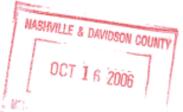


PRELIMINARY FINAL as AMENDED, in FULL CONDITIONAL, compliance with the provisions of the Metropolitan Zoning Ordinance, Conditions *See Staff Report*
 By *JTS* Date *8/10/06*
 Metropolitan Planning Commission

DEVELOPMENT SUMMARY
 SITE AREA: ± 1.646 AC
 DWELLING UNITS: 39 (23.09 DU/AC)
 COMMERCIAL / RETAIL: ± 2715 SQFT
 BUILDING COVERAGE: ± 0.68 AC (41.3%)
 IMPERVIOUS SURFACE: ± 1.36 (83%)



BUILDING #	TYPE	DESCRIPTION	GARAGE
1	Mixed-Use	3 Two-Story lofts 1 Commercial 2715sqft.	N/A
2	Town Home	2 Three-Story town homes	2/ DU
3-7	Quads	2 Flats 2 Two-Story town homes	1/ DU
8	Town Home	5 Three-Story town homes	2/ DU
9-12	Carriage Homes	2 Two-Story carriage homes	2/ DU

NOTES:
 1 SEE SHEET L-2 FOR CONCEPTUAL UTILITY LAYOUT AND THE ATTACHED 4TH & MONROE BOOKLET FOR FURTHER INFORMATION
 2 BOUNDARY PROVIDED BY DALE & ASSOCIATES
 3 ALL OTHER BASE INFORMATION PROVIDED BY METROPOLITAN NASHVILLE MAPPING, SITE PLAN IS BASED ON METROPOLITAN NASHVILLE MAPPING DIMENSIONS AND IS SUBJECT TO CHANGE UPON COMPLETION OF A SITE SURVEY.
 4 PLANS FOR SOLID WASTE COLLECTION AND DISPOSAL WILL BE APPROVED BY THE PUBLIC WORKS SOLID WASTE DIVISION BEFORE CONSTRUCTION
 5 STREET-SCAPE PLANS WILL BE REVIEWED BY PUBLIC WORKS BEFORE CONSTRUCTION
 6 BY GRAPHIC PLOTTING AND SCALED MAP LOCATION, THIS PROPERTY LIES WITHIN ZONE "X" AS DESIGNATED BY THE CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS WHICH MAKE UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT, COMMUNITY NO. 47037, PANEL 026 F, DATED APRIL 20, 2001 WHICH ARE THE CURRENT FLOOD INSURANCE RATE MAPS FOR THE COMMUNITY IN WHICH THE PREMISES IS LOCATED. ZONE "X" IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 500 YEAR FLOODPLAIN.
 7 WHERE APPLICABLE, SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL. (MINIMUM DRIVEWAY CULVERT IS 15" CMP)
 8 POST DEVELOPED STORM WATER RUNOFF WILL BE ROUTED TO AN ON SITE STRUCTURAL WATER QUALITY UNIT PRIOR TO BEING DISCHARGED FROM THE SITE. THE WATER QUALITY UNIT WILL BE SIZED TO ADEQUATELY TREAT THE PROPOSED RUNOFF PER METRO WATER SERVICES REQUIREMENTS

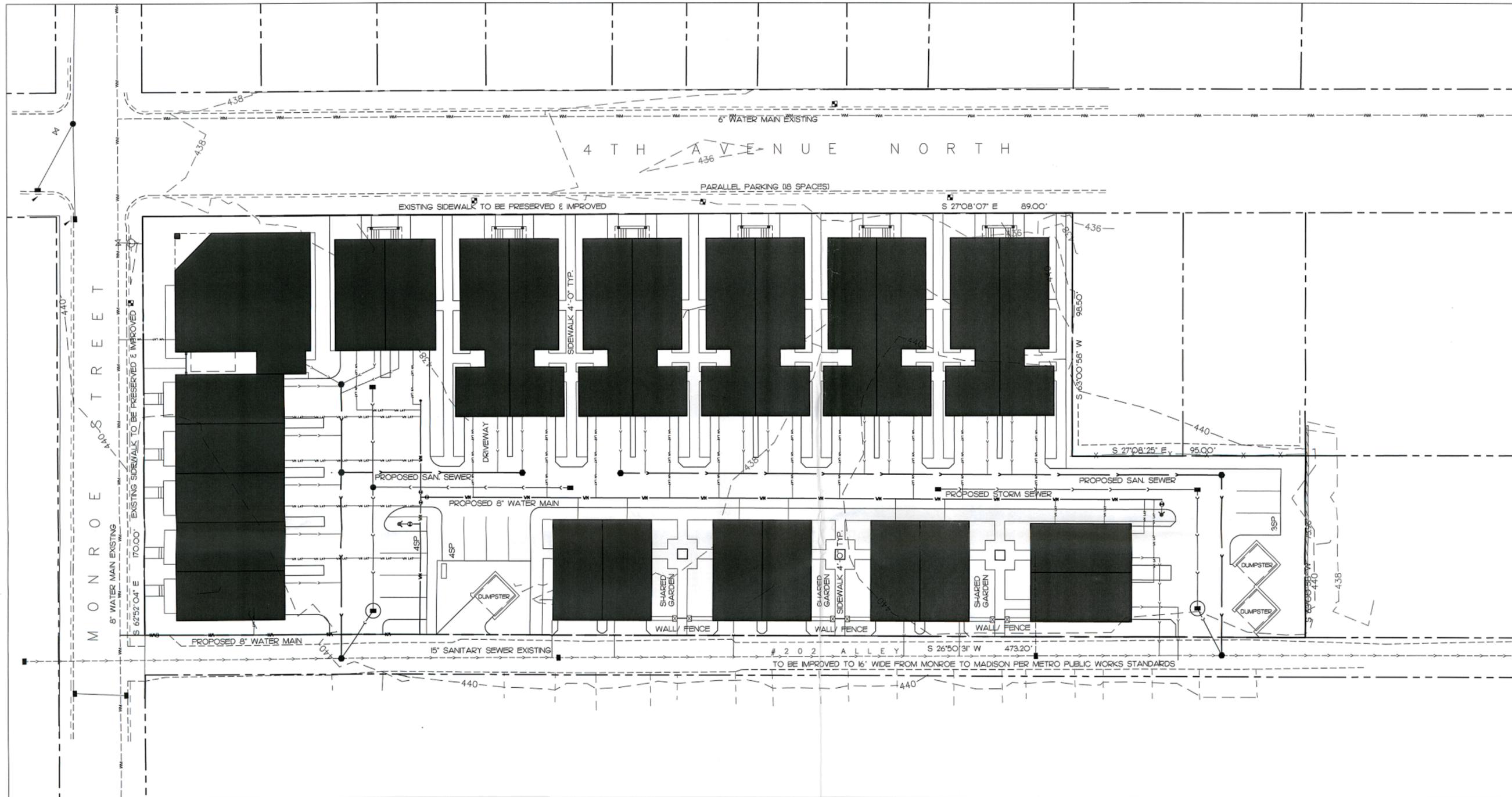


4TH & MONROE : 2006SP-119U-08
 Specific Plan Rezoning Request
 Metropolitan Nashville, Davidson County, Tennessee
 CONCEPT LAYOUT PLAN

REVISIONS:
 OCTOBER 13, 2006

DATE: 07/05/06
 DESIGNED BY: JLG
 DRAWN BY: JMN
 CHECKED BY: GG
 C.C. BY: JMS
 PROJECT #: 3066032
 SHEET NUMBER: L-1

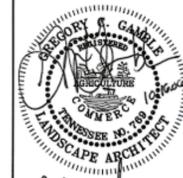
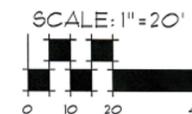
SP-2006SP-119U-08



DEVELOPMENT SUMMARY
 SITE AREA: ± 1.646 AC
 DWELLING UNITS: 38 (23.09 DU/AC)
 COMMERCIAL / RETAIL: ± 2715 SQFT
 BUILDING COVERAGE: ± 0.68 AC (41.3%)
 IMPERVIOUS SURFACE: ± 1.36 (83%)

BUILDING #	TYPE	DESCRIPTION	GARAGE
1	Mixed-Use	3 Two-Story lofts 1 Commercial 2713sqft.	N/A
2	Town Home	2 Three-Story town homes	2/ DU
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8	Town Home	5 Three-Story town homes	2/ DU
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REVISIONS:
 OCTOBER 13, 2006

DATE: 07.05.06
 DESIGNED BY: JLG
 DRAWN BY: JMN
 CHECKED BY: GG
 SCALE: 1"=20'
 PROJECT #: 3006032
 SHEET NUMBER:
L-2

Metropolitan Planning Commission

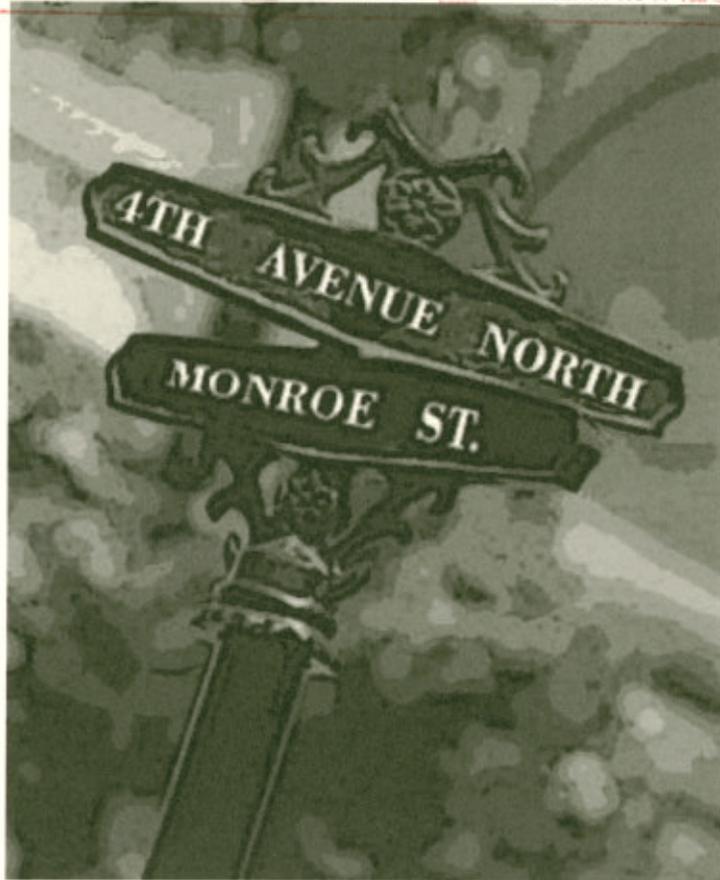
By _____ Date _____

Conditions See Staff Report

P.U.D. provisions of the Metropolitan Zoning Ordinance.

FULL CONDITIONAL, compliance with the

PRELIMINARY, FINAL, as AMENDED, in



4TH & MONROE
 SPECIFIC PLAN - ZONING REQUEST
 JUNE 1, 2006
 REV: JULY 5, 2006
 REV: OCTOBER 13, 2006
 2006SP-119U-08

NASHVILLE & DAVIDSON COUNTY

OCT 16 2006

METROPOLITAN PLANNING DEPARTMENT

SP-2006SP-119U-08

Joel Smith
Randy Chastain
321 Billingsly Court, Suite 19
Franklin, TN 37067
v:615.771.7375



EVERTON
OGLESBY
ARCHITECTS

humanizing design

400 Fourth Avenue South
Nashville, Tennessee 37201
v:615.242.4004

LandDesign.

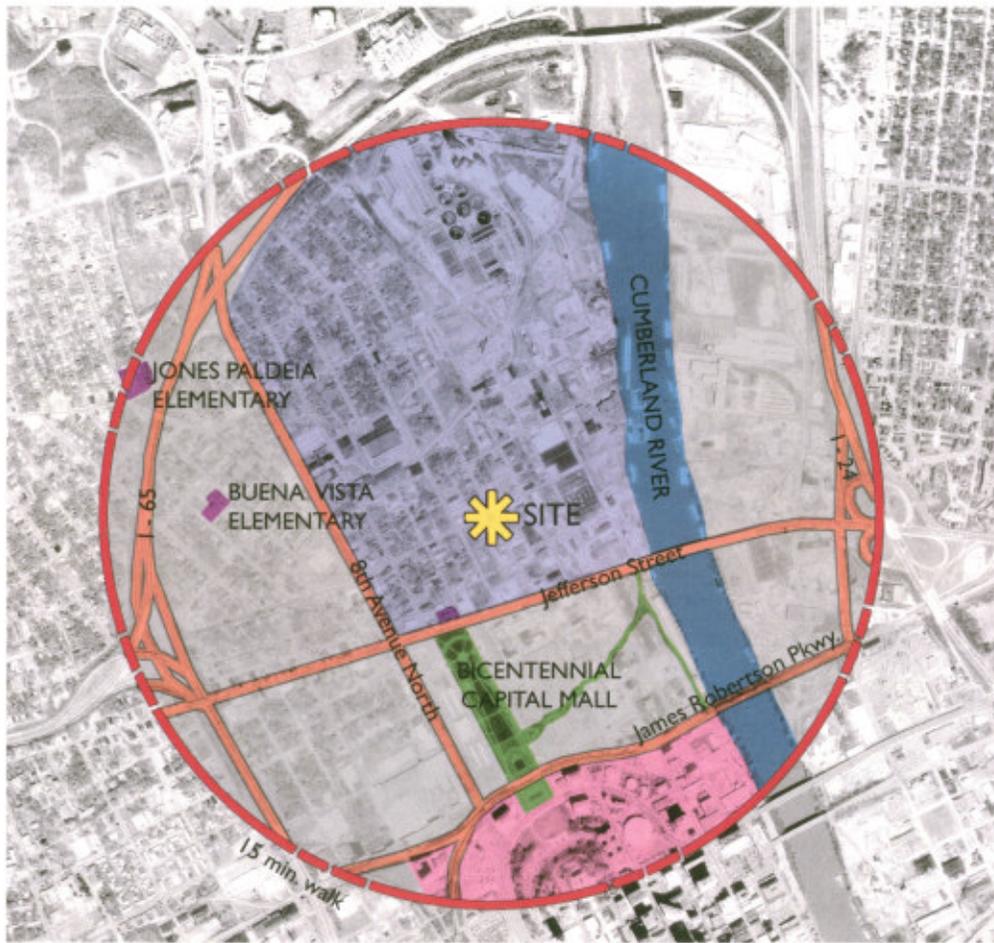
135 Second Avenue N.
Franklin TN, 37064
v:615.591.7164

Boundary Survey provided by:
Dale & Associates
516 heather Place
Nashville, TN. 37204
v:615.297.5166

All other base information provided by:
Metropolitan Government of Nashville and
Davidson County - Mapping
700 Second Avenue South,
Nashville, TN. 37201

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SURROUNDING ELEMENTS



1.



2.



3.

Nestled in the Historic Germantown Community at the corner of 4th and Monroe, the 1.646 acre site is ideal for revitalization. The site is centrally located within a 15 minute walk to a variety of restaurants, open greens, schools and pedestrian trails.



4.



5.

SITE VIEWS



View from alley into the southern portion of the site.



View of the existing alley #202 heading north.



View of an existing building on the corner of 4th and Monroe.



View west from 4th of an existing building on the corner of 4th and Monroe.



View from 4th to an existing building.



View of the existing Monroe street-scape.



View of an existing building from the alley.



View of the existing 4th avenue north.

PROJECT NARRATIVE

The "Germantown" district of downtown Nashville is becoming widely renowned as an exciting rebirth of a walkable mixed use community in the heart of one of America's most progressive cities. Capitalizing on this extraordinary momentum, the developer of the subject property desires to blend a stately community of traditional and yet compatibly sensitive architecture. The key element of this 38 unit village emphasizes residentially scaled two and three story structures. The homes will consist of one bedroom flats; as well as, two and three bedroom town home and carriage homes arranged in twelve (12) individual structures of varied architecture and texture. Brick, painted brick, faux stone, and cementous siding will be the building materials employed in the construction.

Heavy and lush landscaping adds to the inviting street-scape along these important arteries. A three story commercial retail and residential loft building anchors the corner of Fourth and Monroe and will augment the extraordinary "sense of place" already achieved in the Germantown neighborhood. Garage access for all but three (3) of the residential units adds a unique selling proposition to this comfortably scaled; yet, urban in-fill. For a more detailed description of each of our residential buildings, please refer to the master plan on page 7A.

BUILDING 1

Building #1 is a mixed-use building with approximately 2713 square feet of commercial space located on the ground floor and three residential above. The commercial uses on the ground floor are intended to provide services to the Germantown Neighborhood. The entries shall be located on 4th and/or Monroe with a focus on walk-up/pedestrian patrons. Parking for the commercial shall be accommodated by the eighteen (18) on-street parking spaces located along the site frontage on 4th avenue. Permitted uses shall include neighborhood services such as: Business Service, Restaurant (no-drive through), General office, Financial Institution, Bank/ ATM, Deli/Sandwich Shop and Coffee Shop.

BUILDINGS 2 & 9-12

This community also employs five (5) two story carriage homes. Building Two and buildings Nine through Twelve represent these separate floor plans. Each home is part of a two-unit building designed with ground floor access and also includes two-car garages. Buildings Nine through Twelve have their access through impressive landscaped courtyards augmented by a water feature and buffer wall. Additionally, garage access is granted primarily off Metro alley No. 202. This is done in order to preserve the alley character of the access. Building Two will gain its front door access off of Fourth Avenue.

BUILDINGS 3-7

This development has five (5) four-unit buildings within the total community Each of these buildings front Fourth Avenue. This product will alternate 2 ½ and 3 story structures. Out of sensitivity to the adjacent single family homes to the south of the site, Building Seven has been designed as a 2 ½ story structure.

These units will appear to be a single family home in mass. The first floor will consist of two single bedroom flats with access granted on the either side of the structure. By maintaining a 10 building separation, generous windows will be able to be utilized in the design of these one bedroom units. Additionally, single car garages will be located immediately to the rear of the home to allow direct access.

Situated on top of the one bedroom flats are two bedroom town homes which has access from the front of the building by a half flight of stairs leading directly to the front door. The "row house" access will add to the visual interest of the street. Additionally, these town homes will have a separate set of enclosed stairs leading directly from the garage to the rear of the town home.

BUILDING 8

Building Eight consists of five (5) three-story attached town homes. Each of these homes will be designed with three bedrooms in addition to also a two car garage. Front door access will be granted at ground level directly off Monroe Street. Each of these homes will consist of a varied exterior texture emphasizing an individualized sense of entry more consisted in a typical residential neighborhood.

Design Highlights:

Removal of Industrial Uses within an existing residential neighborhood

Mix of uses and residential homes

Buildings front on public streets to help create the public realm

Building materials complement the existing residential homes of the Germantown Neighborhood

Commercial uses encourage the use of on-street parking and walk up patrons

Block Improvements and Plan Notes:

1. Alley 202 shall be constructed from Madison to Monroe with a total pavement width of 16 feet.

2. All sidewalks shall be constructed in brick pavers, concrete, or similar material, and shall be a minimum of 4 feet within the development site, 6 feet on Monroe and 8 feet on 4th Avenue.

3. Building setbacks shall be per this Specific Plan.

4. No building permit may be issued on any lot until street name signs are installed and verified by the Metropolitan Department of Public Works on all streets which the lot depends for access.

5. Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance No. 78-840 and approved by the Metropolitan Department of Water Services.

6. Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any storm water facilities within the property.

7. The owner of the subject property is responsible for the installation, operation and maintenance of the private service line which is located on site.

8. These drawings are for illustration purposes to indicate the basic premise of the development. The final lot count and details of the plan shall be governed by the appropriate regulations at the time of final application.

Storm Water:

Stormwater runoff from the site will be managed so that the post-development runoff does not exceed the pre-development runoff as required by Metro Nashville's stormwater regulations. Post-development runoff will be treated so that the site is in compliance with the applicable storm water quality requirements of Metro Water Services.

Water Services:

Water and sanitary services will be designed to tie into existing facilities in place adjacent to the site. Proposed improvements will be designed in accordance with applicable regulations of the Metro Water Services and Codes Departments. Any offsite improvements to existing facilities that are required to support the proposed development will be coordinated with Metro Water Services.

Utilities:

Public utilities not provided by Metro Nashville, so as, but not limited to, electric, phone, gas, and cable television, will be coordinated with the applicable local service provider.



ARCHITECTURAL STANDARDS

The quality of a development is largely determined by the character of the buildings within it. For this reason, special attention must be given to the design of each building. Design decisions that relate to the architecture must take into consideration the following:

1. Relationship of the building design to the Germantown Neighborhood
2. Relationship of the building design to the street-scape
3. Relationship of the building design to the pedestrian aspects of the development

ARCHITECTURAL DESIGN

1. Buildings should relate to historic Germantown residential buildings in material and mass only, building style should be different to create a distinction between old and new Germantown buildings.
2. Buildings shall be designed with special attention and detail given to the primary façade. The primary façade is the façade that faces the public street or shared garden.
3. The building design shall incorporate architectural features in the design of the building facades that face 4th and Monroe. Items may include, but are not limited to, columns, porches, entry stoops, canopies, steps, vertical and horizontal banding, pilasters, color variations, window treatment, change of materials and textures.
4. Building #1, on the corner of 4th and Monroe, has certain civic qualities and needs special attention due to its prominent location. This building shall be considered with a primary façade on both 4th and Monroe. Store front windows shall be provided on 4th Ave & Monroe with a minimum transparent facade on the first floor of 60%.
5. Garage doors shall be a maximum width of 16 feet and shall be of designer grade with architectural articulation equal to the primary façade of the building.
6. Vertical Differentiation - The building facade should be designed so that there is a clear sense of base, body and top. Palladio's Villa Rotunda, for example, articulates this tripartite division both horizontally and vertically and thus is a good prototype for contemporary examples. The central porch and the neighboring sides of the Villa Rotunda reinforce the vertical division. The central porch is comprised of three parts: the stairs (base), the columns (middle), and the portico (top).
8. Stoops, boxed windows, and bay windows, upper stories, balconies, arcades, and awnings may encroach into the setbacks.



Example of corner building store front windows.



Example of building store front treatment.



Vertical differentiation illustration.

BUILDING MATERIAL

In keeping with the authenticity of architecture and the timeless nature of the Germantown Neighborhood, it is encouraged to natural building materials and/or historic materials where possible, especially on the primary façades.

1. Building façade materials: Acceptable materials include, but are not limited to, natural stone, clay brick, cast stone, hardy board siding, cementitious siding, stucco and lime stone.
2. Roof materials: Acceptable roofing materials include 25-year asphalt shingles, standing seam metal roofing, cedar shake, slate (natural or synthetic) rubber membrane (flat roofs) and flat tile. Built up roofing is also acceptable where surrounded by a parapet with or without balustrade.
3. Where two or more materials are proposed to be combined on a facade, the visually heavier of the two materials shall be located below the lighter (i.e. brick below stucco, stone below clapboarding). It is acceptable to provide the heavier material as a detail on the building's corners, or along cornices and/or windows.
4. The base material for all buildings shall be masonry, stone, or integral color concrete block with a finished face on all exposed sides and beveled joints.
5. Primary facade materials shall not change at outside corners. Material changes shall occur along the horizontal line where the two forms meet. It is acceptable, however, the change of materials occur as accents around window, doors, cornices, at the corners of the home, or as a repetitive pattern.
6. Aluminum siding and exposed smooth faced concrete block is prohibited. Wood and fibrous cement siding are permitted.
7. Exterior colors shall be compatible with adjacent properties. Bright colors are not acceptable.
8. Materials and colors shall be compatible with adjacent buildings.
9. Excessive color variations on a home is not permitted.
10. When using horizontal siding the exposure width shall not exceed 10 inches.
11. The exterior building material of chimneys shall either be made of the materials of the adjacent walls, or, match the building material of the foundation, or, be of stone or brick.
12. Translucent or back-lit canopies and awnings are prohibited.
13. The use of reflective glass is prohibited.
14. Neon in any form is prohibited on the exterior of the building.
15. Roof top utility units shall be screened from all views and be of a compatible color and material as the overall building material palette.



Example of encouraged materials.
Historic Germantown building on 5th ave.



Example of encouraged materials.
Historic Germantown building at 6th and Monroe.

LANDSCAPE DESIGN

1. Shade Trees may be either deciduous or evergreen, but generally grow to a height greater than 40'-0" and single trunk. Installed trees shall be a minimum of (3) caliper inches.
2. Evergreen Trees keep foliage year round. Installed evergreen trees shall be a minimum of (6) feet in height.
3. Understory trees may be deciduous or evergreen, but generally grow to a height that is less than 40'-0". Installed size of understory trees shall be a minimum of (2 1/2) caliper inches, or, if multi-trunked, shall have a minimum of (3) canes when added together shall equal (2 1/2) inches.

BUFFER YARD

Existing buffers and/or plant material on adjacent properties shall not be counted as part of the required buffer.

EXCEPTIONS

- Where site abuts public park or public open space with at least 100'-0" undisturbed natural foliage.
- Where buildings abut property line.

REQUIREMENTS

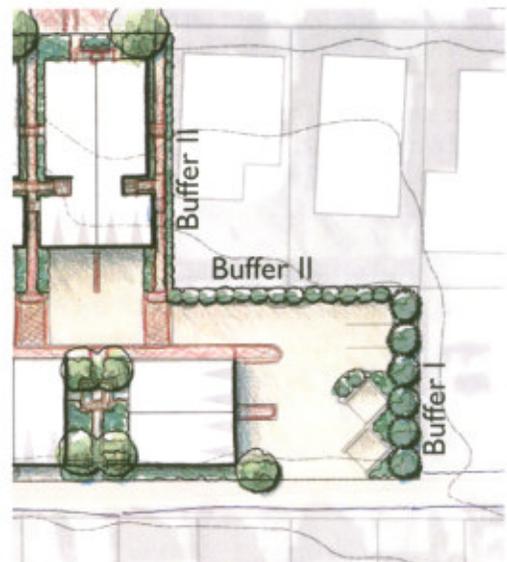
1. Buffer yards shall be designed to concentrate plants toward the property line and should be grouped to maximize their screen effect. Trees located with buffers shall be minimum of 40% evergreen canopy trees. Shrubs located within buffers shall be a minimum of 75% evergreen.
2. The arrangement of trees and shrubs in the buffer shall be done in a manner that provides visual separation between abutting land uses. Shrubs shall be massed in rows, or grouped to maximize the screening effect.
3. Buffer I: 10'-0" in width consisting of a continuous evergreen hedge row with individual plants spaced no more than 4'-0" on center with a mature height of at least 6'-0". Plants shall be at least 36" in height at the time of installation..
4. Buffer II: shall consist of a screen consisting of a continuous evergreen hedge row with individual plants spaced no more than 4'-0" on center with a mature height of at least 4'-0" is required. Plants shall be at least 30" in height at the time of installation.
5. (1) street tree should be planted every 50'-0" linear feet of road frontage along 4th Ave N located in Right of Way behind the back of curb. No street trees should be plant along Monroe Street. Where street trees are in conflict with overhead utilities, understory trees shall be used. The following is a list of approved street tree varieties:

Acer truncatum x platanoides 'Norwegian Sunset'
Carpinus caroliniana
Chionanthus retusus
Magnolia 'Wada's Memory'
Prunus x bilieriana

Acer x freemanii 'Jeffsred'
Cornus mas 'Spring Glow'
Liquidambar styraciflua 'Rotundifolia'
Prunus serrulata 'Royal Burgundy'
Ulmus parvifolia 'Allee'

*Additional street tree selections may be submitted on a case by case approval

6. Tree wells will be a minimum of 4'-0" by 6'-0". Where tree wells constrict walking paths to less than 5'-0" in width, walkable tree grates shall be installed.
7. Landscape materials shall not compromise safety by blocking visibility at roadway intersections, or otherwise obstructing visibility of vehicles entering or leaving driveways.
8. Foundation planting at all residential buildings shall consist of at least two plant genera.



PARKING LOT LANDSCAPE REQUIREMENTS

1. All on site parking will be hidden from view of the public street and located at the rear of all proposed buildings.
2. The edge of parking lot pavement adjacent to alley #202 shall be located at a minimum of 5'-0" from property line {not including driveway cuts}. This 5' area shall be provided a landscape screen and or a garden fence / wall.

FENCE / WALL REQUIREMENTS

1. Fences located in "Shared Gardens" shall consist of wood, brick masonry, stone, black aluminum or faux stone.
2. Fences shall be a minimum of 36" in height and no greater than 72" in height. Fences greater than 48" shall be constructed in such a way as that the remaining height shall be 75% transparent. Fences may be transparent the entire height.

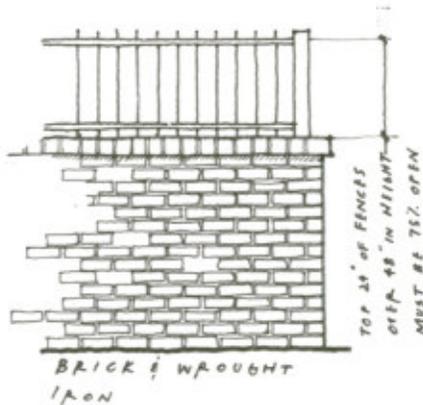


Fig. 1

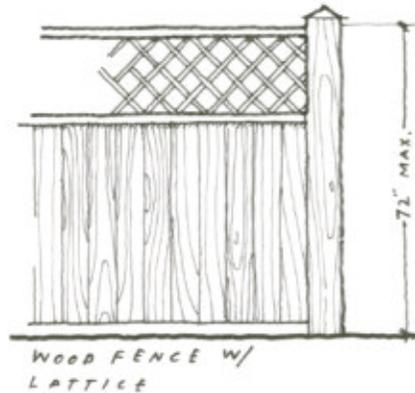


Fig. 2



Fig. 3

3. All "Shared Gardens" shall contain (1) gated access point to the existing adjacent alley. Gate material shall consist of wood or wrought iron and be selected based on the predominate material of the fence.

Example: Figure 1 depicts a fence with wrought iron fencing; its gate should be constructed of wrought iron. Figure 2 depicts a fence constructed of wood; its gate should also be constructed of wood.

4. Paving material shall consist of clay brick paver, natural gray concrete, or natural stone paving.

DUMPSTER REQUIREMENTS

1. Dumpster shall be provided with an opaque screen wall / fence surrounding its perimeter with a minimum height of 72 inch.
2. Dumpster screen / wall shall consist of wood, brick masonry, stone or faux stone.
3. Access gates shall be a minimum 72 inches in height, opaque and ornate in nature.
4. Foundation planting shall be provided with an evergreen hedge with a minimum height of 30 inches at the time of installation.

SIDEWALK REQUIREMENTS

1. All sidewalks shall be constructed in brick pavers, concrete, or similar material, and shall be a minimum of 4 feet within the development site, 6 feet on Monroe and 8 feet on 4th Avenue.



PARKING

A clearly organized parking plan is a benefit for the residents, store owners & their guests or customers. Clear organization of the parking plan needs to allow for separate designated parking for residents & guests; easy to understand entries, circulation, and exits; and connections to on-street parking to allow pedestrians to move through the site without confusion.

PARKING PRINCIPLES

1. On-Site Parking shall be behind the buildings with rear loaded garages or screened surface parking and accessed by alley #202 or a secondary private drive.
2. On-Street Parking on 4th Avenue is encouraged.
3. Guest Parking on-site shall be clearly identified.
4. Alley widths and drive widths shall be adequate for turning movements into garages and drives.
5. Pedestrian paths shall be clearly defined.
6. Handicap parking shall be provided in accordance with Metro regulations.
7. Tandem driveway spaces may count toward the required parking for residential units.

REQUIRED PARKING:

- Multi-family: 1 space per bedroom up to 2 bedrooms; .5 spaces per bedroom for each additional bedroom
- Neighborhood Commercial: 3 space per 1000 square feet

Total # of one bedroom units:	10	(10 Spaces)
Total # of two bedroom units:	23	(46 Spaces)
Total # of three bedroom units:	5	(15 Spaces)
Total Sf of Commercial space:	2713 sf	(9 Spaces)

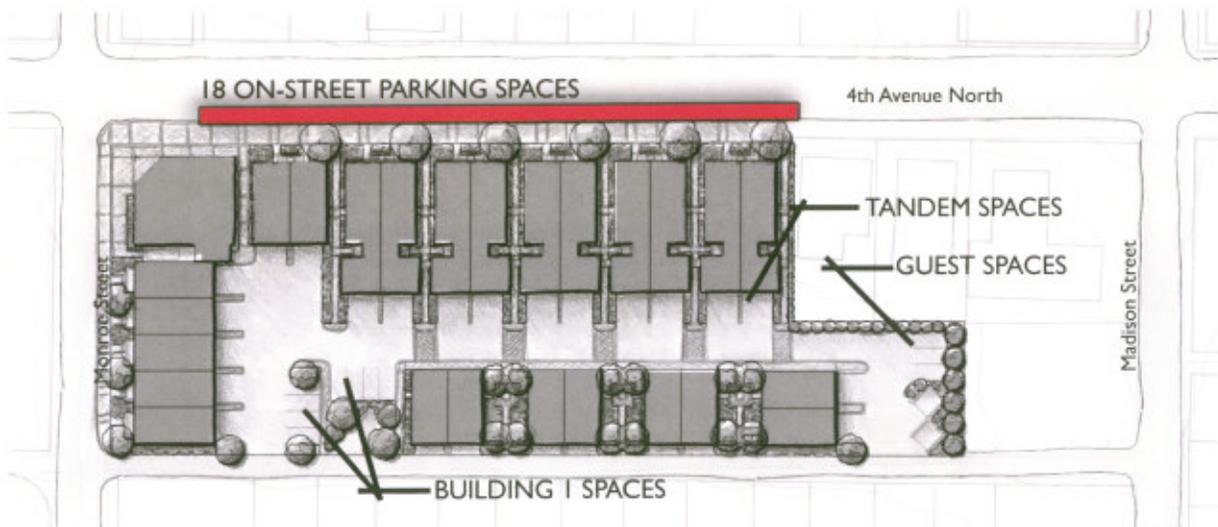
73 Spaces required

PROVIDED PARKING

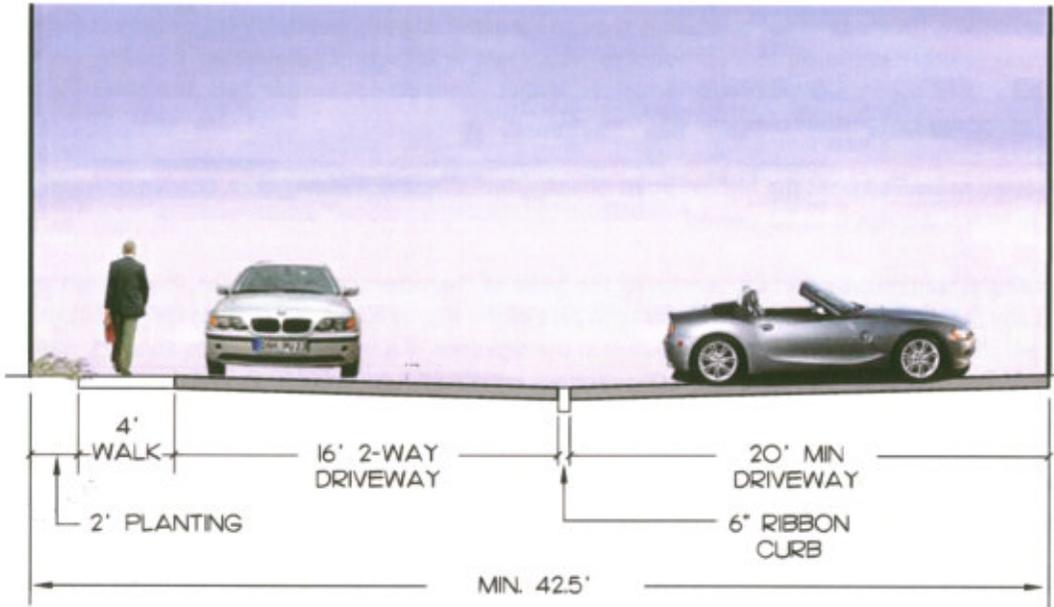
Garage	50
Tandem Driveway	34
On Street	18
Building I Residential	8
Guest Parking	3
113 Spaces provided	



View of 4th Avenue North heading north

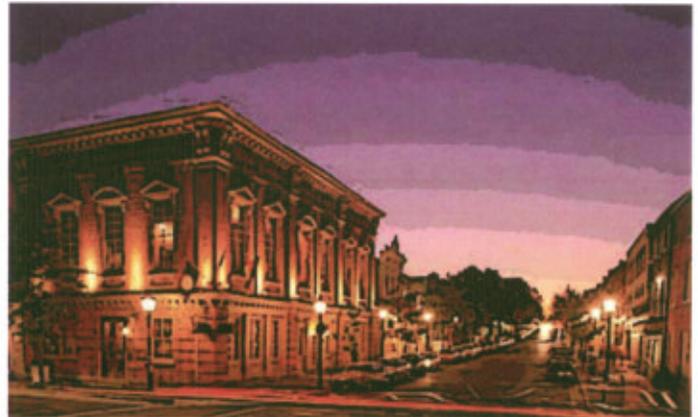


PRIVATE DRIVEWAY SECTION



OUTDOOR LIGHTING REQUIREMENTS

1. Light from any luminary shall be shaded, shielded, or directed to prevent direct light from being distributed beyond an angle of thirty-five degrees from a vertical plane onto adjacent properties and/or surrounding areas.
2. Light fixtures shall not exceed twenty feet in height for all parking areas. Shoe box style fixture shall not be used.
3. Lighting along pedestrian pathways should be at a scale appropriate for pedestrians while providing optimum visibility.
4. Fixtures used for architectural lighting shall be aimed as to prevent pedestrian glare and directed as to preclude light projection beyond immediate objects intended to be illuminated.
5. Light fixtures shall be indicated on the landscape plans.
6. White light is required. Metal halide, color corrected mercury vapor, and color corrected high-pressure sodium lamps are preferred. Low pressure sodium fixtures are prohibited.
7. Neon is prohibited.



SIGNAGE

DEFINITIONS

A. Sign: Any object, device, or structure, situated outdoors, which is used to advertise, identify, display, direct, or attract attention to any object, person, institution, organization, business, product, service, event or location by any means, including words, letters, figures, designs, symbols, fixtures, colors, illumination, or projected images. Signs do not include flags or emblems of any nation, organization of nations, state, city, or religious organization.

B. Sign Height: The vertical distance measured from the highest point of a sign, including any molding, trim, border, or frame above the roadway surface from which the sign is to be viewed.

C. Sign Area: The area within a single, continuous perimeter enclosing the limits of characters, lettering, logos, illustrations, or ornamentalions, together with any material or color forming an integral part of the display or to differentiate the sign from the background to which it is placed. Structural supports are not included in the sign area. If a sign is attached to an entry wall or fence, only that portion of that wall or fence to which the sign face or letters are placed is included in the sign area.

PROHIBITED SIGNS

A. Signs located within the Site Triangle at an intersection.

B. Signs obstructing view - Signs may not obstruct the view of pedestrians, bicyclists and/or motorists using any street or approaching any street intersection.

C. Moving Signs - Signs, other than governmental signs, which contain oscillating, fluctuating, flashing or blinking lights, rotating disks, words and other devices.

D. Flashing Signs - Signs with flashing or reflective disks, flashing lights or lights of changing degree of intensities or color or signs with electronically scrolled messages.

E. Billboards and Off-premise non-directional signage

F. Post signs for interstate visibility

PERMITTED SIGNS



Projecting Sign



Awning / Canopy Sign



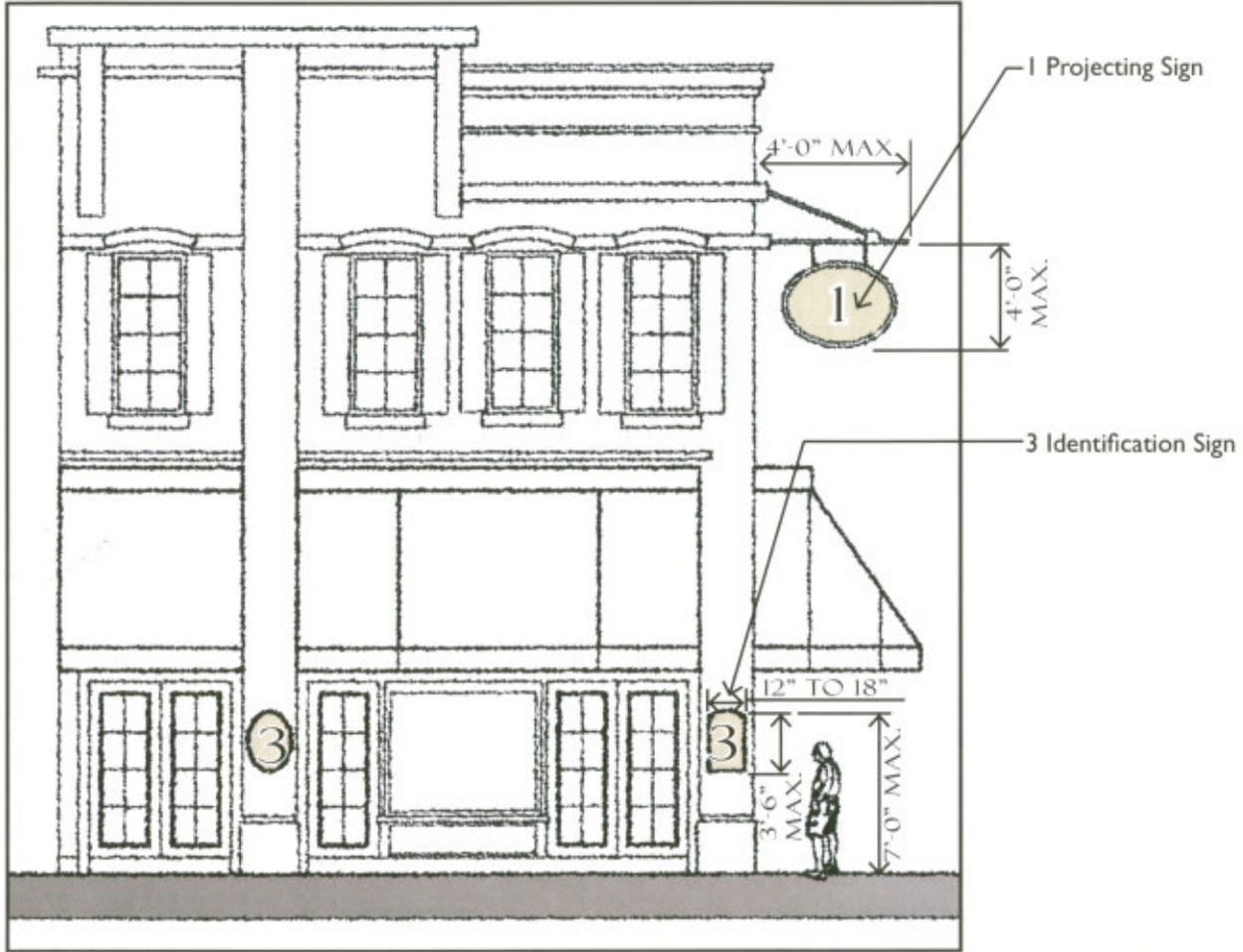
Identification Sign



Window Lettering Sign



Wall Painted Sign



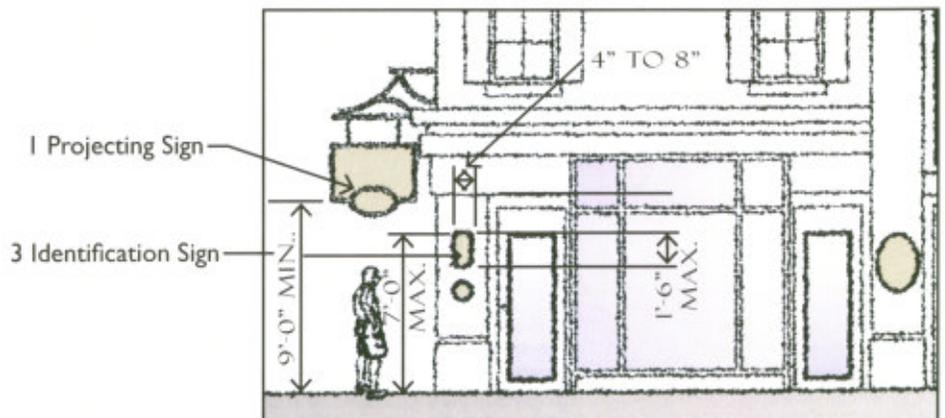
Highly visible projecting signage well above pedestrians.



Identification signage.



Business identification sign located at shop entrance.





2 Awning / Canopy Sign Face Side

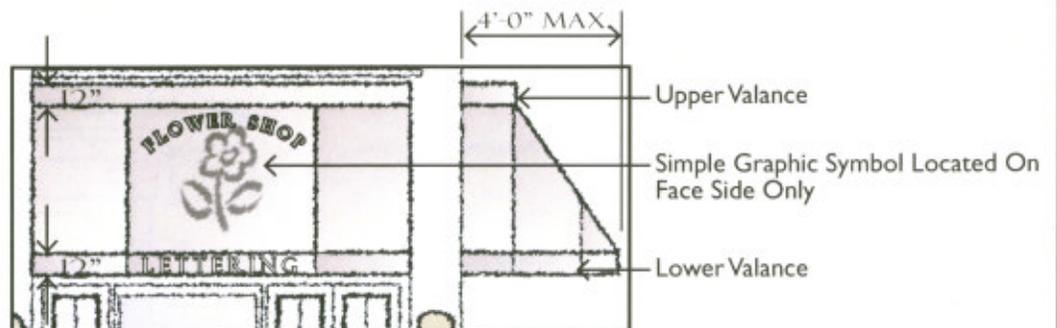
2 Awning / Canopy Sign Profile Side No Lettering Or Graphics



Awnings provide area for individual identification signage.

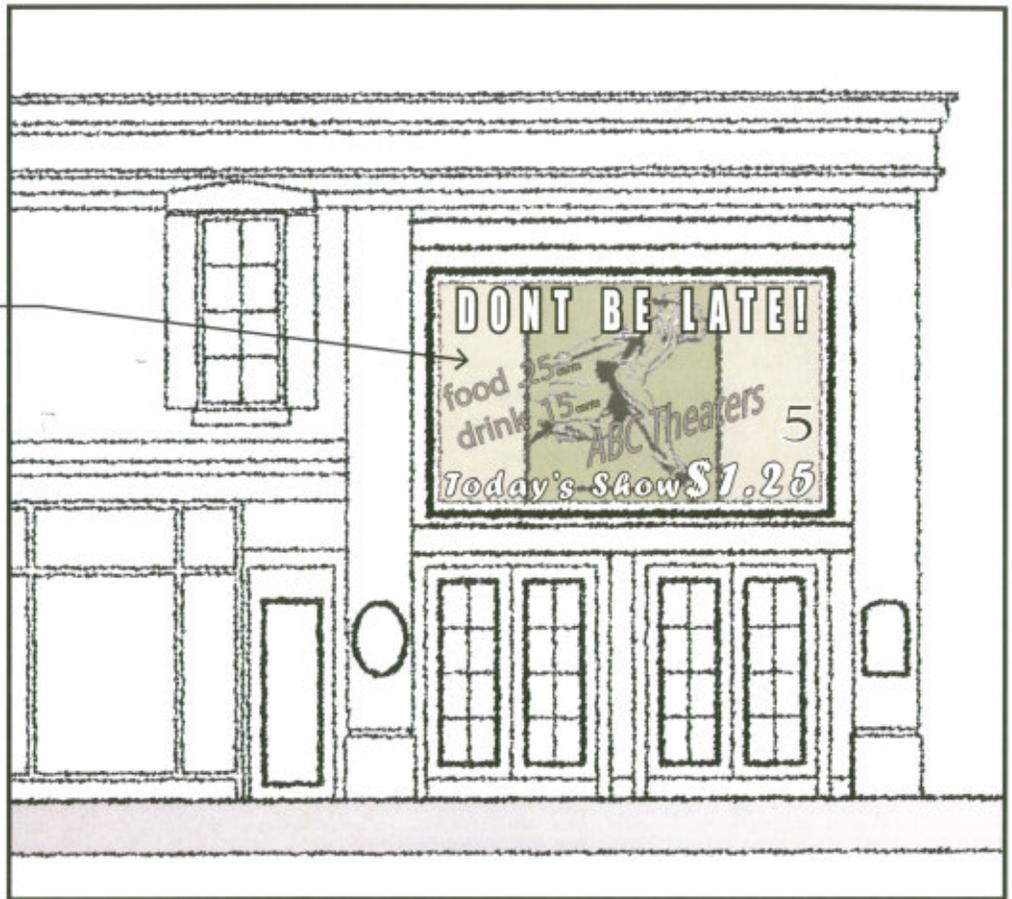


Awnings help define window & door shopping zones.



The color awning shown in this design guideline are for illustrative purposes only. Final color shall be determined by owner and architectural team.

Wall Paint Sign 5



BUSINESS WALL PAINTED IDENTIFICATION SIGNAGE

Description:

The painted wall signage shown in this design guideline or for illustrative purposes only. Final colors and sign designs shall be determined by owner and architectural team.



Painted wall business or advertisement signage opportunities with lighting.



Painted wall business signage to create individual attention, or to create a landmark destination.

Wall Paint Sign

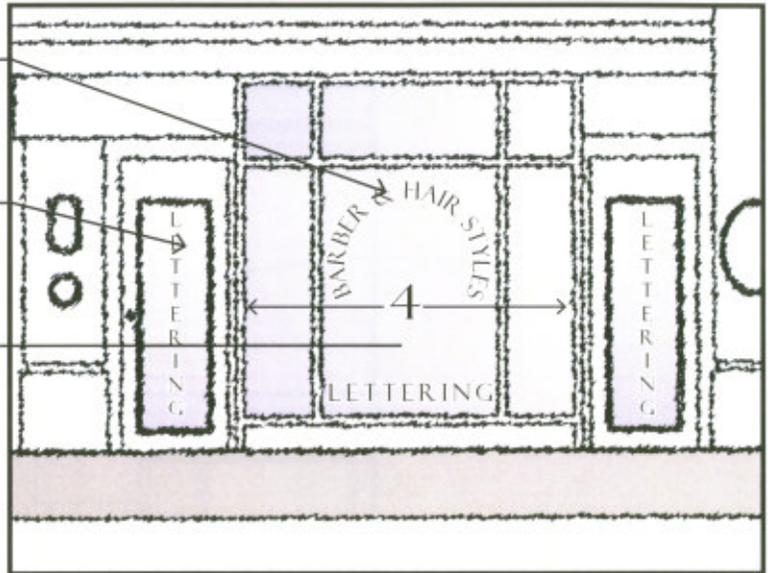
Historical Graphics & Color Choice



Top of lettering shall
Be 6'-0" in height Max

White Print Lettering
with Black outline on
Glass Doors

White Print Lettering
with Black outline on Main
store front Windows



BUSINESS WINDOW PRINT IDENTIFICATION SIGNAGE

Description:

For the purpose of directing and informing pedestrians to individual shops within the development.

Window signs shall have a total copy area not exceeding 50% of the window or glass door onto which the sign(s) are located.



White print silk screen window lettering business signage.



White print silk screen window lettering and logo design signage.

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