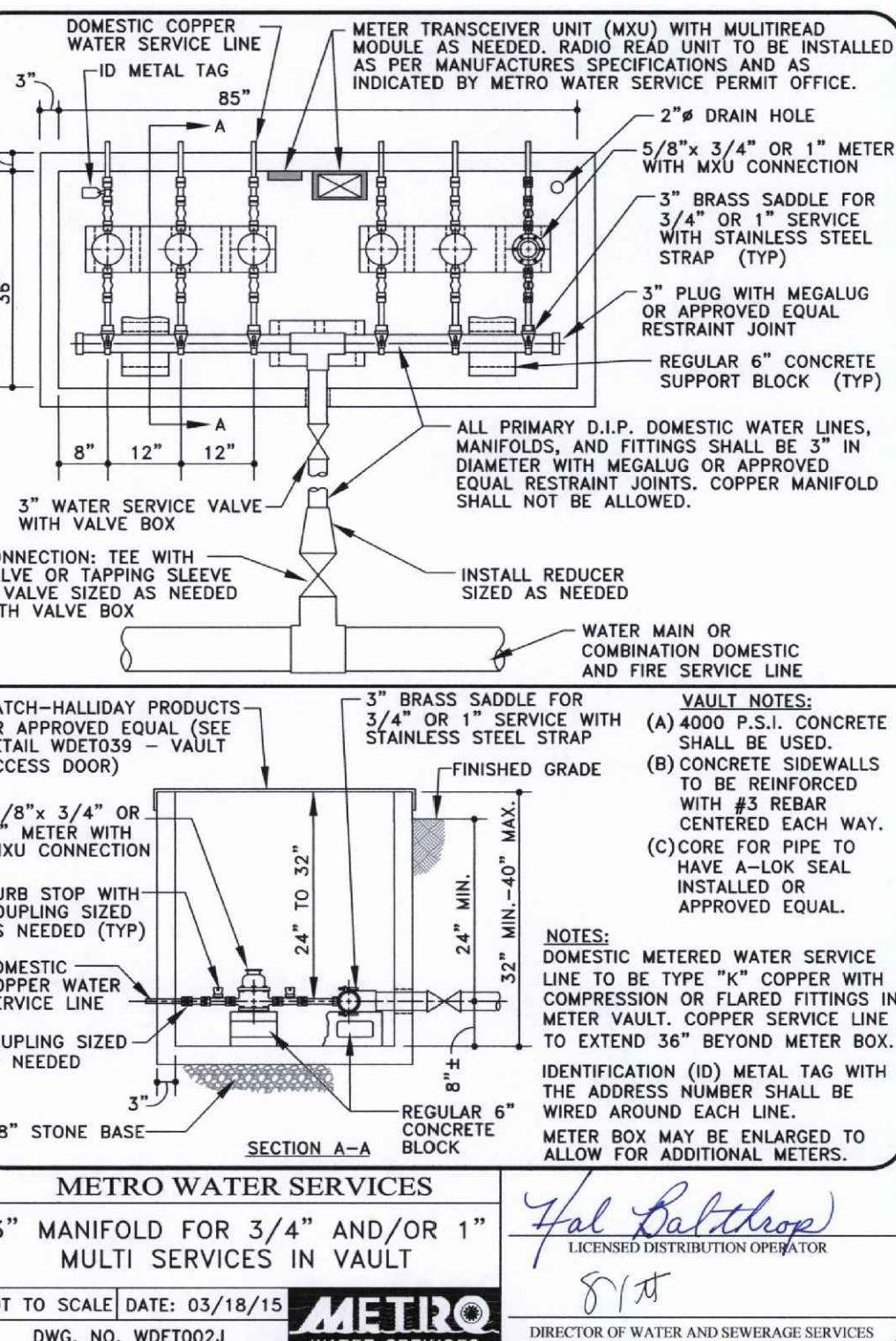
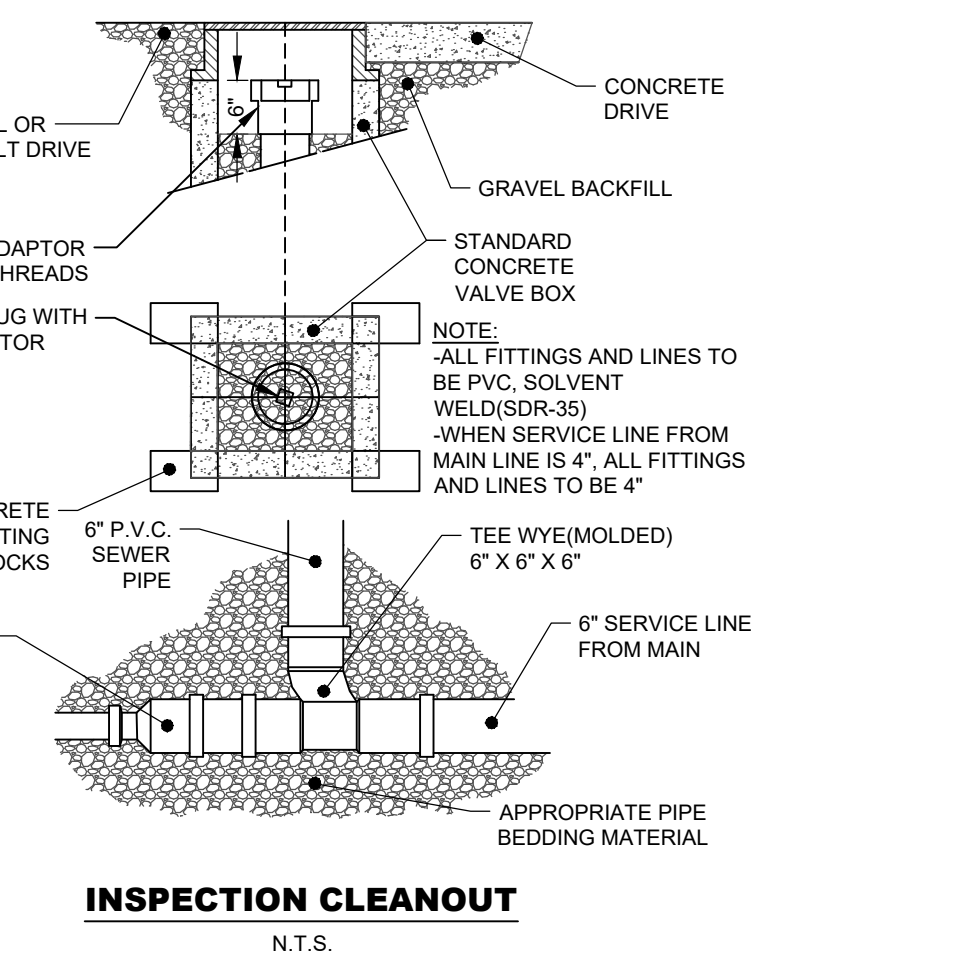
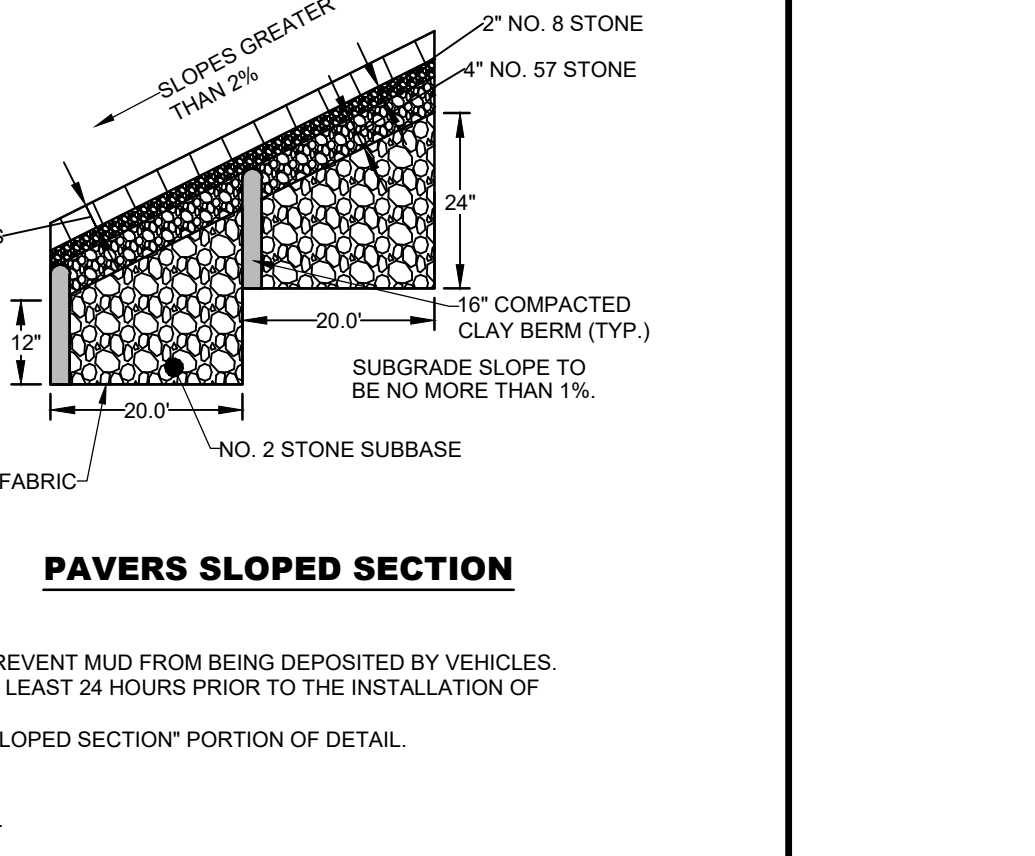
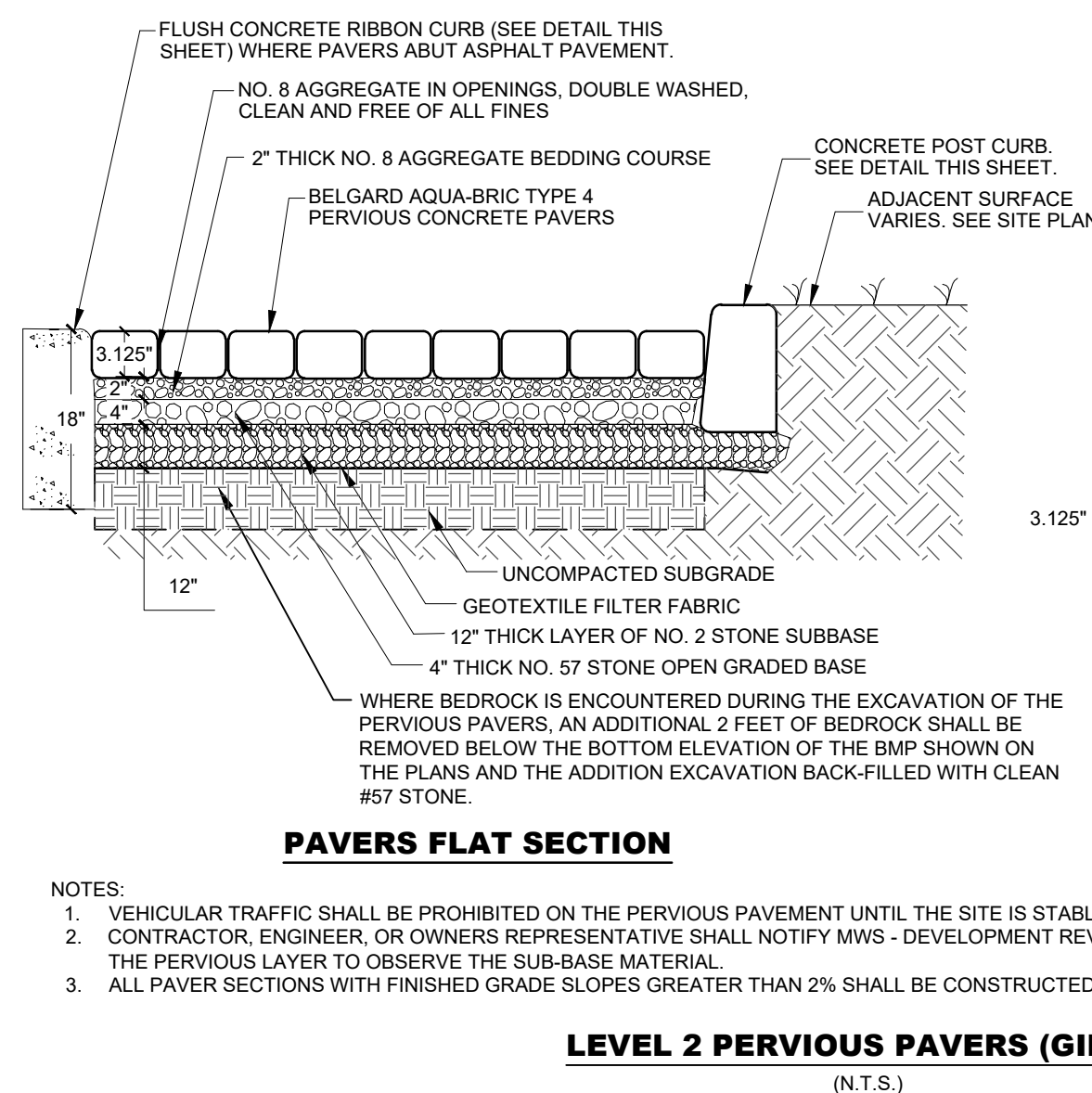
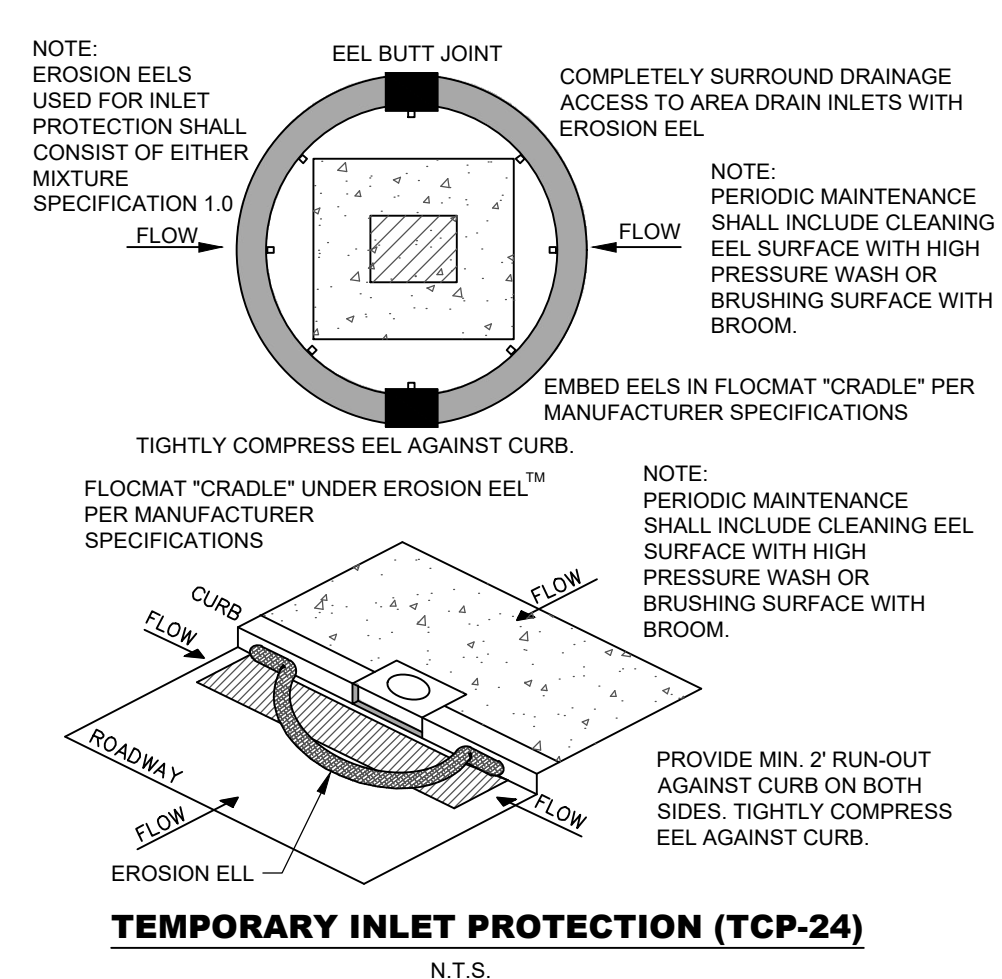
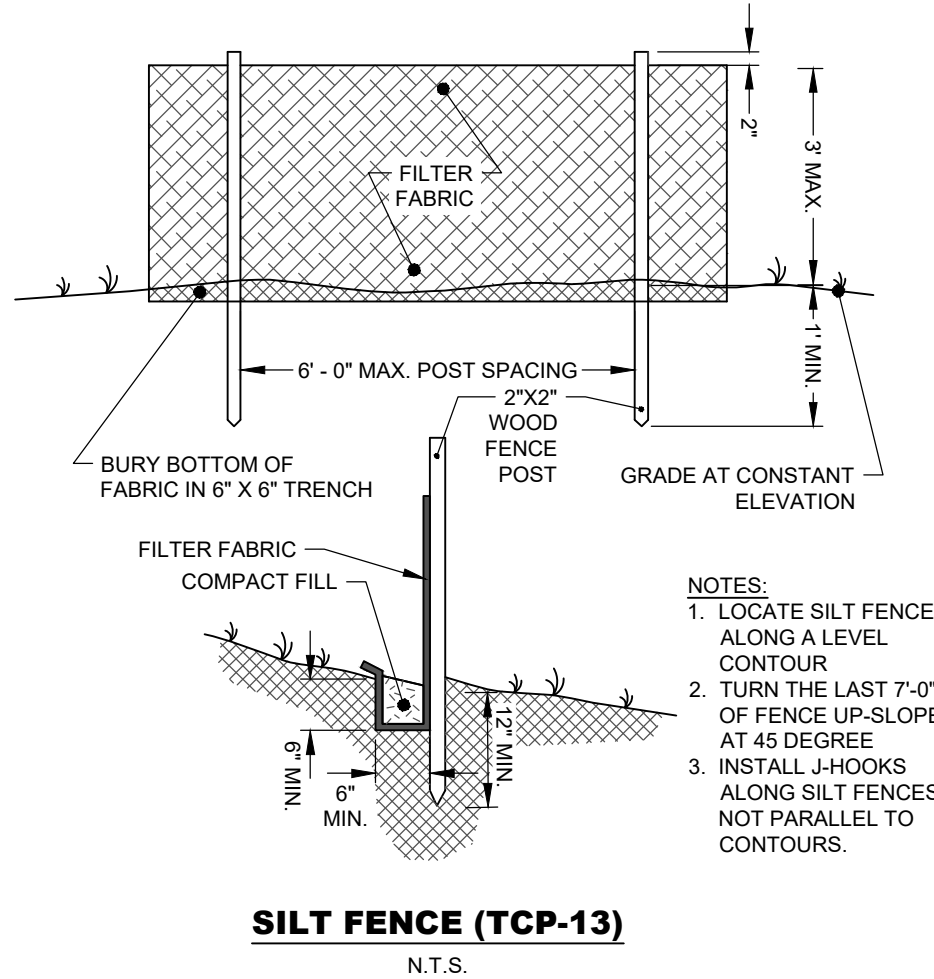
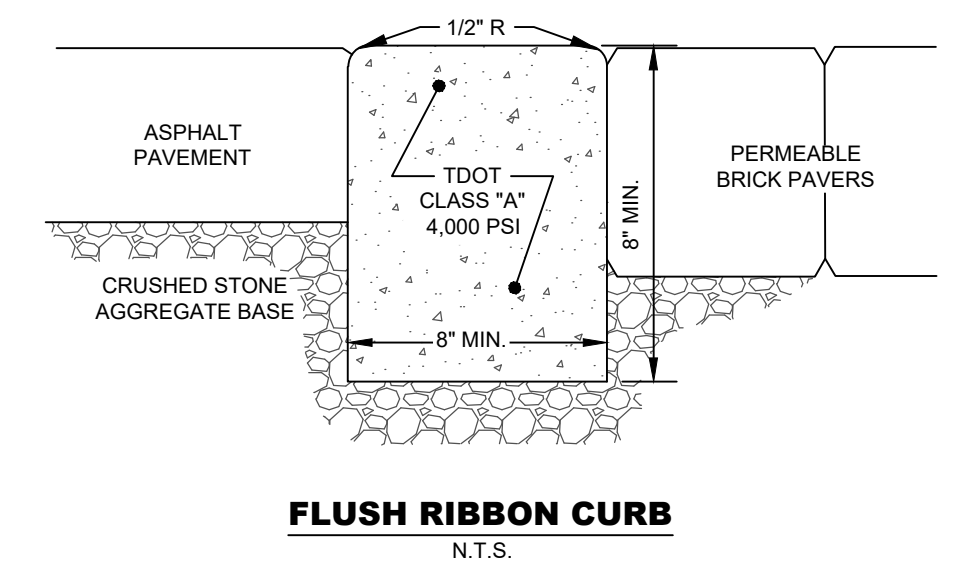
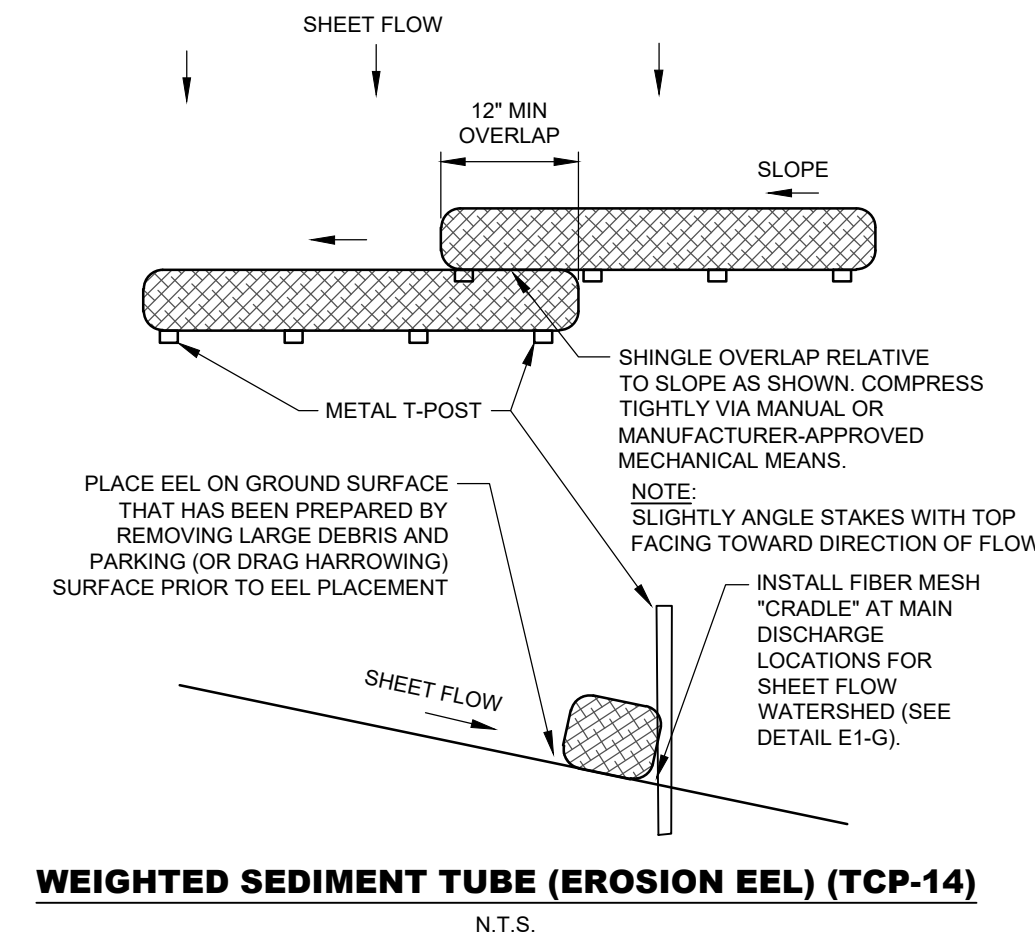
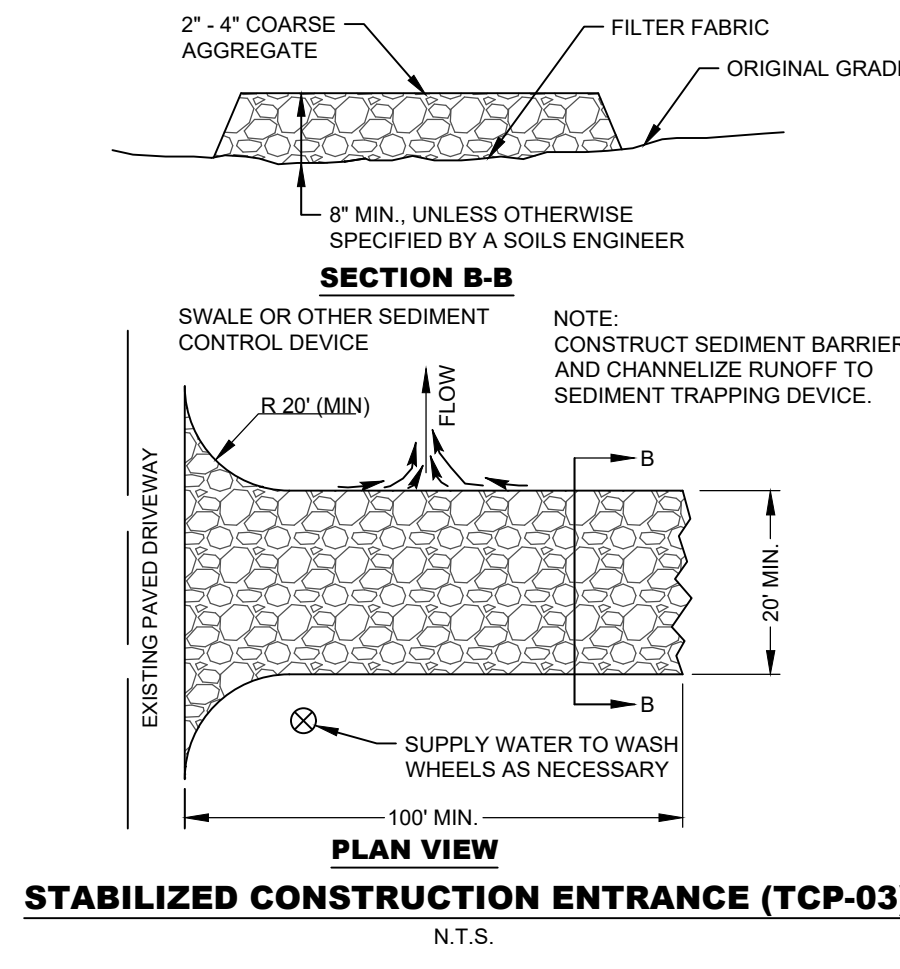
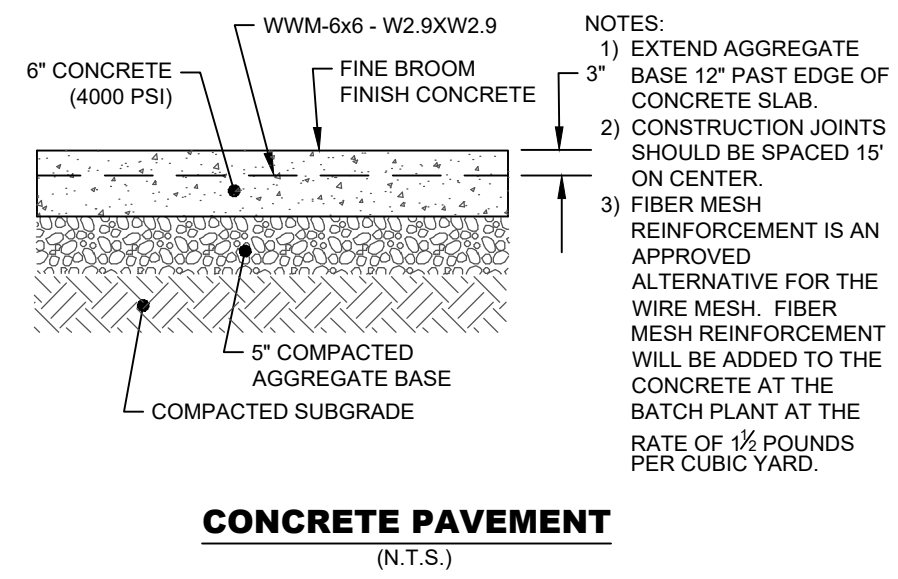


SITE UTILITY PLAN
3RD AND MONROE TOWNHOMES
1227 3RD AVENUE NORTH
NASHVILLE, TN, 37208

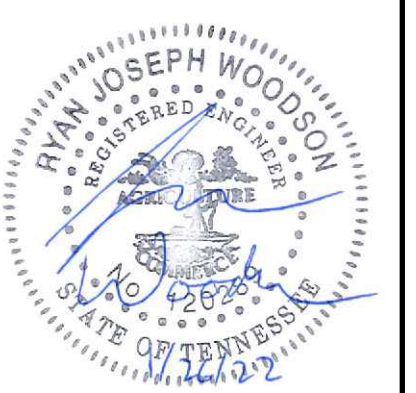
DATE	DESCRIPTION
1/26/2022	FINAL SP SUBMITTAL

C4.0
 BCA JOB NO. 2525-10-03

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Civil Engineers
6606 CHARLOTTE PIKE, STE 210
NASHVILLE, TENNESSEE 37209
615.356.9911 PHONE
615.352.6737 FAX



SITE DETAILS
3RD AND MONROE TOWNHOMES
1227 3RD AVENUE NORTH
NASHVILLE, TN, 37208

DATE	DESCRIPTION
1/26/2022	FINAL SP SUBMITTAL

C5.0

BCA JOB NO. 2525-10-03

Date: 18 January 2022	Parcel: ID #08209034600
Map:---	Application Number: 2021SP-018-001
Project Name: 3rd and Monroe Townhomes	Address: 1227 Third Avenue

1 Acreage (area of parcel including building site)	0.62
2 Minus Building Coverage Area	(-) 0.34
3 Equals Adjusted Acreage	(=) 0.28
4 Multiply by Required Tree Density Unit per acre choose one	(x) 22 All but Single Family and 1 & 2 Family
5 Required TDU for Project	(=) 6.16

HERITAGE TREE(S) RETAINED

DBH	# of Trees	Value	TDU
8"		x 3.2	0
10"		x 4.0	0
12"		x 4.8	0
14"		x 5.6	0
16"		x 6.4	0
18"		x 7.2	0
20"		x 8.0	0
22"		x 8.8	0
24"		x 9.6	0
total			0

DBH	# of Trees	Value	TDU
6"		x 1.8	0
8"		x 2.4	0
10"		x 3.0	0
12"		x 3.6	0
14"		x 4.2	0
16"		x 4.8	0
18"		x 5.4	0
20"		x 6.0	0
22"		x 6.6	0
total			0

RETAINED TREE(S)

DBH	# of Trees	Value	TDU
24"		x 8.4	0
26"		x 9.1	0
28"		x 9.8	0
30"		x 10.5	0
32"		x 11.2	0
34"		x 11.9	0
36"		x 12.6	0
38"		x 13.3	0
40"		x 20.0	0
total			0

RETAINED TREE(S)

DBH	# of Trees	Value	TDU
42"		x 23.1	0
44"		x 26.1	0
46"		x 27.6	0
48"		x 28.8	0
50"		x 30.0	0
52"		x 31.2	0
54"		x 35.1	0
56"		x 36.4	0
58"		x 37.7	0
60"		x 42.0	0
total			0

REPLACEMENT TREE(S)- LARGE & MEDIUM CANOPY TREES

DBH	# of Trees	Value	TDU
2"		x .5	0
3"	13	x .6	7.8
4"		x .7	0
5"		x .9	0
6"		x 1.0	0
7"		x 1.2	0
8"		x 1.3	0
total			7.8

REPLACEMENT TREE(S)- LARGE & MEDIUM COLUMNAR, SMALL UNDERSTORY TREES and STREET TREES*

DBH	# of Trees	Value	TDU
2"		x .25	0
3"		x .3	0
4"		x .4	0
5"		x .5	0
6"		x .5	0
7"		x .6	0
8"		x .7	0
total			0

EXAMPLES but not limited to:

Deciduous- Oak, Maple, Poplar, Planetree, Ginkgo

Evergreen- Am. Holly, So. Magnolia, Pine, Hemlock, Spruce, Cedar

Mature height greater than 30'

EXAMPLES but not limited to:

Columnar (Fastigate)-Deciduous: Slender Silhouette Sweetgum, Arnold Tulip Poplar, Princeton Sentry Ginkgo

Understory Deciduous-Redbud, Dogwood, Flowering Cherry, Japanese Magnolia, Japanese Maple

Understory Evergreen- Dwarf Magnolia, Hybrid Holly, Cherry Laurel (tree form)

Mature height avg. 30' or less.

Small Understory Columnar varieties receive no TDU credit

6 Total TDU Retained on-site	0
7 Total TDU for Replacement Trees- On-site	(+) 7.8
8 Total Credits Paid to Tree Mitigation Bank*	(+) 1 Credit = 1 TDU = \$725.00
9 Total Density Units Provided	(=) 7.8 total must exceed lines 5

The total density units provided (line 9) must equal or exceed the requirements of line 5 above.

All Retained and Replacement trees must be shown on site plan.

Trees not protected in accordance with 17.24.110 - Protection of trees during development activities, cannot be counted towards TDU.

Canopy Street Trees with less than 600 c.f. or Understory with less than 400 c.f. root volume receive no TDU credit.

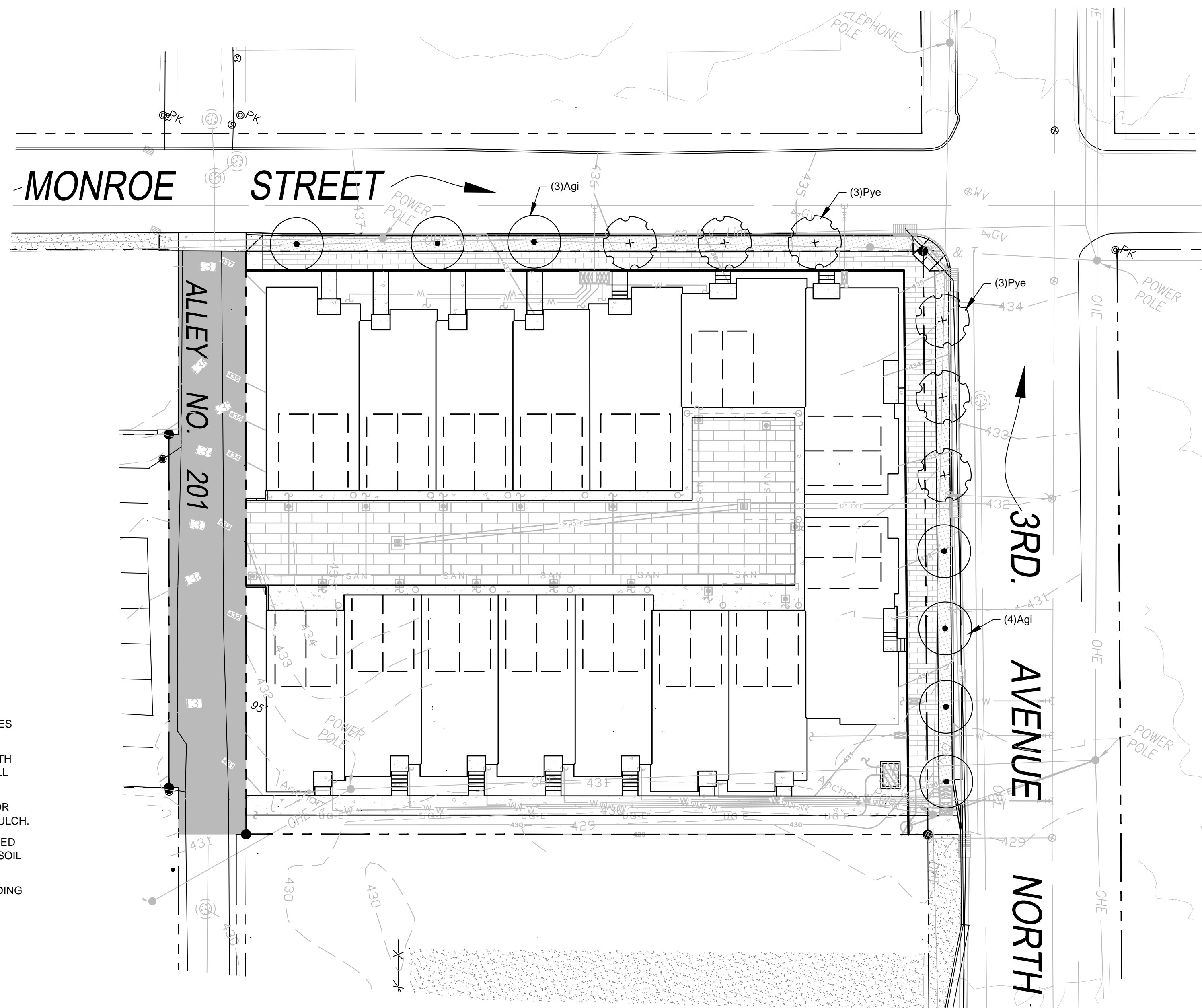
* Tree Bank cannot be used for Buffer, Screening, Frontage, Perimeter or other requirements. Only for balancing Required TDU.

NOTE: PER METRO NASHVILLE URBAN FORESTRY DIRECTIVE, PROPOSED SMALL EVERGREEN AND UNDERSTORY TREES HAVE BEEN CALCULATED WITH THE SAME T.D.U. VALUE PER CALIPER INCH AS LARGE EVERGREEN AND CANOPY TREES.

PLANT SCHEDULE

KEY	QTY	COMMON NAME	BOTANICAL NAME	CAL.	HT.	CONT.	T.D.U. VALUE	REMARKS
Pye	6	Yoshino Cherry	Prunus yedoensis	3" Cal.	10'-12'	B&B	0.6	
Agi	7	Flame Amur Maple	Acer ginnala 'Flame'	3" Cal.	10'-12'	B&B	0.6	Single trunk

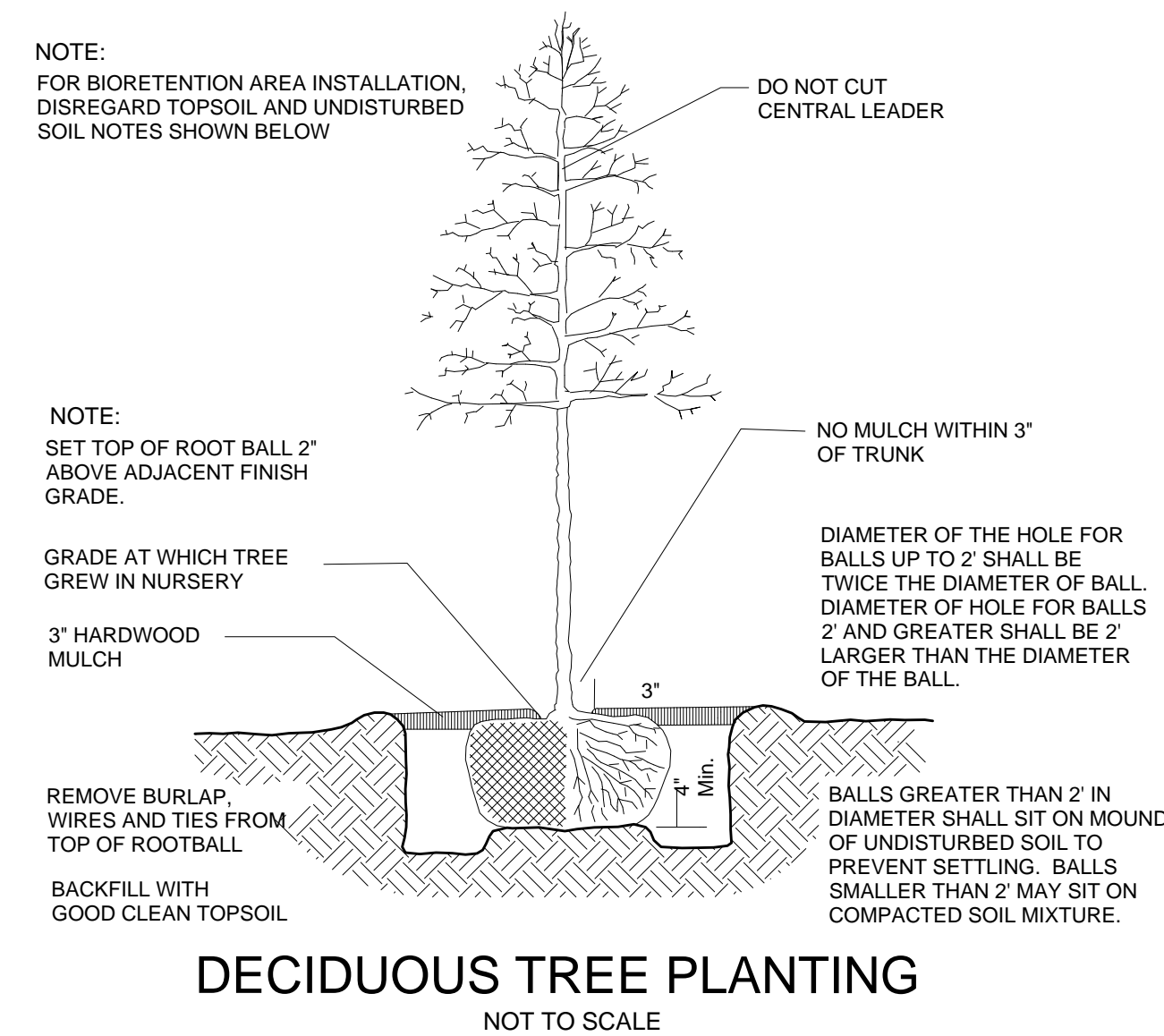
TURF: Fescue blend 'Titan, Einstein, Rendition'



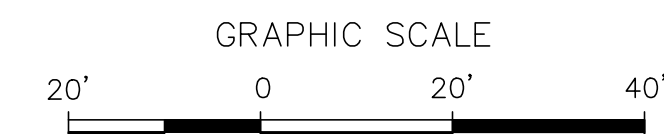
LANDSCAPE NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THESE UTILITIES.
2. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANIES AND SHALL BE RESPONSIBLE FOR ALL DAMAGE TO UTILITIES.
3. ALL PLANTING BEDS OR MULCH BEDS SHALL BE SPRAYED WITH ROUND-UP OR HAND WEEDED (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
4. PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
6. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF AGED, SHREDDED HARDWOOD BARK MULCH.
7. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
8. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
9. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
10. ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE PLANT SCHEDULE.
11. ONLY GRADE "A" TYPE PLANTS WILL BE ACCEPTED. PLANTS THAT ARE INFERIOR OR DAMAGED WILL NOT BE ACCEPTED.
12. PLANT MATERIAL SHALL BE IRRIGATED BY AUTOMATED SYSTEM.

NOTE: LANDSCAPE CONTRACTOR TO FIELD-VERIFY LOCATION OF POWER/ LIGHT POLES AND WIRES PRIOR TO PLANT INSTALLATION TO AVOID CONFLICTS. PROPOSED TREES TO BE MINIMUM 15' DISTANCE FROM POLES.



DECIDUOUS TREE PLANTING
NOT TO SCALE



AL WILKINSON
LANDSCAPE ARCHITECT
3057 LIGHTS CHAPEL ROAD
GREENBRIER, TENNESSEE 37073
awilkinson@alwilkinson.com
615-574-0252
AVLA PROJECT #2201-21



3RD AND MONROE TOWNHOMES

**1227 3RD AVENUE NORTH
NASHVILLE, TN 37208**

NO.	DATE	DESCRIPTION
	1-24-2022	FINAL SP

LANDSCAPE PLAN

L1.0

AVLA NO.: 2201-21



- Notes:
- Proposed Raised Foundations 8"-24" Depending on Grades
 - No Aluminum Siding, Vinyl Siding or Exposed Concrete Block other Than Split Face Foundations Allowed on Exteriors

Conceptual Elevation Along 3rd Avenue

SP Plan for: 1227 3rd Avenue North



Notes:
 -Proposed Raised Foundations 8"-24" Depending on Grades
 -No Aluminum Siding, Vinyl Siding or Exposed Concrete Block other Than Split Face Foundations Allowed on Exteriors

Conceptual Elevation Along Monroe Avenue

SP Plan for: 1227 3rd Avenue North

