



**SPECIFIC PLAN**

**PRELIMINARY SITE PLAN APPLICATION**

# **NORTH EDGEHILL COMMONS**

**2021SP-023-001**

## DEVELOPMENT SUMMARY

### SUMMARY

- COUNCIL DISTRICT: 19, FREDDIE O'CONNELL
- OWNER(S) OF RECORD: LEE A. BEAMAN, BEAMAN MOTOR COMPANY, 1525 BROADWAY NASHVILLE, TN 37203, 888.423.2626
- SP NAME: NORTH EDGEHILL COMMONS
- SP NUMBER: 2021SP-023-001
- PLAN PREPARATION DATE: 08/ 03/ 2021
- APPLICANT: TUCK HINTON ARCHITECTURE & DESIGN, CURTIS LESH, 615.254.4100, clesh@tuckhinton.com
- ARCHITECT: TUCK HINTON ARCHITECTURE & DESIGN, CURTIS LESH, 615.254.4100, clesh@tuckhinton.com
- CIVIL ENGINEER: KIMLEY HORN & ASSOCIATES, INC., MARY MCGOWAN, 615.800.4004, mary.mcgowan@kimley-horn.com
- MASTER PLANNING/ DESIGN/ SPATIAL STORY TELLING: STORYLAND STUDIOS
- US FEMA FIRM: 47037C0243H DATED 04/05/2017
- LOT 1 RE-SUB LOTS 1-2-3-4 EDGEHILL ESTATES SEC 117

### PURPOSE

North Edgehill Commons is proposed as a sustainable live/work/play district at the northern edge of the historic Edgehill neighborhood. Based on its strategic gateway and edge location at the intersection of the central north/south spine of Edgehill (12th Avenue S) and the northern boundary of the neighborhood (I-40), the site provides a unique opportunity to re-establish a strong sense of place, identity, edge, and arrival from downtown to this special walkable, urbane neighborhood. The district is designed to follow the intent of the urban to rural "Transect" model, by providing a density transition from the high-rise Gulch district to the mid / low-rise Edgehill neighborhood. This re-imagining of a former suburban scaled automotive services facility, and surface parking in an Industrial Zone will provide significant contributions to the public realm via several new community amenities, based on input by existing residents:

### CIVIL

- Site layout, utilities, access, and grading will be provided at final site plan. The proposed development will utilize existing infrastructure surrounding the site. If additional improvements are required, they will be incorporated at final site plan.
- All existing information shown is provided from readily available GIS information and is not considered to be accurate or complete.
- Any excavation, fill, or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance NO. 78/840 and approved by the Metropolitan Development of Water Services.
- The final lot count and details of the plans shall be governed by the appropriate stormwater regulation at the time of final application.
- Metro Water Services shall be provided sufficient and unencumbered access in order to maintain and repair utilities in the site.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual (minimum driveway culvert in Metro Row is 15" CMP)
- The project is located in flood zone X "UNSHADED" per FEMA Map 47037C0243H dated 4/5/2017.
- The current layout depicts the use of underground stormwater detention and the use of proprietary water quality units. The proprietary water quality units will require a low impact development waiver. If a LID waiver is not obtained, then the proposed development will provide LID following the stormwater manual. The plan has highlighted potential locations for bioretention and pervious pavers that are available to the site plan should LID be required. These locations will be finalized at final site plan if LID is required.

### THOUGH NOT REQUIRED BY THIS SP THE:

- Owner voluntarily agrees to restrict a minimum of 10% of the residential units within the SP shall be Workforce Housing as defined in chapter 17.04 of the code of metropolitan government of Nashville and Davidson County as long as it receives a grant or funding from Payment in Lieu of Tax arrangements, Amazon Equitable Housing Fund, and/or Non-Low Income Housing Tax Credits Pilot Bill.
- Owner commits to endeavor to employ local women and minority owned businesses and contractors on the project.

# DEVELOPMENT SITE DATA TABLE



- ACREAGE: 6.79 ACRES (5.986+.8019)
  - MIXED USE: 4.2 ACRES
  - OPEN: 2.5 ACRES (INCLUDING A MIN. OF 0.8 ACRES OF PUBLICLY ACCESSIBLE OPEN SPACE)
  - ROW DEDICATION: 0.09 ACRES
- DENSITY
  - DWELLING UNITS: MAXIMUM 730 UNITS AND A MINIMUM OF 400 UNITS
  - NON - RESIDENTIAL: MAXIMUM OF 400,000 SQUARE FEET INCLUDING:
    - COMMERCIAL/ RETAIL: MINIMUM 22,000 SQUARE FEET TOTAL
    - OFFICE
- FAR: 3.0 MAX WITH SPECIAL PROVISIONS 17.12.070 A-F AT PUBLIC AND INTERNAL STREETS
- IMPERVIOUS SURFACE RATIO: 0.9 MAX
- PARKING: PROVIDED PARKING SHALL MEET THE REQUIREMENTS OF THE PARKING STANDARDS OF THE ZONING CODE (17.20) FOR UZO. BICYCLE PARKING SHALL BE PROVIDED PER METRO STANDARDS.
- USES: PER MUG-A ZONING
  - PROHIBITED: ALTERNATIVE FINANCIAL SERVICES, AUTO REPAIR, AUTO SALES, GAS STATION, SHORT TERM RENTAL PROPERTY (STRP) - OWNER OCCUPIED AND NOT OWNER OCCUPIED.
- MAXIMUM HEIGHT
  - STRUCTURE A : 9 STORIES IN 120'
  - STRUCTURE B: 9 STORIES IN 120'
  - STRUCTURE C: 5 STORIES IN 68' AT THE STREET / 8 STORIES IN 107' AFTER 30' STEP BACK
  - STRUCTURE D: 5 STORIES IN 68'
  - STRUCTURE E: 5 STORIES IN 68'
- MINIMUM FIRST FLOOR HEIGHT (MEASURED FROM FINISH FLOOR TO FINISH FLOOR) 16'
- 5' BUILDING STEP BACK ALONG PUBLIC STREETS AFTER THE SECOND FLOOR
- BUILD-TO (PERCENTAGE OF THE FRONT FACADE BUILT TO PUBLIC SIDEWALK OR OPEN SPACE) 80% WITHIN 5'
- SIDE SETBACK 0'
- REAR SETBACK 20'- ASSUMED AT EAST EDGE OF SITE
- GLAZING (% OF FACADE MEASURED FROM FINISHED FLOORS TO FINISH FLOOR ALONG PUBLIC STREETS AND OPEN SPACES)
  - RESIDENTIAL 30% GROUND FLOORS, 25% UPPER FLOORS
  - COMMERCIAL 50% GROUND FLOORS, 30% UPPER FLOORS
- GROUND FLOOR ACCESS: NON-RESIDENTIAL GROUND FLOOR USES SHALL PROVIDE A PUBLIC ENTRANCE FROM THE PUBLIC SIDEWALK
- BUILDING FRONTAGE/ORIENTATION: ALL STRUCTURES SHALL PROVIDE A PRIMARY FRONTAGE ON TO STREETS AND/OR OPEN SPACE AS WELL AS PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE ON TO PUBLIC RIGHT OF WAY AND/OR OPEN SPACE.
- PARKING GARAGE SCREENING/LINING: PARKING STRUCTURES FRONTING A PUBLIC STREET R.O.W. OR PUBLIC OPEN SPACE SHALL BE SCREENED AND LINED WITH AN ACTIVE USE ALONG THE GROUND FLOOR.
- FALL-BACK ZONING MUG-A
- LANDSCAPING AND TREE DENSITY REQUIREMENTS PER METRO REQUIREMENTS.
- FEDERAL COMPLIANCE
  - ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN WILL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT

SITE PLAN



EXTENT OF BELOW GRADE  
PARKING. 2 LEVELS  
TYPICAL

PEDESTRIAN STREET. NO  
VEHICULAR ACCESS FROM 12TH AVE

COMMERCIAL  
NODE

**A**  
9 STORIES IN 120'  
MULTI-FAMILY,  
RETAIL/ COMMERCIAL

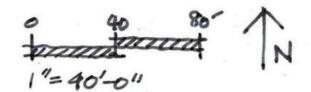
**B**  
9 STORIES IN 120'  
MULTI-FAMILY,  
RETAIL/ COMMERCIAL

**E**  
5 STORIES IN 68'  
MULTI-FAMILY,  
RETAIL/ COMMERCIAL

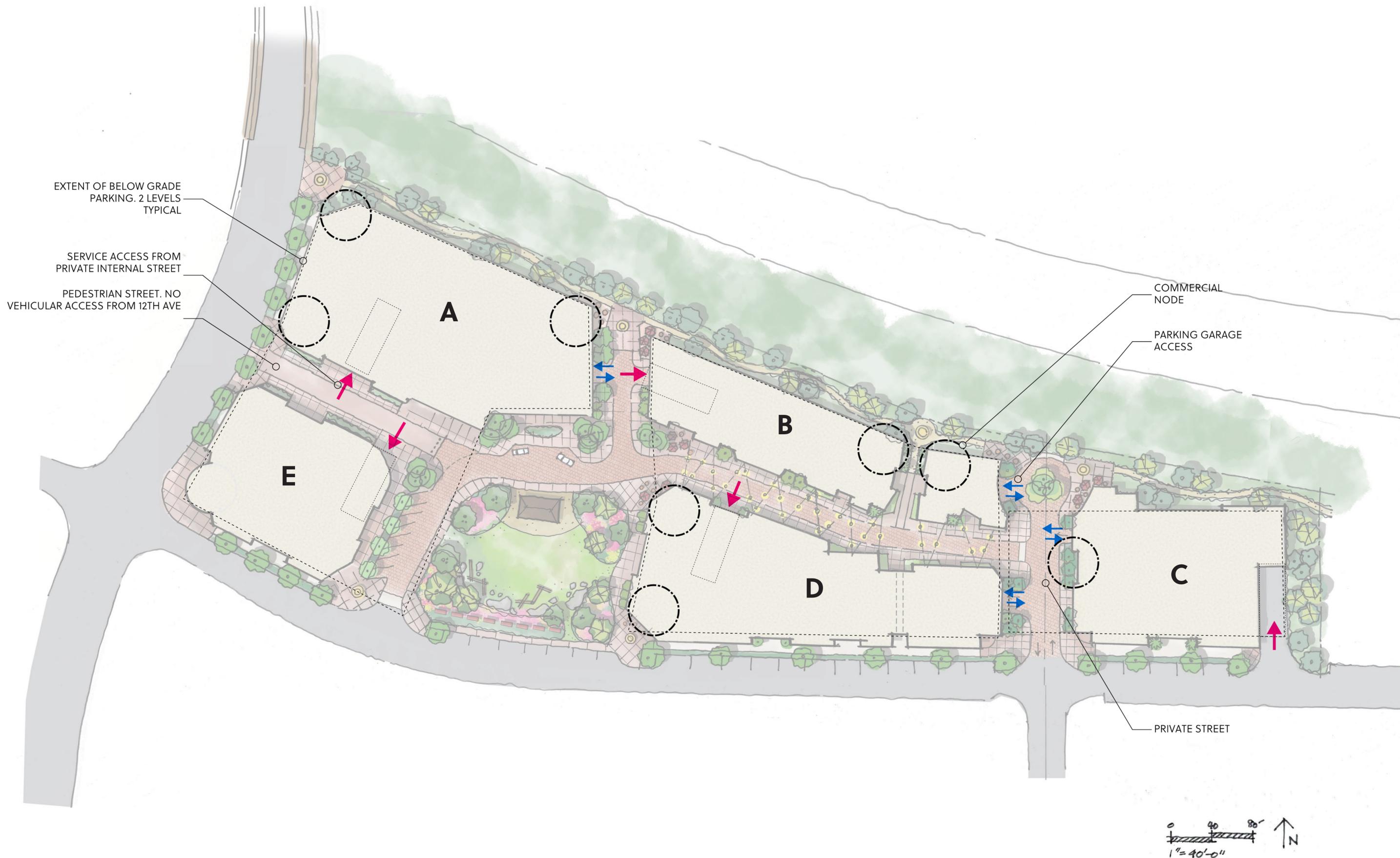
**D**  
5 STORIES IN 68'  
MULTI-FAMILY,  
RETAIL/ COMMERCIAL

**C**  
8 STORIES IN 107'  
OFFICE,  
RETAIL/ COMMERCIAL  
5 STORIES IN 68'

PRIVATE STREET



# VEHICULAR ACCESS PLAN



EXTENT OF BELOW GRADE  
PARKING, 2 LEVELS  
TYPICAL

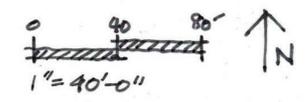
SERVICE ACCESS FROM  
PRIVATE INTERNAL STREET

PEDESTRIAN STREET. NO  
VEHICULAR ACCESS FROM 12TH AVE

COMMERCIAL  
NODE

PARKING GARAGE  
ACCESS

PRIVATE STREET



This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**SURVEY NOTES**

1. THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLAN COORDINATE SYSTEM, AND NAD 83 DATUM.
2. BASE INFORMATION WAS TAKEN FROM AN ALTA SURVEY PREPARED BY YOUNG HOBBS. THE INFORMATION PROVIDED SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.
3. INFORMATION WAS ALSO TAKEN FROM THE CITY OF NASHVILLE GIS AND AERIAL PHOTOGRAPHS.
4. THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.
5. THIS PROJECT IS LOCATED IN ZONE "X" AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47037C0243H AND 47037C0244H WITH AN EFFECTIVE DATE OF 04-05-2017, WHICH MAKE UP A PART OF THE NATIONAL FLOOD INSURANCE PROGRAM. ZONE "X" IS AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
6. BASED ON AVAILABLE INFORMATION FROM THE USDA, THE SOILS ON SITE CONSIST OF MAURY-URBAN LAND COMPLEX (M-B). THIS INCLUDES SILT LOAM, SILT CLAY LOAM, AND SILTY CLAY.
7. EXISTING IMPERVIOUS COVER: 5.61 AC

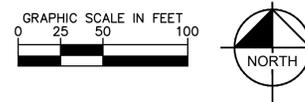
**SITE SLOPE TABLE**

14% - 19.99%
20% - 24.99%
25% and above

**HAWKINS STREET MIXED USE BUILDING**  
 MARQUETTE COMPANIES  
 NASHVILLE, TENNESSEE

NO.	DATE	BY	REVISIONS
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

DESIGNED BY: LJA  
 DRAWN BY: LJA  
 CHECKED BY: MMC  
 DATE: 07/30/2021  
 KIMLEY-HORN PROJECT NO. 118389000





VIEW FROM SITE

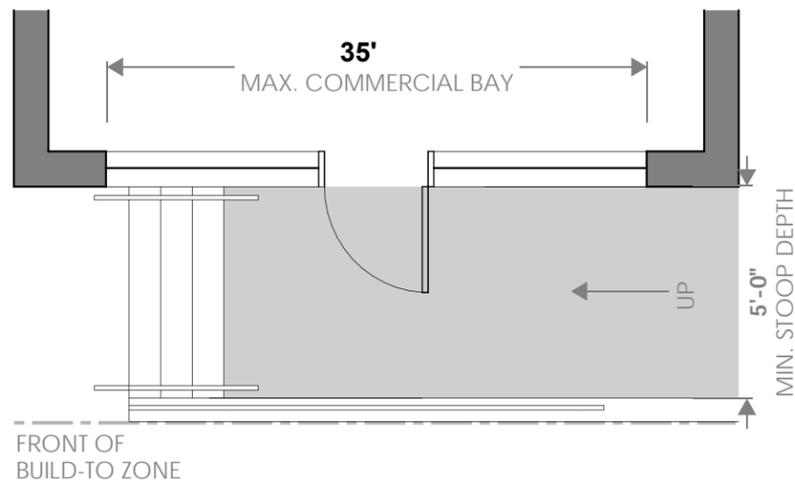
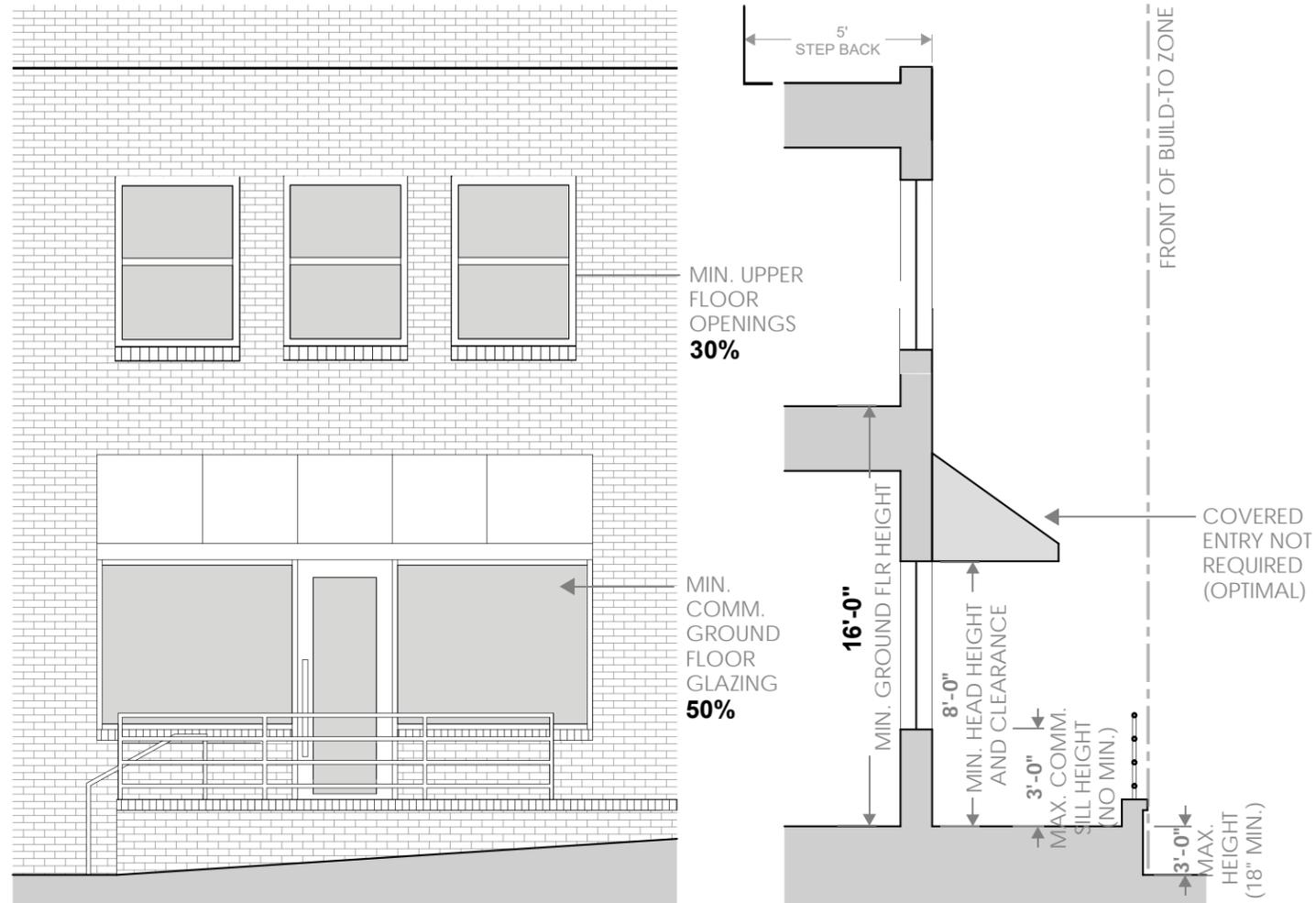


VIEW FROM SITE

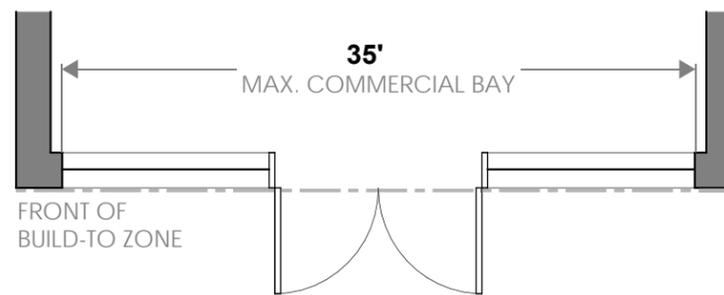
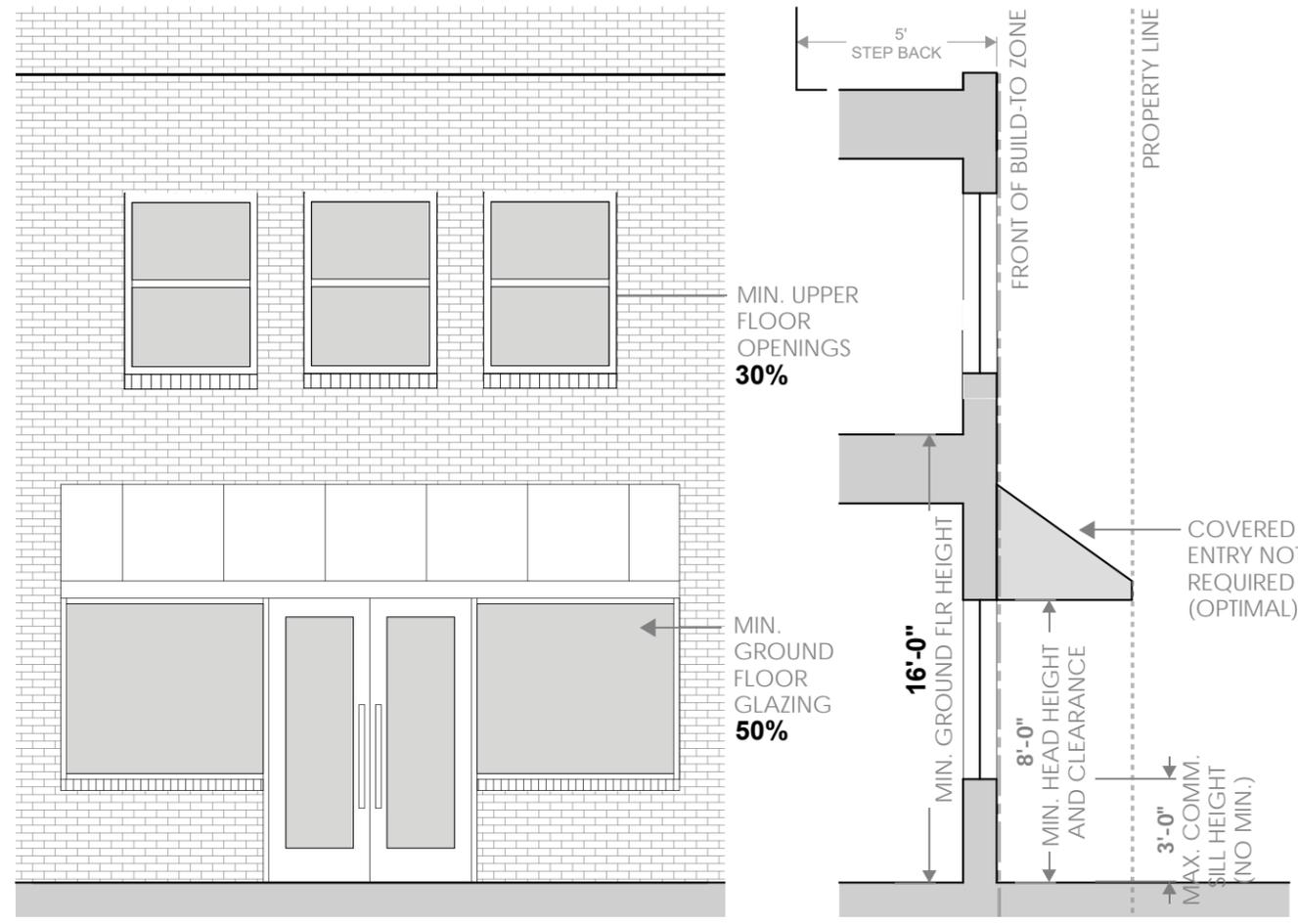


# STREETSCAPE AND COMMERCIAL NODE FRONTAGE

**Commercial Stoop Frontage**



**Commercial Storefront Frontage**



PROPERTY LINE

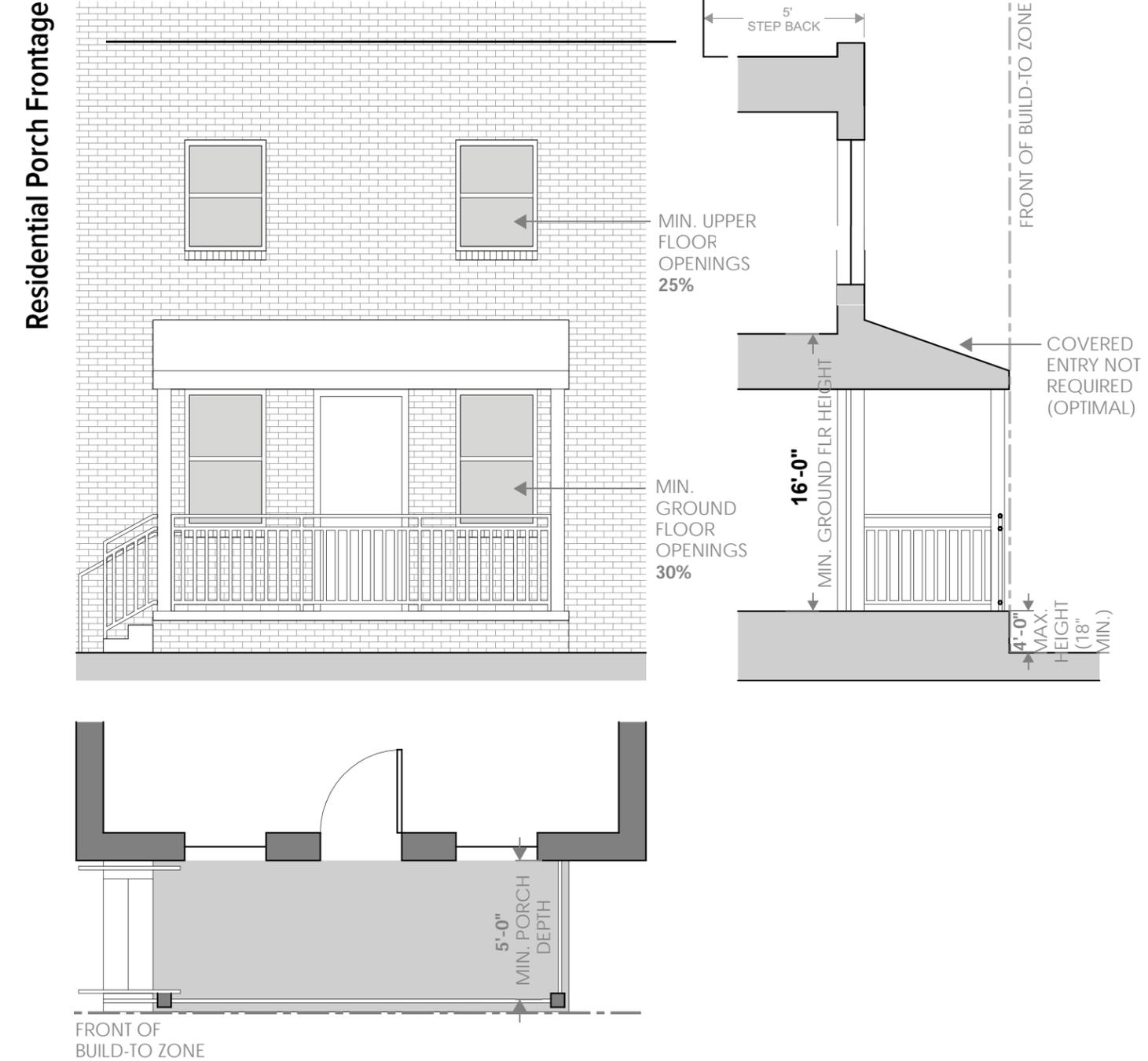
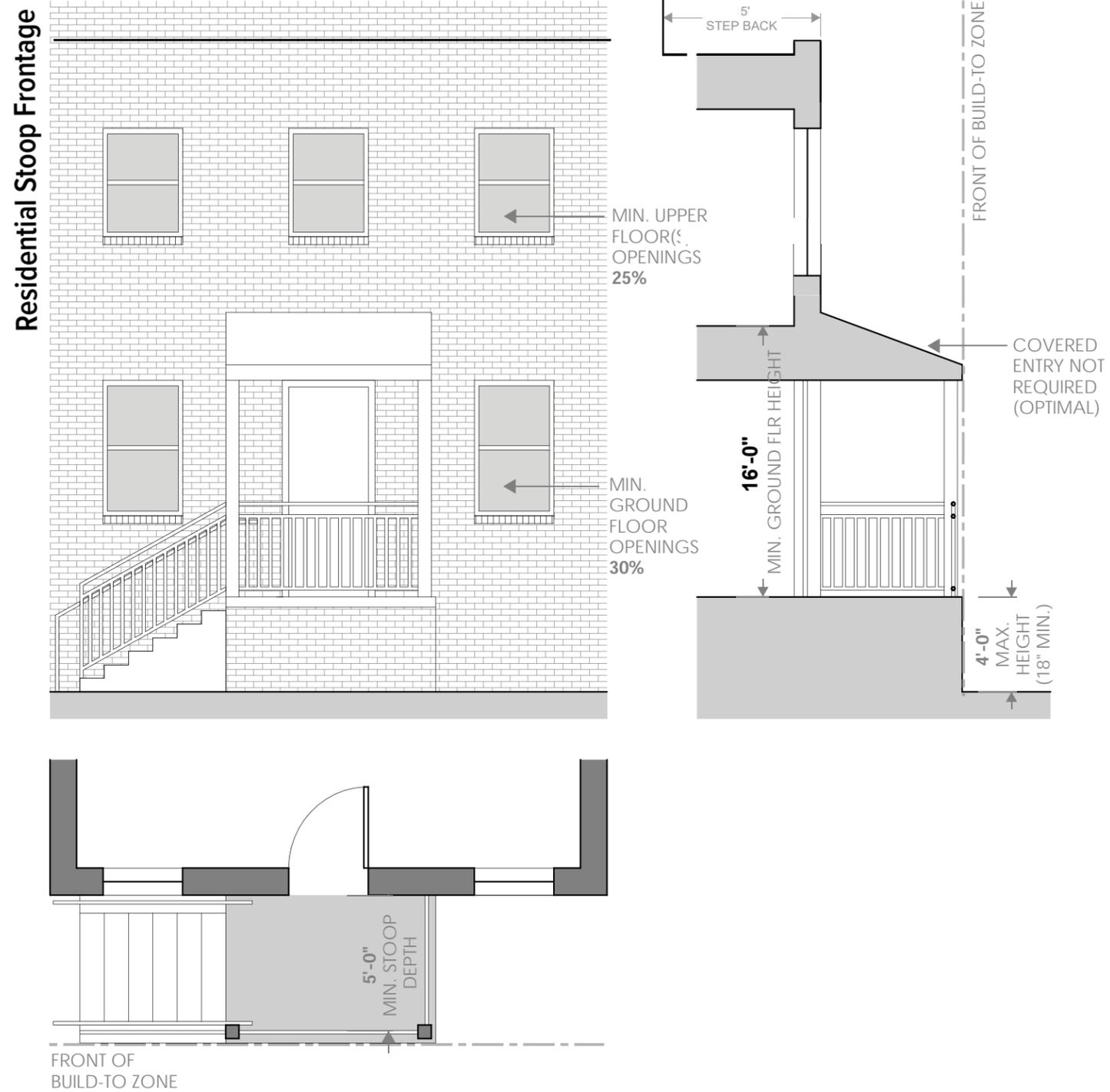
STREET SCAPE MATERIALS SHALL BE A COMBINATION OF GLAZING AND DURABLE EXTERIOR MATERIALS SUCH AS BRICK MASONRY, STONE, CAST STONE, AND STEEL.

EIFS, VINYL SIDING, AND UNTREATED WOOD ARE PROHIBITED

SEE SITE PLAN FOR COMMERCIAL NODE LOCATIONS.

IN ORDER TO ENSURE THAT THE ARCHITECTURAL ELEVATIONS MEET NEIGHBORHOOD APPROPRIATE EXPRESSION, FURTHER DESIGN CONSULTATION WITH PLANNING STAFF REGARDING THE BUILDING DESIGN IS REQUIRED PRIOR TO FINAL SP APPROVAL.

# STREETSCAPE FRONTAGE



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SEE DEVELOPMENT SITE DATA TABLE

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BIRD'S EYE VIEW



VIEWS OF COMMONS



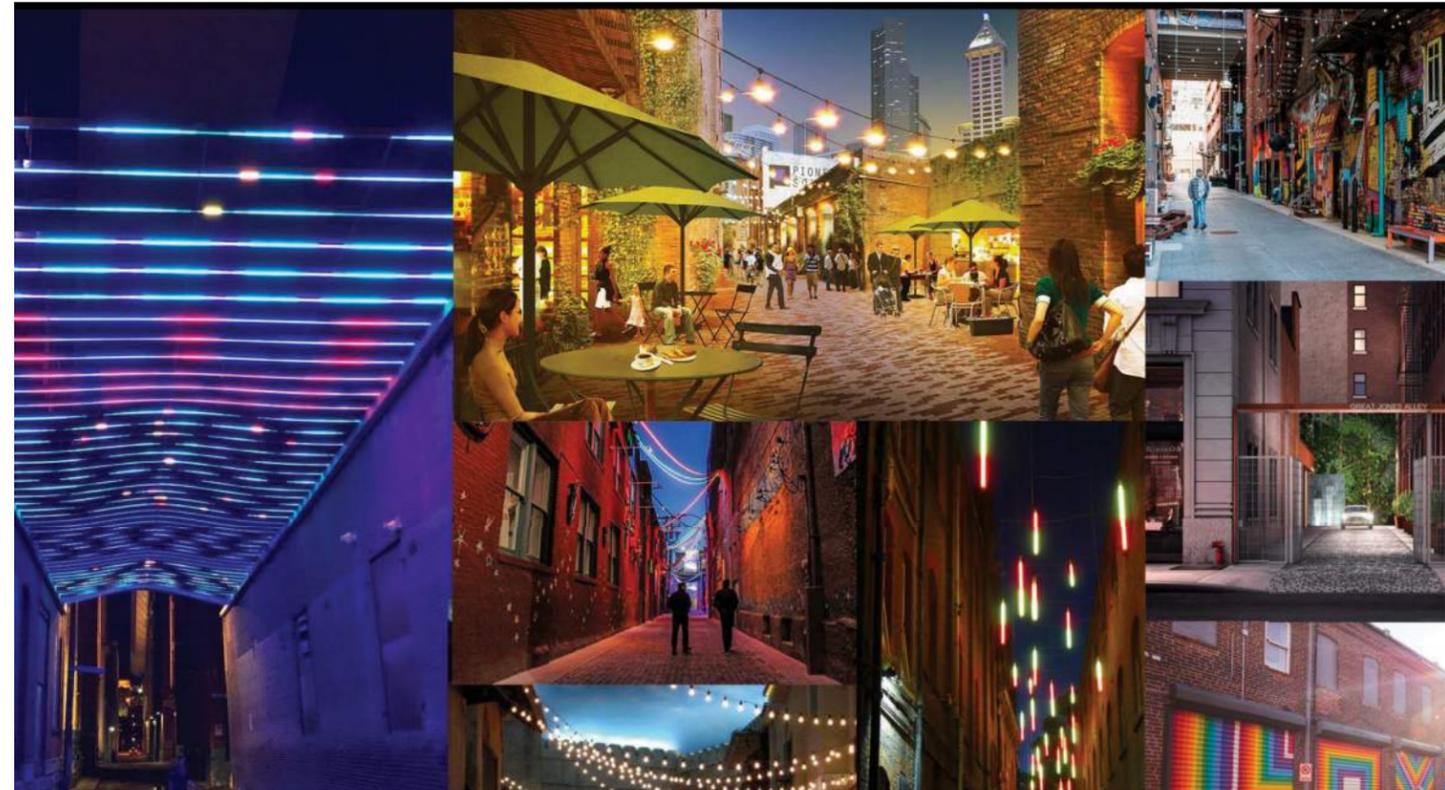
# VIEWS OF 12TH AVENUE AND COMMUNITY OPEN SPACE



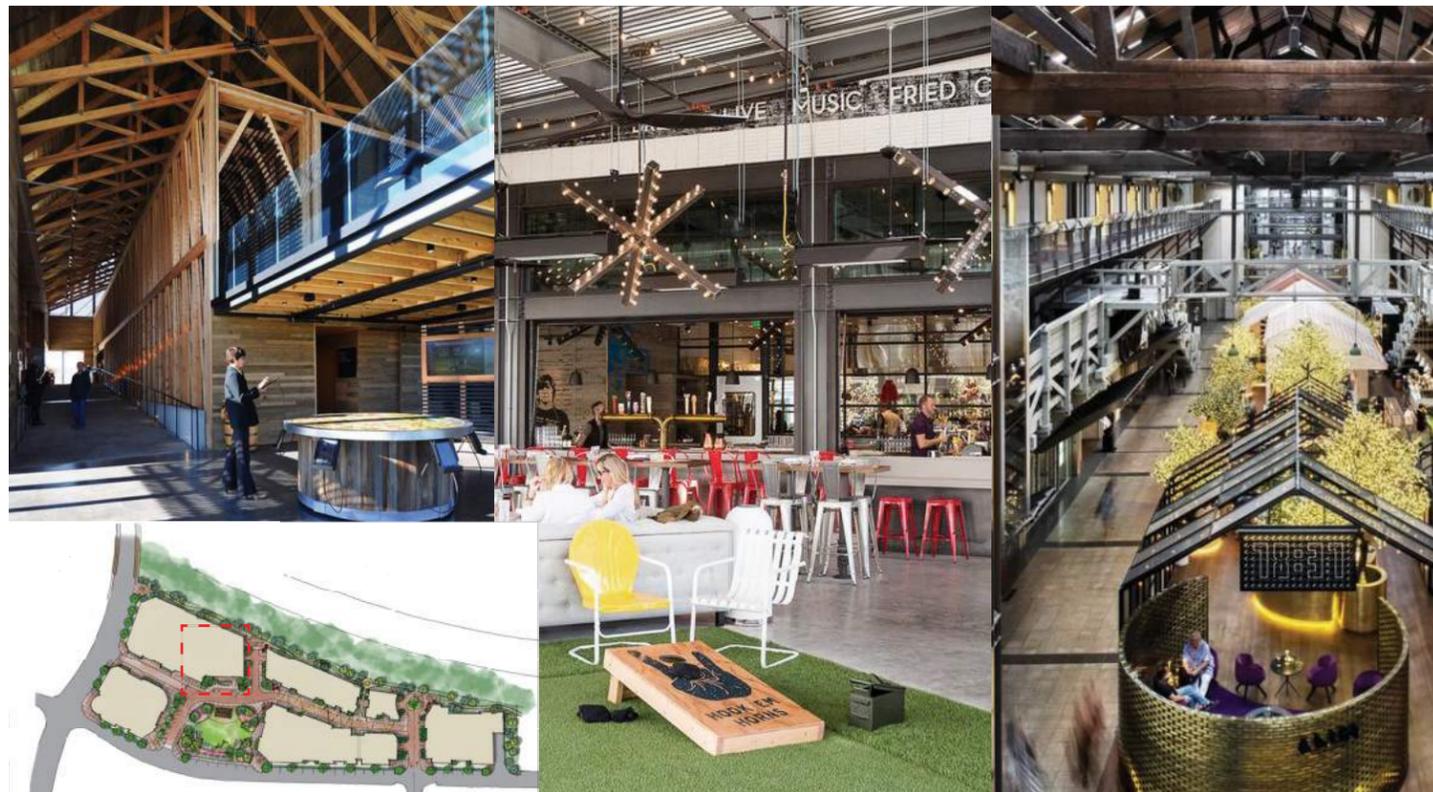
PRECEDENTS



WALKABLE/ DIVERSE/ HISTORIC/ PEACEFUL/ NEIGHBORLY



WALKABLE/ DIVERSE/ HISTORIC/ PEACEFUL/ NEIGHBORLY



WALKABLE/ DIVERSE/ HISTORIC/ PEACEFUL/ NEIGHBORLY



HEALTHY FOOD