



# HILL CENTER

GERMANTOWN

## HILL CENTER GERMANTOWN | SPECIFIC PLAN JANUARY 3, 2022

CASE NO. 2022SP-006-001

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#### PURPOSE NOTE

The purpose of this SP is to re-zone approximately 3.0 acres to provide for a mixed-use development in accordance with the Metro Nashville Planning Department. Multifamily units, office space, retail, internal structured parking, and outdoor space and enhanced street connectivity will be provided.

HASTINGS





## Specific Plan Overview

Located at the edge of historic Germantown, Hill Center is a mixed use project which fronts Jefferson Street and is bounded by Madison Street and 4th and 5th Avenues.

The 3.0 acre site of many parcels that are currently zoned CS, OR20, and IR. The proposed SP uses MUG-A zoning as a base for uses and MUL-A as a base for all other elements. There will be no short term rental usage permitted.

Adjacent zonings consist of many MUN (Mixed-Use Neighborhood) designations. Modifications sought by this SP would give the entire site the ability to have a greater mix and intensity of uses as described in the Community Character Manual and MHDA Redevelopment Plan.

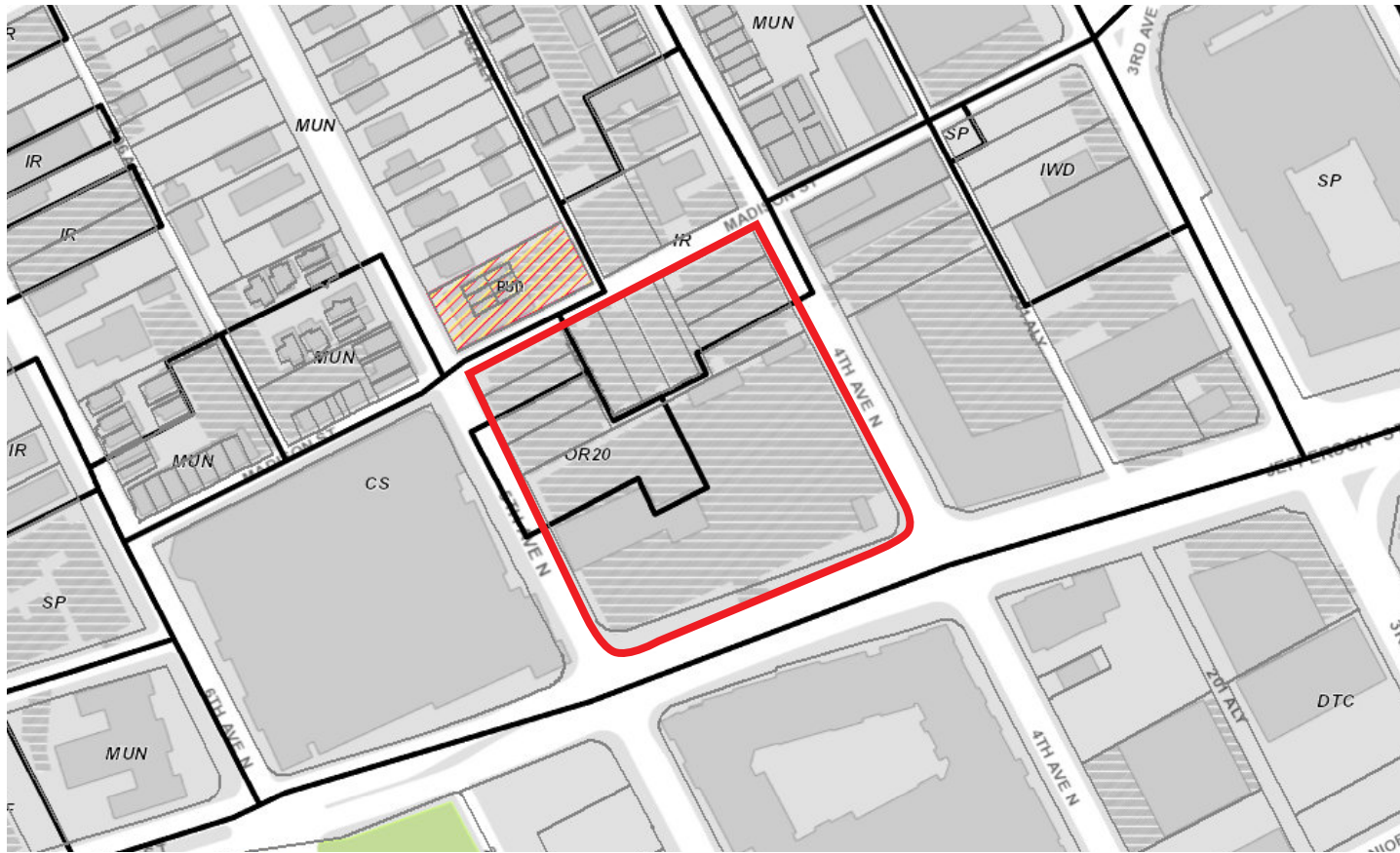
The Specific Plan (SP) rezoning would help the site meet the goals of NashvilleNext. The site falls within the T4-MU (Urban Mixed Use Neighborhood) which is described as well connected/multi-modal urban areas with a diverse mix of high density residential, office, and commercial buildings. MUL-A zoning is listed as an appropriate designation for T4-MU areas.

The site is situated within MDHA's Philips-Jackson Redevelopment Plan. The plan outlines a vibrant area with diverse uses in which Jefferson Street serves as the primary spine from which the main commercial uses hinge.

The rezoning of this property would aid in supporting the development intent of the area, eliminate blight around Bicentennial Mall and First Tennessee Park, and increase mixed-use buildings. Precedent for acceptable Specific Plan zonings for the area exists with several SP-zoned developments within a two block vicinity of the site.

The proposed project will consist of office space, multi-family residential, ground floor non-residential use, and 480 parking spaces to support all the uses. Landscape design will include standard wells at the sidewalk for large growth trees, bio-retention basins, permeable pavers, and tree grates. Bike racks will encourage a more multi-modal neighborhood as described in the Community Character Manual.

We have been working with a traffic engineer to identify and recommend appropriate traffic calming measures on all four streets that bound the site. The traffic calming measures are to be identified and reviewed by NDOT prior to submitting for the building permit.



ZONING



MCSP CLASSIFICATIONS

<b>Parcels &amp; Acreage</b>	08213025500, 08213025400, 08209039900, 08209039800, 08209040200, 08209040300, 08209040400, 08209040500, 08209040600, 08213025700, 08209040000, 08209040100 3.0 acres - includes alley closure
<b>Council District</b>	19: Freddie O'Connell
<b>New Base Zoning</b>	SP based on T4-MU policy Uses as allowed by land use table in this set: <ul style="list-style-type: none"> <li>• retail - 37,000 max gsf for the anchor tenant; 13,000 max gsf for all other tenants combined</li> <li>• office - 115,000 max gsf</li> <li>• residential - 30 units max (25 units shown in this set: 9 Townhomes and 16 flats)</li> </ul> Note: STRP (owner occupied and not owner occupied) are prohibited.
<b>FAR</b>	2.0  The floor area used for the provision of off-street parking spaces or loading berths (and the driveways and maneuvering aisles for those spaces and berths) shall not be counted as floor area for the purpose of calculating floor area ratio when such spaces or berths are used to satisfy the parking demands for the principal use(s) on the parcel.
<b>ISR</b>	0.95
<b>MCSP Requirements</b>	Madison Street and 4th Ave are MCSP designated as local roads. Jefferson Street is designated T6-M-AB5-IM and 5th Ave is designated as T4-M-CA2.  Jefferson Street: <ul style="list-style-type: none"> <li>• Pedestrian travelway: 10 feet</li> <li>• Planting area: 4 feet</li> </ul> 4th Ave has a planned ROW of 49' [half standard ROW of 24.5']. MCSP T4-M-CA2 standards are: <ul style="list-style-type: none"> <li>• Frontage zone: 0 feet</li> <li>• Pedestrian travelway + planting areas: 8 feet</li> <li>• 33' Curb to Curb : 2 travel lanes with parking on both sides</li> </ul>
<b>Min Rear Setback</b>	0 feet per MCSP
<b>Min Side Setback</b>	0 feet per MCSP
<b>Maximum Height</b>	3 stories to a maximum of 50', then a step back to 4 stories to a 70' maximum (max height excludes rooftop mechanical equipment and associated screening.) *Final architectural elevations subject to MHZC approval.
<b>Build-to-Zone</b>	0-15 feet in the UZO
<b>Urban Design</b>	All properties fall within the Urban Zoning Overlay District



2-3 STORY HOMES AND TOWNHOMES

3 STORY TOWNHOMES ON 4TH AVE N

5 STORY BUILDING

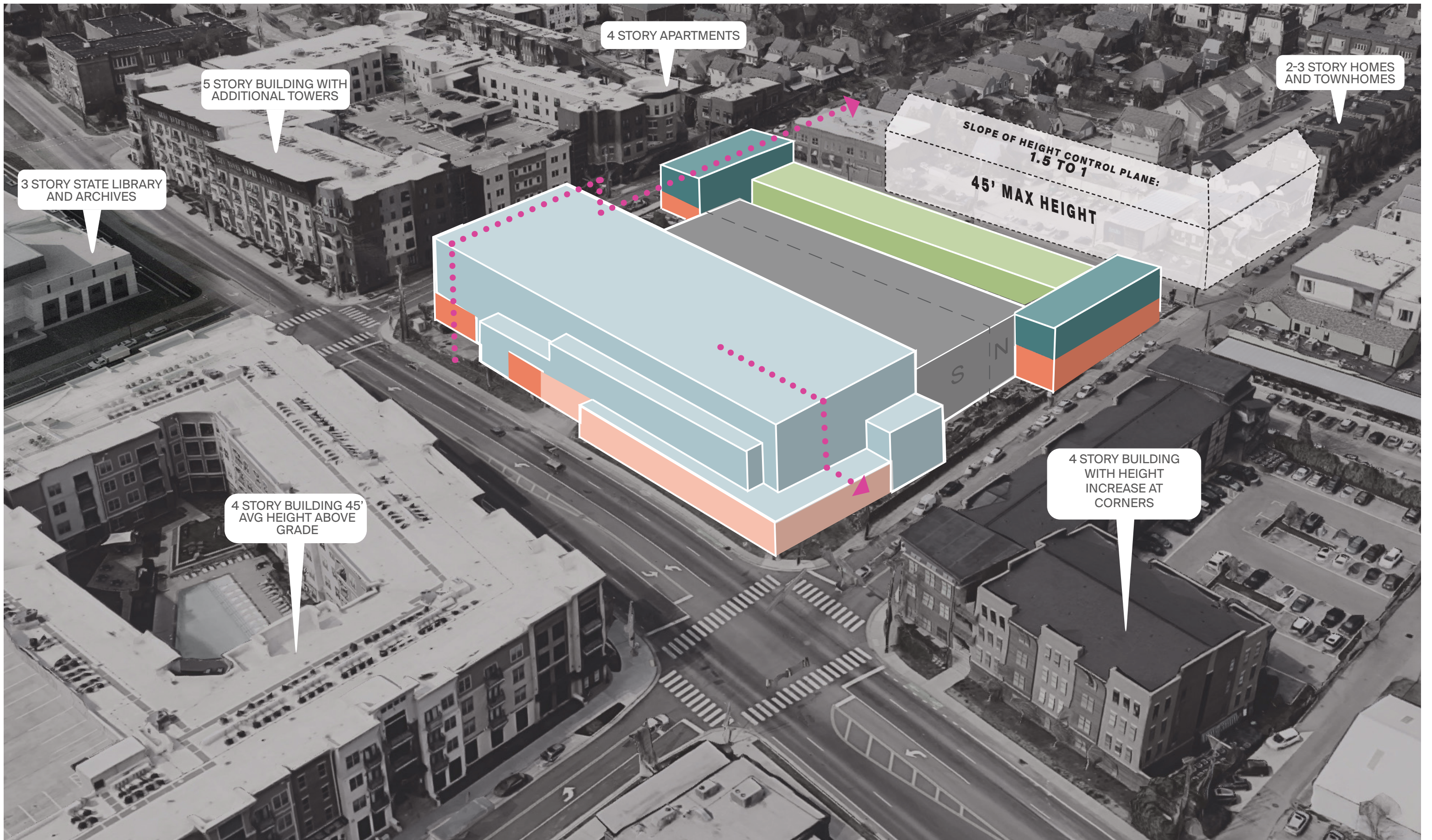
5 STORY BUILDING WITH ADDITIONAL TOWERS

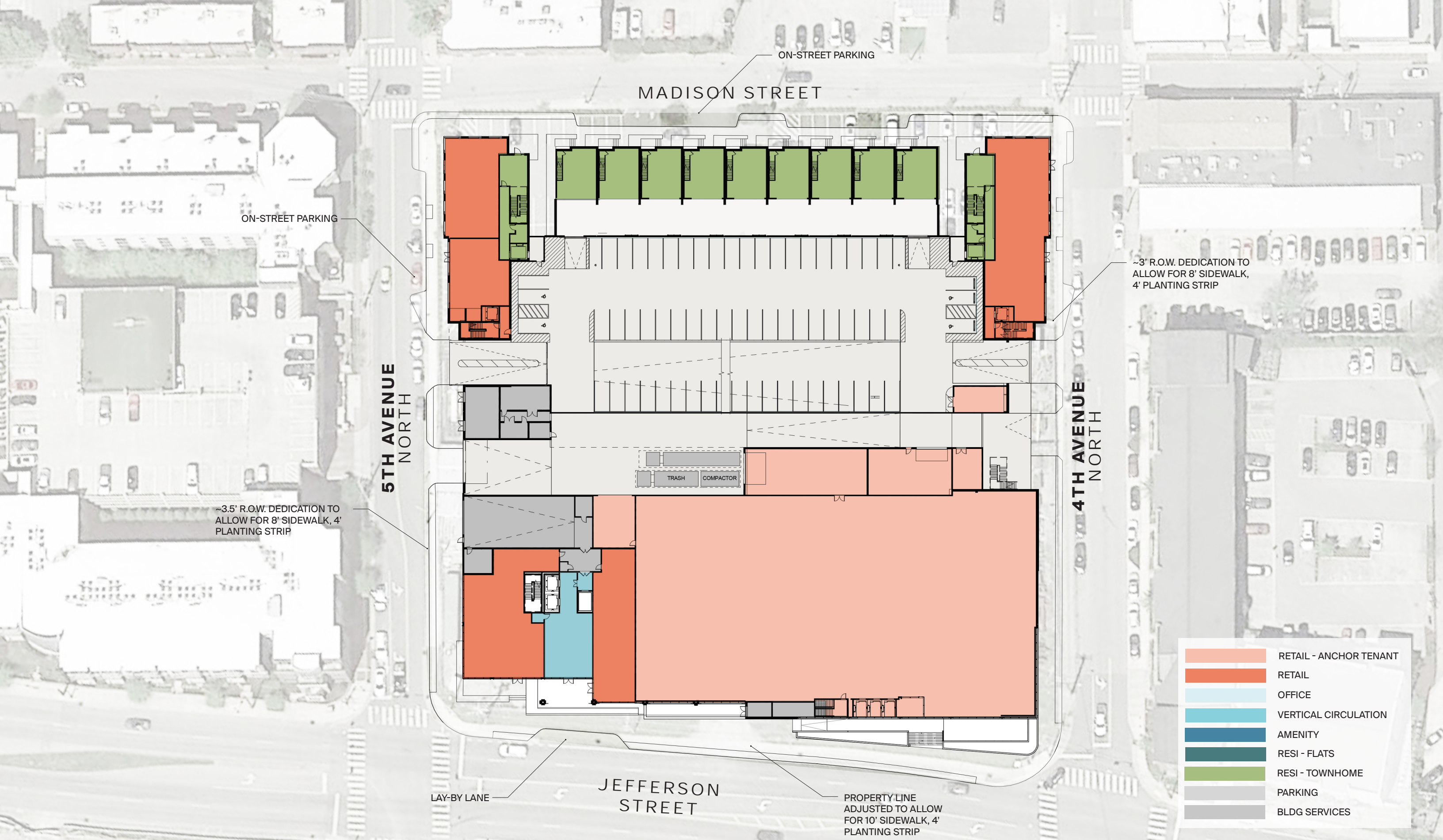
4 STORIES AT SW CORNER OF 5TH AVE N AND MADISON ST

4 STORY BUILDING WITH HEIGHT INCREASE AT CORNERS

4 STORY BUILDING

TENNESSEE ARCHIVES



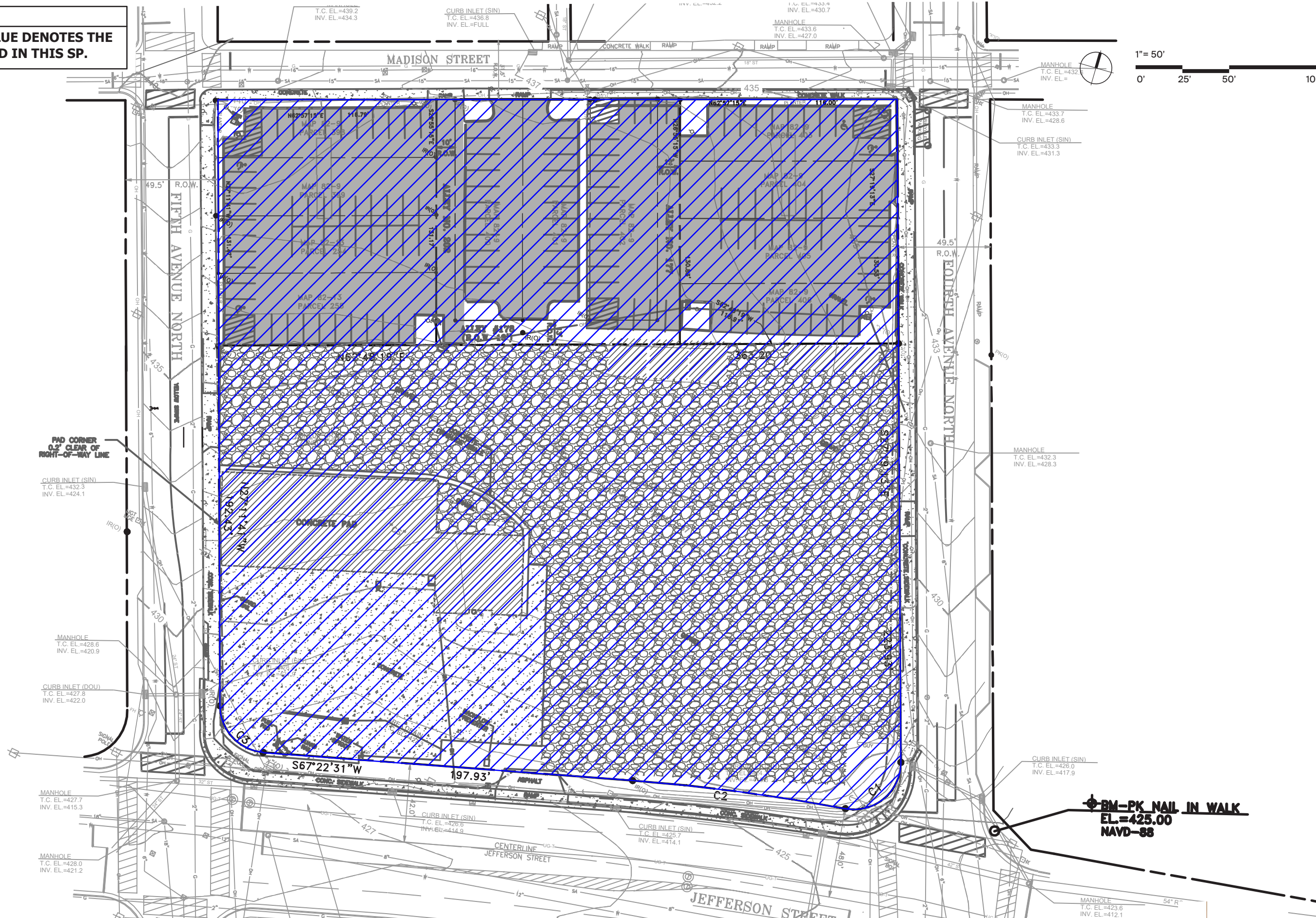


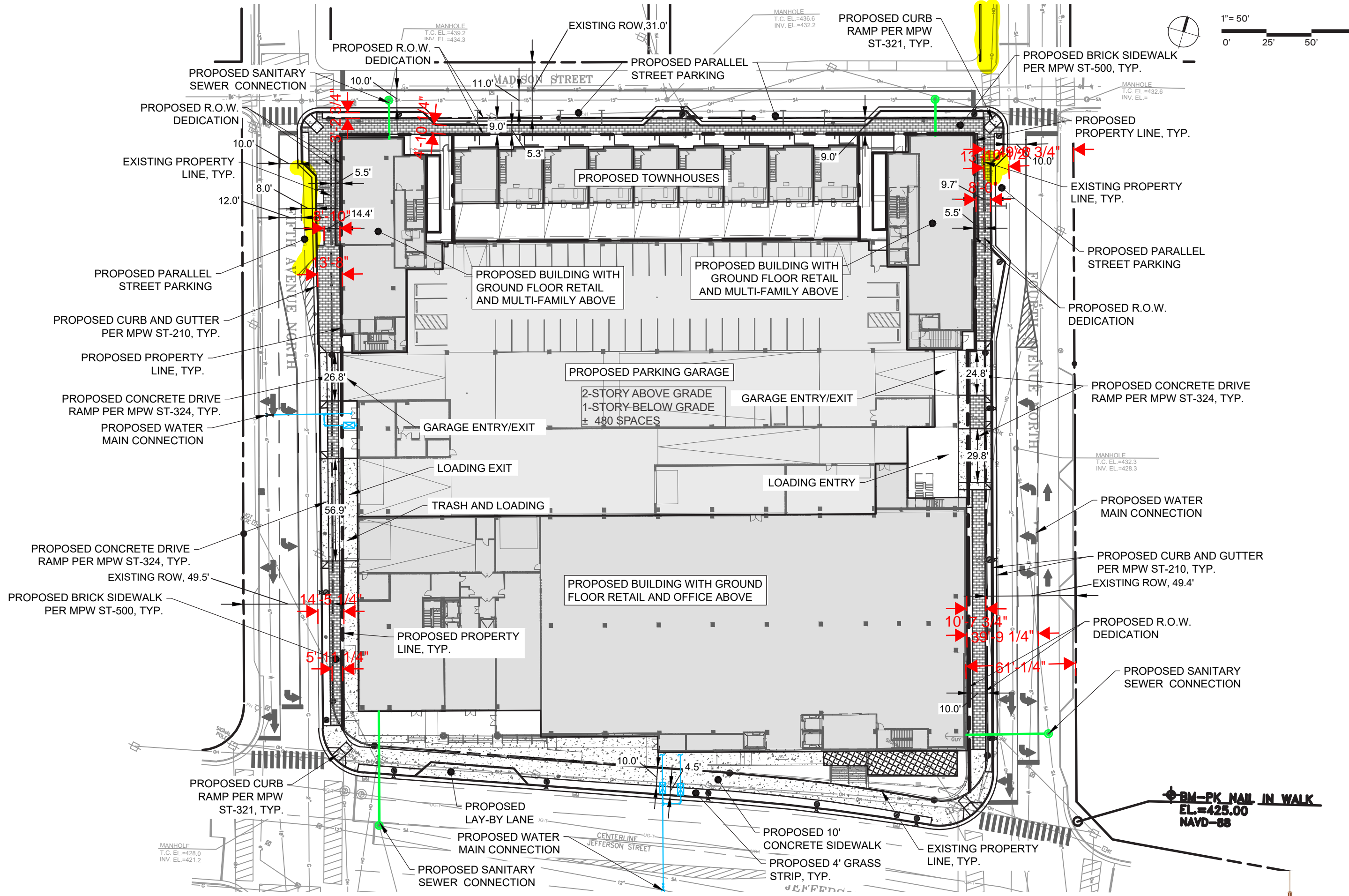
<span style="display:inline-block; width:20px; height:10px; background-color:#f4a460;"></span>	RETAIL - ANCHOR TENANT
<span style="display:inline-block; width:20px; height:10px; background-color:#e67e22;"></span>	RETAIL
<span style="display:inline-block; width:20px; height:10px; background-color:#add8e6;"></span>	OFFICE
<span style="display:inline-block; width:20px; height:10px; background-color:#4682b4;"></span>	VERTICAL CIRCULATION
<span style="display:inline-block; width:20px; height:10px; background-color:#1f77b4;"></span>	AMENITY
<span style="display:inline-block; width:20px; height:10px; background-color:#2e8b57;"></span>	RESI - FLATS
<span style="display:inline-block; width:20px; height:10px; background-color:#8bc34a;"></span>	RESI - TOWNHOME
<span style="display:inline-block; width:20px; height:10px; background-color:#bdbdbd;"></span>	PARKING
<span style="display:inline-block; width:20px; height:10px; background-color:#9e9e9e;"></span>	BLDG SERVICES



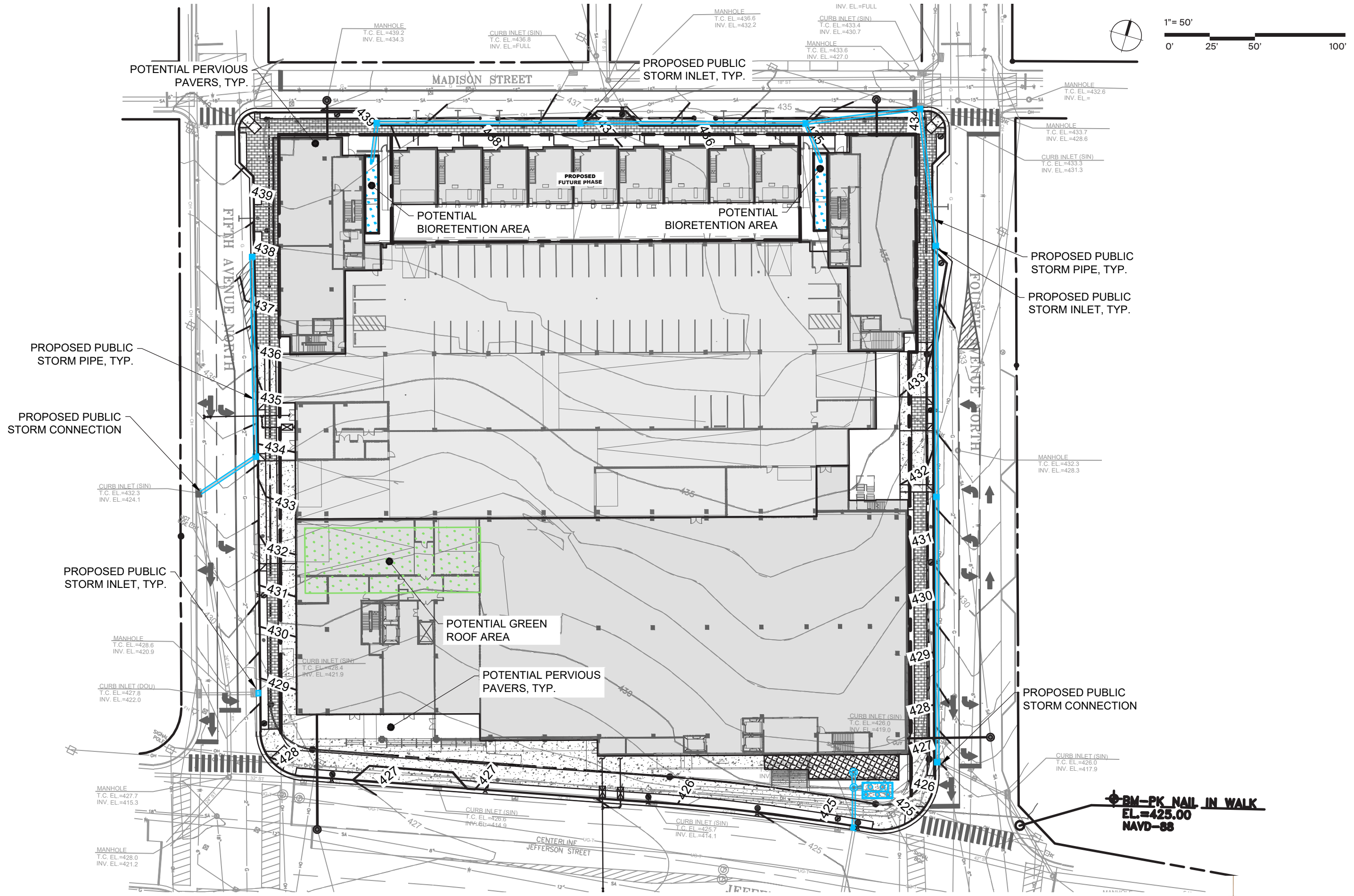
**SP PROPERTY NOTE:**

**THE AREA HATCHED IN BLUE DENOTES THE PROPERTY TO BE REZONED IN THIS SP.**









ZONING DISTRICT LAND USE TABLE	
Residential Uses:	
Single-family	Prohibited
Two-family	Prohibited
Multi-family	Permitted
Elderly housing	Permitted
Mobile home dwelling	Prohibited
Accessory apartment	Prohibited
Accessory dwelling, detached	Prohibited
Boarding house	Prohibited
Consignment sale	Permitted
Domesticated hens	Prohibited
Garage sale	Permitted as accessory
Historic bed and breakfast homestay	Prohibited
Historic home events	Prohibited
Home occupation	Prohibited
Rural bed and breakfast homestay	Prohibited
Security residence	Prohibited
Short term rental property (STRP)—Owner occupied	Prohibited
Institutional Uses:	
Correctional facility	Prohibited
Cultural center	Permitted
Day care center (Up to 75)	Permitted with conditions
Day care center (Over 75)	Permitted with conditions
* Day care centers (over 75) as special exception uses in the AG, AR2a, RS80 through RS3.75 and R80 through R6 shall expire and are expressly repealed and shall no longer be in force and effect from and after July 1, 1999	
Day care home	Permitted with conditions
Day care—Parent's day out	Permitted as accessory
School day care	Prohibited
Monastery or convent	Prohibited
Orphanage	Prohibited
Religious institution	Permitted
Educational Uses:	
Business school	Permitted
College or university	Permitted
Community education	Permitted
Dormitory	Prohibited
Fraternity/sorority house	Prohibited
Personal instruction	Permitted
Vocational school	Permitted with conditions
Office Uses:	
Alternative financial services	Prohibited
Financial institution	Permitted
General office	Permitted
Leasing/sales office	Permitted
Medical Uses:	
Animal hospital	Permitted
Assisted-care living	Permitted
Hospice	Permitted
Hospital	Prohibited
Medical appliance sales	Permitted
Medical office	Permitted
Medical or scientific lab	Permitted
Nonresidential drug treatment facility	Prohibited
Nursing home	Permitted
Outpatient clinic	Permitted
Rehabilitation services	Permitted
Residence for handicapped, more than eight individuals	Prohibited
Veterinarian	Permitted with conditions
Commercial Uses:	
Animal boarding facility	Permitted as accessory
ATM	Permitted with conditions
Auction house	Permitted
Automobile convenience	Prohibited
Automobile parking	Permitted
Automobile repair	Prohibited
Automobile sales, new	Prohibited
Automobile sales, used	Prohibited

Automobile service	Prohibited
Bar or nightclub	Permitted
Bed and breakfast inn	Permitted
Beer and cigarette market	Prohibited
Boat storage	Prohibited
Business service	Permitted
Carpet cleaning	Prohibited
Car wash	Prohibited
Community gardening (commercial)	Prohibited
Community gardening (noncommercial)	Prohibited
Custom assembly	Prohibited
Donation center, drop-off	Permitted with conditions
Flea market	Permitted
Funeral home	Prohibited
Furniture store	Permitted
Grocery store	Permitted
Home improvement sales	Permitted with conditions
Hotel/motel	Permitted
Inventory stock	Permitted
kennel/stable	Permitted as accessory
Laundry plants	Prohibited
Liquor sales	Permitted
Major appliance repair	Prohibited
Mobile storage unit	Prohibited
Mobile vendor	Permitted
Nano brewery	Permitted with conditions
Personal care services	Permitted
Restaurant, fast-food	Permitted
Restaurant, full-service	Permitted
Restaurant, take-out	Permitted
Retail	Permitted
Self-service storage	Prohibited
Short term rental property (STRP)—Not owner occupied	Prohibited
Vehicular rental/leasing	Prohibited
Vehicular sales and service, limited	Prohibited
Wrecker service	Prohibited
Communication Uses:	
Amateur radio antenna	Permitted
Audio/video tape transfer	Permitted
Communications hut	Permitted with conditions
Multi-media production	Permitted
Printing and publishing	Permitted
Radio/TV studio	Permitted
Satellite dish	Permitted
Telecommunication facility	Permitted with conditions
Industrial Uses:	
Artisan distillery	Permitted
Asphalt plant	Prohibited
Building contractor supply	Prohibited
Compressor station	Prohibited
Concrete plant	Prohibited
Distributive business/wholesale	Prohibited
Fuel storage	Prohibited
Heavy equipment, sales and service	Prohibited
Hazardous operation	Prohibited
Manufacturing, Artisan	Permitted with conditions
Manufacturing, heavy	Prohibited
Manufacturing, medium	Prohibited
Manufacturing, light	Prohibited
Microbrewery	Prohibited
Research service	Permitted
Scrap operation	Prohibited
Tank farm	Prohibited
Tasting room	Permitted
Warehouse	Permitted with conditions
Transportation Uses:	
Airport, medium or large commercial service	Prohibited
Airport/heliport	Prohibited
Boat dock (commercial)	Prohibited
Bus station/landport	Prohibited
Bus transfer station	Prohibited
Commuter rail	Prohibited

Helistop	Prohibited
Motor freight	Prohibited
Park and ride lot	Prohibited
Railroad station	Prohibited
Railroad yard	Prohibited
Water taxi station	Prohibited
Utility Uses:	
Power/gas substation	Prohibited
Power plant	Prohibited
Reservoir/water tank	Prohibited
Safety services	Permitted
Waste water treatment	Prohibited
Water/sewer pump station	Prohibited
Water treatment plant	Prohibited
Wind energy facility (small)	Prohibited
Wind energy facility (utility)	Prohibited
Waste Management Uses:	
Collection center	Prohibited
Construction/demolition landfill	Prohibited
Construction/demolition waste processing (project specific)	Prohibited
Medical waste	Prohibited
Recycling collection center	Prohibited
Recycling facility	Prohibited
Sanitary landfill	Prohibited
Waste transfer	Prohibited
Recreation and Entertainment Uses:	
Adult entertainment	Prohibited
After hours establishment	Prohibited
Camp	Prohibited
Club	Permitted
Commercial amusement (inside)	Prohibited
Commercial amusement (outside)	Prohibited
Country club	Prohibited
Drive-in movie	Prohibited
Driving range	Prohibited
Fairground	Prohibited
Golf course	Prohibited
Greenway	Prohibited
Park	Prohibited
Racetrack	Prohibited
Recreation center	Permitted
Rehearsal hall	Permitted
Sex club	Prohibited
Small outdoor music event	Permitted
Stadium arena/convention center	Prohibited
Temporary festival	Permitted - Special Exception
Theater	Prohibited
Theatre	Prohibited
Zoo	Prohibited
Other Uses:	
Agricultural activity	Prohibited
Cemetery	Prohibited
Domestic animals/wildlife	Prohibited
Mineral extraction	Prohibited
On-site agricultural sales	Prohibited
Pond/lake	Prohibited

METRO PUBLIC WORKS NOTES:	
1.	THE FINAL SITE PLAN / BUILDING PERMIT SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP FRONTAGE OR FRONTAGE ZONE, AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. WHERE FEASIBLE, VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
2.	PARKING RATIOS SHALL BE PROVIDED AT OR ABOVE THE REQUIREMENTS OF THE METRO ZONING ORDINANCE WITH FINAL SP SUBMITTAL.
3.	REQUIRED RIGHT-OF-WAY WITHIN THE PROJECT SITE THAT IS IDENTIFIED AS NECESSARY TO MEET THE ADOPTED ROADWAY PLANS SHALL BE DEDICATED.
4.	THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS, IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN, OR FINAL DEVELOPMENT PLAN OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
5.	THE DESIGN OF THE PUBLIC INFRASTRUCTURE IS TO BE COORDINATED WITH THE FINAL SP. THE ROADS, PEDESTRIAN INFRASTRUCTURE, BICYCLE ROUTES, ETC., ARE TO BE DESIGNED AND CONSTRUCTED PER MPW STANDARDS AND SPECIFICATIONS.
6.	ALL CONSTRUCTION WITHIN THE RIGHT OF WAY SHALL COMPLY WITH ADA AND METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
7.	ALL SOLID WASTE AND RECYCLING COLLECTION FOR THE SITE WILL BE HANDLED BY A PRIVATE HAULER/SERVICE.
SITE DATA TABLE:	
MAP/ PARCEL:	SEE PARCEL SUMMARY TABLE
OWNER / CONTACT:	H.G. HILL REALTY CO. 3011 ARMORY DRIVE, SUITE 130 NASHVILLE, TN 37204 615-252-8100
COUNCIL DISTRICT:	19, FREDDIE O'CONNELL
TOTAL AREA:	2.95 ACRES
PROPOSED USE(S):	
SEE TABLE THIS SHEET	
ON-SITE PARKING NOTE:	
1.	ALL FINAL SITE DEVELOPMENTS SHALL PROVIDE ON-SITE PARKING AS REQUIRED BY THE METRO ZONING ORDINANCE, OR BY AN APPROVED SHARED PARKING PLAN. FINAL SP PLANS SHALL INCLUDE A COMPREHENSIVE PARKING TABLE DETAILING EACH USE, REQUIRED PARKING TOTALS, AND PROVIDED PARKING TOTALS.

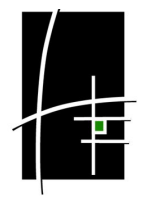
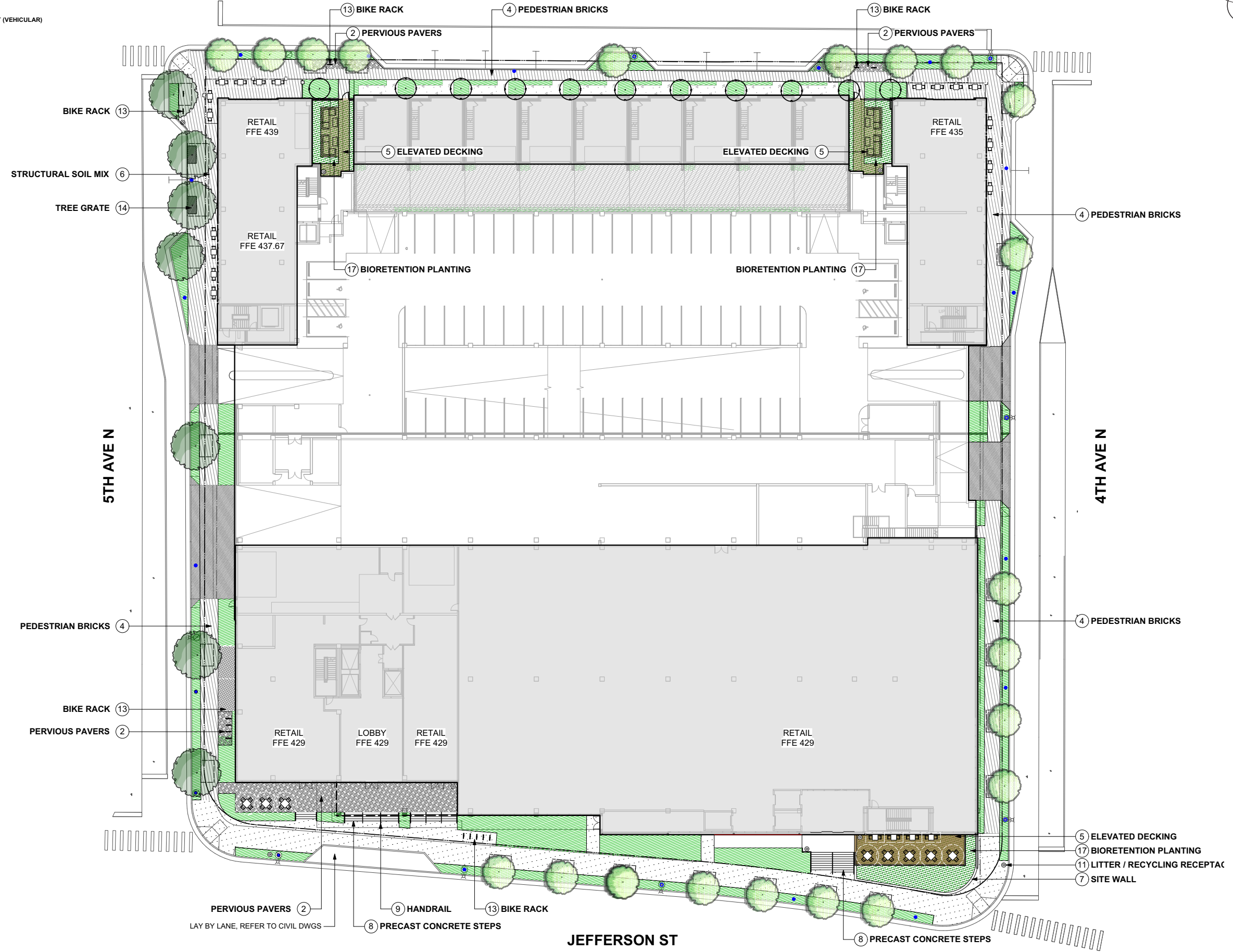
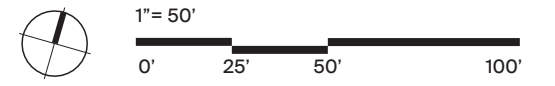
PARCEL SUMMARY TABLE			
ADDRESS	PARCEL ID	ACREAGE	EXISTING ZONING
416 Jefferson St.	08213025700	1.87	CS, OR20
1114 5th Ave. N	08213025500	0.10	OR20
1116 5th Ave. N	08213025400	0.08	OR20
1118 5th Ave. N	08209039900	0.09	CS
1120 5th Ave. N	08209039800	0.09	CS
411 Madison St.	08209040000	0.12	IR
409 Madison St.	08209040100	0.10	IR
407 Madison St.	08209040200	0.12	IR
1123 4th Ave. N	08209040300	0.09	IR
1121 4th Ave. N	08209040400	0.09	IR
1119 4th Ave. N	08209040500	0.11	IR
1117 4th Ave. N	08209040600	0.09	CS

TOTAL ACREAGE = 2.95

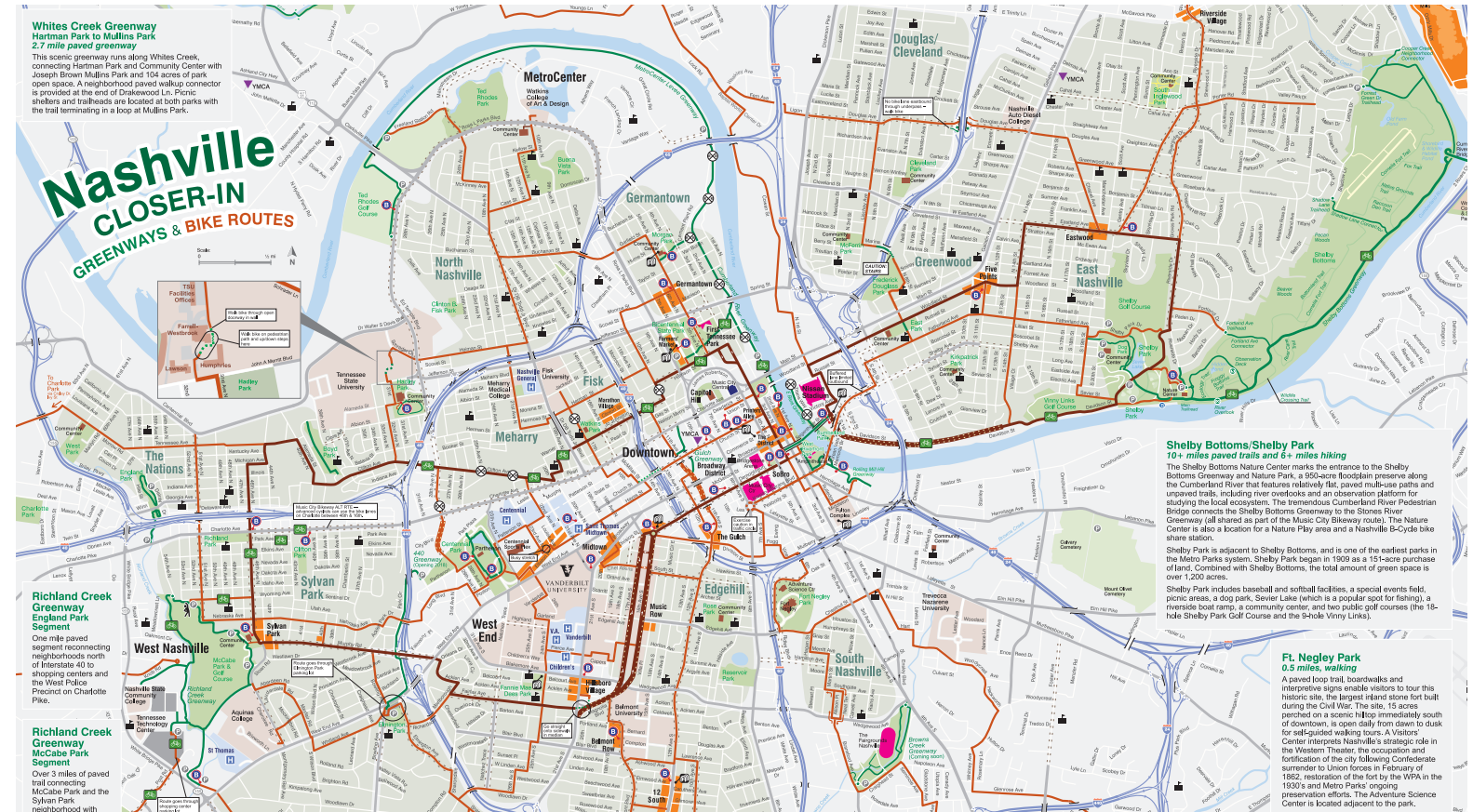
METRO WATER & SEWER NOTES:	
1.	ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF METRO WATER SERVICES.
2.	ALL LOTS SHALL HAVE INDIVIDUAL WATER AND SEWER SERVICE.
GENERAL STORMWATER NOTES:	
1.	ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2.	THE FINAL DESIGN AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
3.	DRIVEWAY CULVERTS TO BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO R.O.W. IS 15" RCP).
4.	METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
STORMWATER TREATMENT NOTES:	
1.	SPECIFIC STORMWATER STORAGE AND TREATMENT MEASURES SHALL BE PROVIDED DURING FINAL SP SUBMITTAL AND GRADING PERMIT REVIEW.
2.	ALL PROPOSED STORMWATER MANAGEMENT PRACTICES SHALL CONFORM TO THE LATEST VERSION OF THE METRO STORMWATER MANAGEMENT MANUAL AT TIME OF APPLICATION. COMMON PRACTICES INCLUDE LOW IMPACT DEVELOPMENT (LID) DESIGN, PROPRIETARY WATER QUALITY DEVICES, AND AN IN-LIEU FEE PAYMENT IN PLACE OF TREATMENT.
FEMA NOTE:	
1.	THIS PROPERTY IS NOT LOCATED IN AN AREA OF FLOOD HAZARD OR SPECIAL FLOOD HAZARD ACCORDING TO FEMA FLOOD INSURANCE RATE MAP PANEL NUMBER 47037C0241H, EFFECTIVE APRIL 5, 2017.
FIRE MARSHAL NOTES:	
1.	NEW COMMERCIAL DEVELOPMENTS SHALL BE PROTECTED BY A FIRE HYDRANT THAT COMPLIES WITH THE 2006 EDITION OF NFPA 1 TABLE H.
2.	NO PART OF ANY BUILDING SHALL BE MORE THAN 500 FEET FROM A FIRE HYDRANT VIA A HARD SURFACE ROAD. METRO ORDINANCE 095-1541 SEC. 1568.020B.
3.	ALL FIRE DEPARTMENT ACCESS ROADS SHALL BE 20 FEET MINIMUM WIDTH AND SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13.5 FEET.
4.	IF MORE THAN THREE STORIES ABOVE GRADE, CLASS 1 STANDPIPE SYSTEM SHALL BE INSTALLED.
5.	IF MORE THAN ONE STORY BELOW GRADE, CLASS 1 STANDPIPE SYSTEM SHALL BE INSTALLED.
6.	A FIRE HYDRANT SHALL BE PROVIDED WITHIN 100 FEET OF THE FIRE DEPARTMENT CONNECTION.
7.	FIRE HYDRANTS SHALL BE IN SERVICE BEFORE ANY COMBUSTIBLE MATERIAL IS BROUGHT ON SITE.
8.	THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS
NES NOTES:	
1.	WHERE FEASIBLE, THIS DEVELOPMENT WILL BE SERVED WITH UNDERGROUND POWER AND PAD-MOUNTED TRANSFORMERS.
2.	NEW FACILITIES WILL NOT BE ALLOWED TO SIT IN OR PASS THROUGH BIORETENTION AREAS, BIOSWALES, AND THE LIKE. THIS INCLUDES PRIMARY DUCT BETWEEN PAD-MOUNTED TRANSFORMER EQUIPMENT, AS WELL AS SERVICE DUCT TO A METER.
LANDSCAPE NOTES:	
1.	ALL FINAL SITE DEVELOPMENT SHALL MEET LANDSCAPE REQUIREMENTS OF THE LANDSCAPE SECTION OF THE METRO ZONING ORDINANCE, CHAPTER 17.24 "LANDSCAPING, BUFFERING AND TREE REPLACEMENT".
2.	FINAL SITE DEVELOPMENT SHALL PROVIDE STREET TREES IN ACCORDANCE WITH THE REQUIREMENTS OF METRO ZONING ORDINANCE, CHAPTER 17.20.120.
3.	FINAL SITE PLAN SHALL INCLUDE SUBMITTAL OF A LANDSCAPE PLAN.

- HARDSCAPE**
- ① STANDARD CONCRETE PAVEMENT
  - ② PERVIOUS PAVERS
  - ③ SPECIALTY CONCRETE PAVEMENT (VEHICULAR)
  - ④ PEDESTRIAN BRICKS
  - ⑤ ELEVATED DECKING
  - ⑥ STRUCTURAL SOIL MIX
  - ⑦ SITE WALL
  - ⑧ PRECAST CONCRETE STEPS
  - ⑨ HANDRAIL
  - ⑩ FENCE
- SITE FURNITURE**
- ⑪ LITTER / RECYCLING RECEPTACLE
  - ⑫ TABLES & CHAIRS
  - ⑬ BIKE RACK
  - ⑭ TREE GRATE
  - ⑮ PEDESTRIAN STREET LIGHT
- LANDSCAPE**
- ⑯ LANDSCAPE PLANTING
  - ⑰ BIORETENTION PLANTING
  - ⑱ UNDERSTORY TREE
  - ⑲ CANOPY TREE

MADISON ST



## APPENDIX



NASHVILLE CORE GREENWAY AND BIKE NETWORK

**Adopted CCM**

Parcels are within the North Nashville Study area, and are designated as T4 Urban Mixed Use Neighborhood (T4-MU). This policy is intended to create mixed use neighborhoods with a variety of moderate to high density residential, commercial, office, and light industrial uses.

Maximum heights within this designation are typically up to five stories, but greater heights may be allowed depending on the specifics of the location and site design.

This policy supports rezonings to MUN-A, MUL-A, OR20-A, RM9-A to RM40-A, or SPs based on these districts.

Portions of these properties are designated Conservation (CO), intended to preserve environmentally sensitive land features through protection and remediation. The guidance for preserving or enhancing these regions will vary with its Transit designation and whether or not the area has already been disturbed.

**Greenway and Bike Network**

These sites sit along the Cumberland River Greenway, which has direct connections to Bicentennial Park, and the greater Nashville network. Additionally, there is a proposed pedestrian bridge from Taylor Street across the Cumberland River to the River North District.



GREENWAY AND BIKE NETWORK NEAR SITE



JEFFERSON STREET - BUILDING ELEVATION



4TH AVENUE NORTH - BUILDING ELEVATION

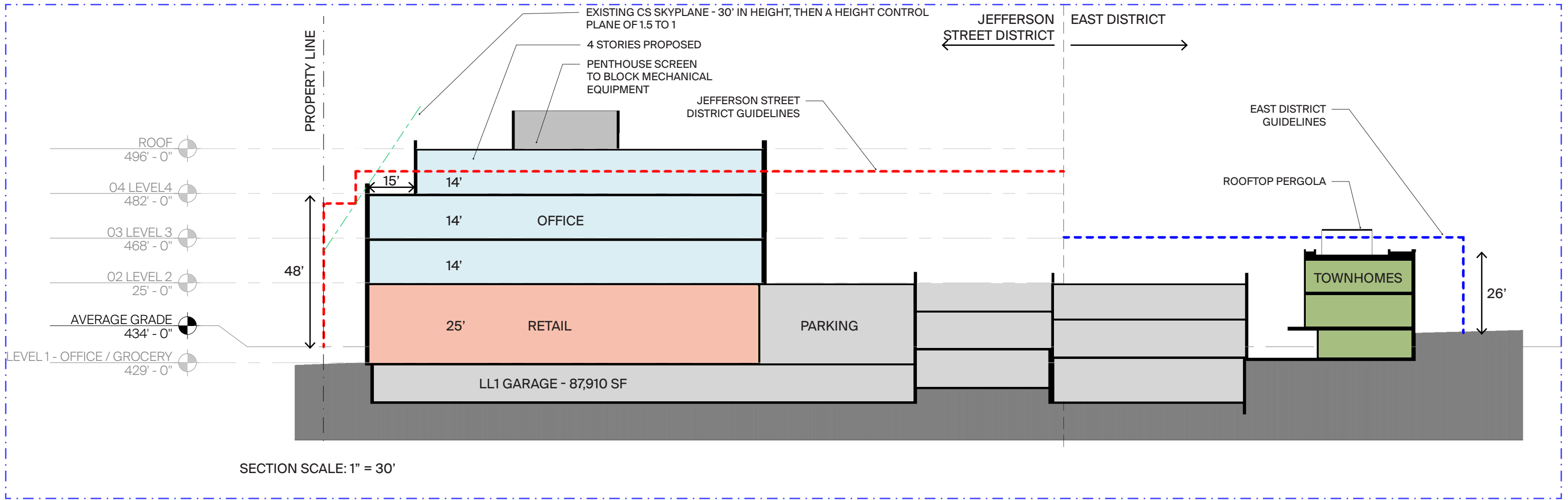


MADISON STREET - BUILDING ELEVATION

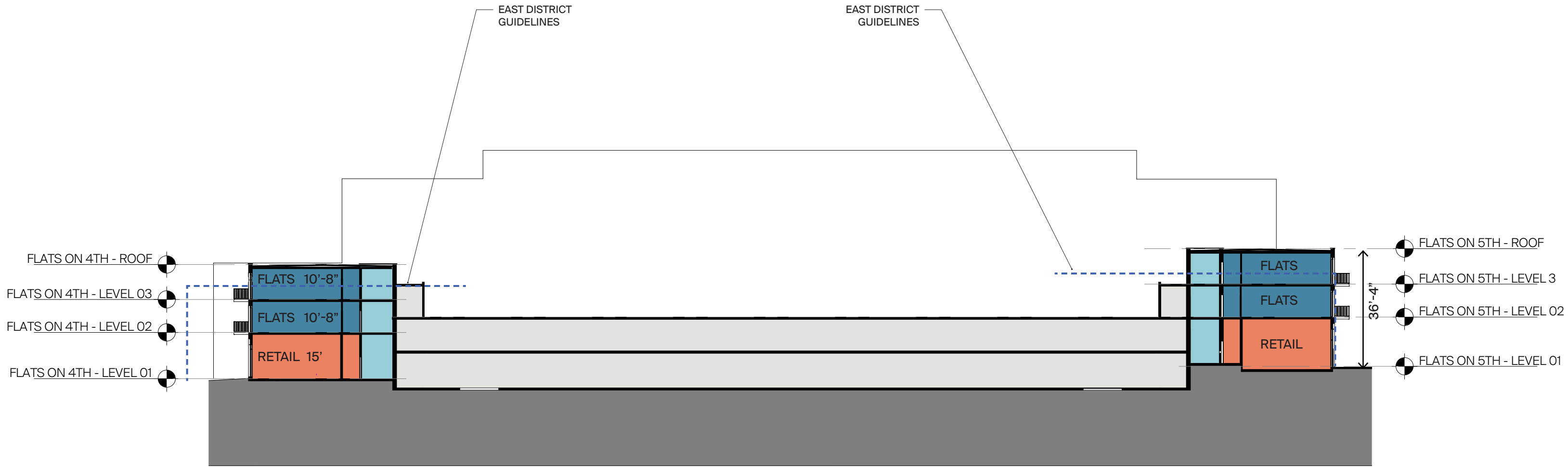




5TH AVENUE NORTH - BUILDING ELEVATION

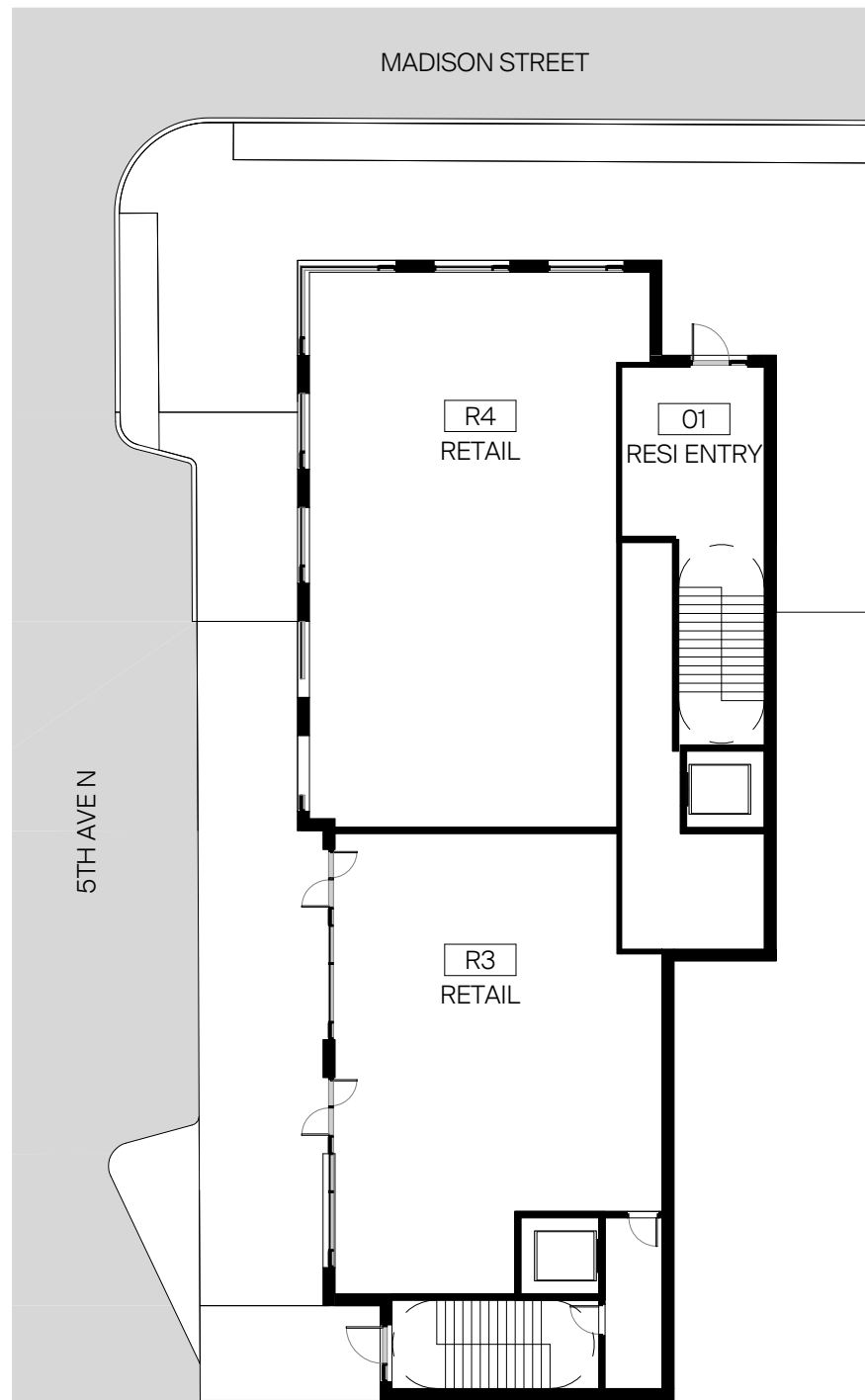


- RETAIL - ANCHOR TENANT
- RETAIL
- OFFICE
- VERTICAL CIRCULATION
- AMENITY
- RESI - FLATS
- RESI - TOWNHOME
- PARKING
- BLDG SERVICES

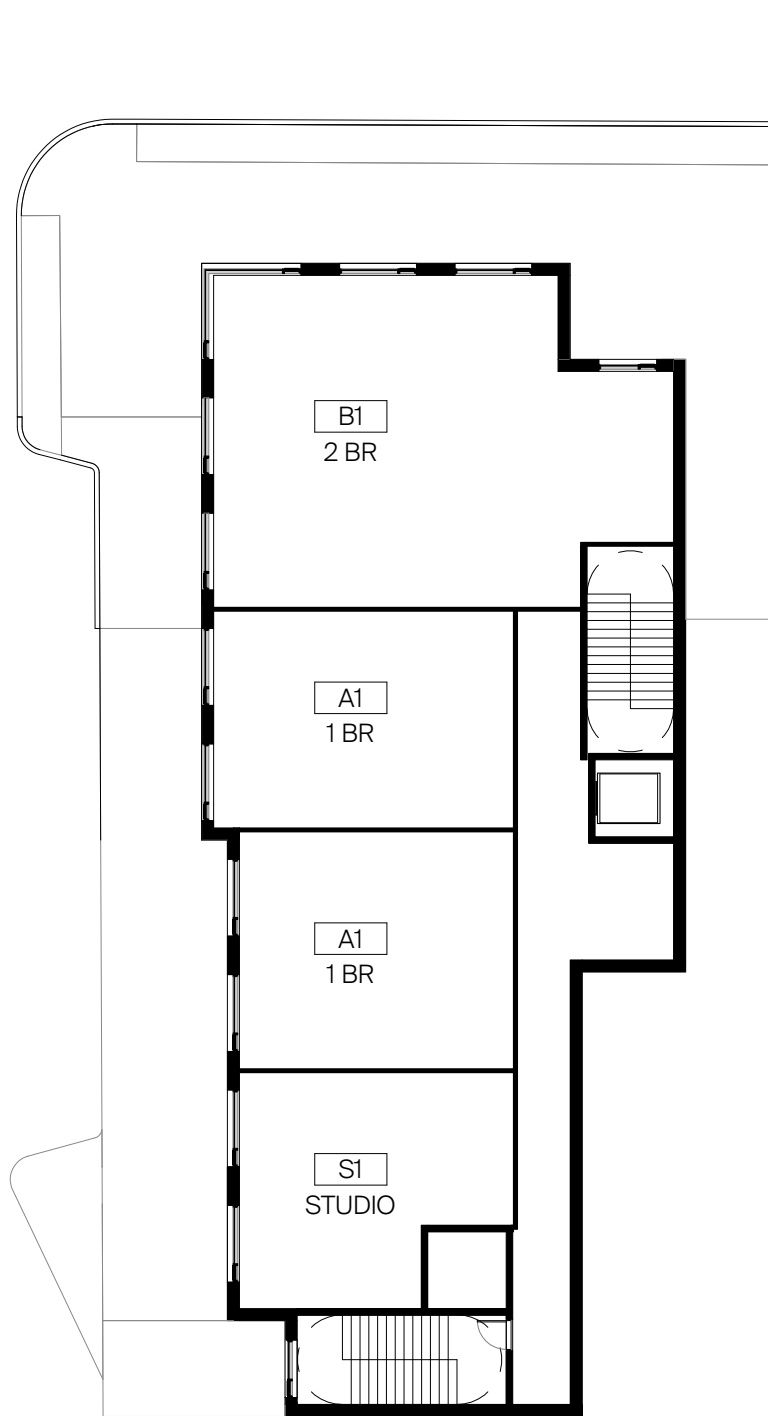


SECTION SCALE: 1" = 30'

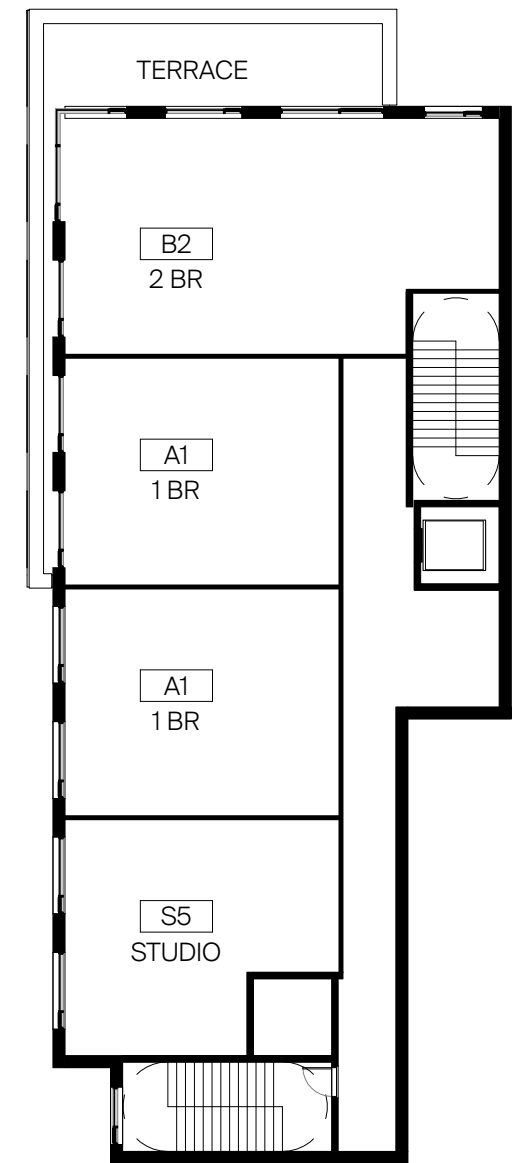
- RETAIL - ANCHOR TENANT
- RETAIL
- OFFICE
- VERTICAL CIRCULATION
- AMENITY
- RESI - FLATS
- RESI - TOWNHOME
- PARKING
- BLDG SERVICES



1 FIRST FLOOR PLAN  
1" = 20'-0"  
0 10' 20' 40'



2 SECOND FLOOR PLAN  
1" = 20'-0"  
0 10' 20' 40'



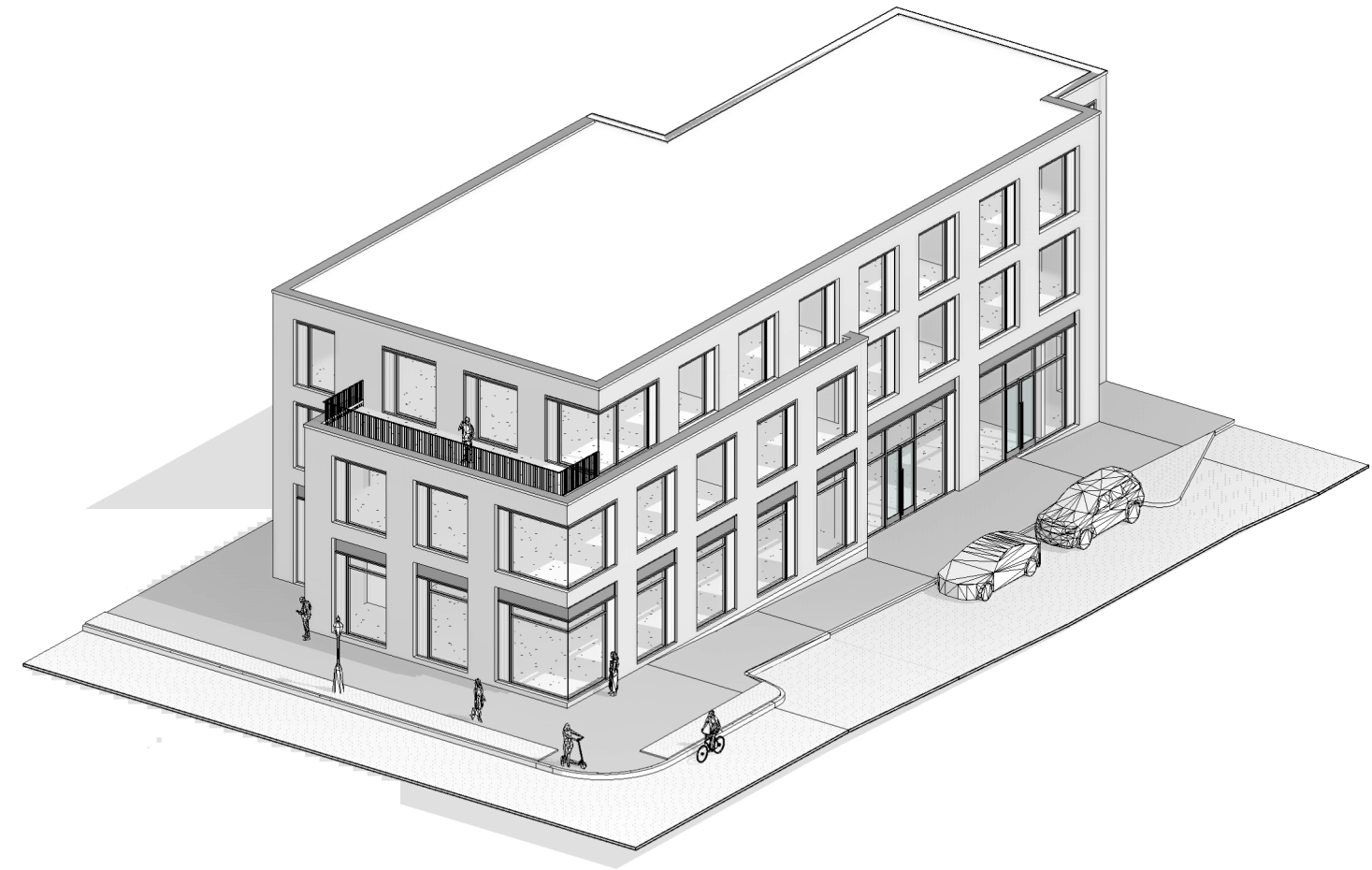
3 03 THIRD FLOOR - FLATS  
1" = 20'-0"  
0 10' 20' 40'

2 STORIES UP TO 30'  
WITH FLAT ROOF OR 35'  
WITH PITCHED ROOF



MADISON

1 WEST ELEVATION - 5TH AVE N  
1" = 10'-0"  
0 5' 10' 20'



5TH AVE N

1 NORTH ELEVATION - MADISON  
 1" = 10'-0"  
 0 4' 8' 16'