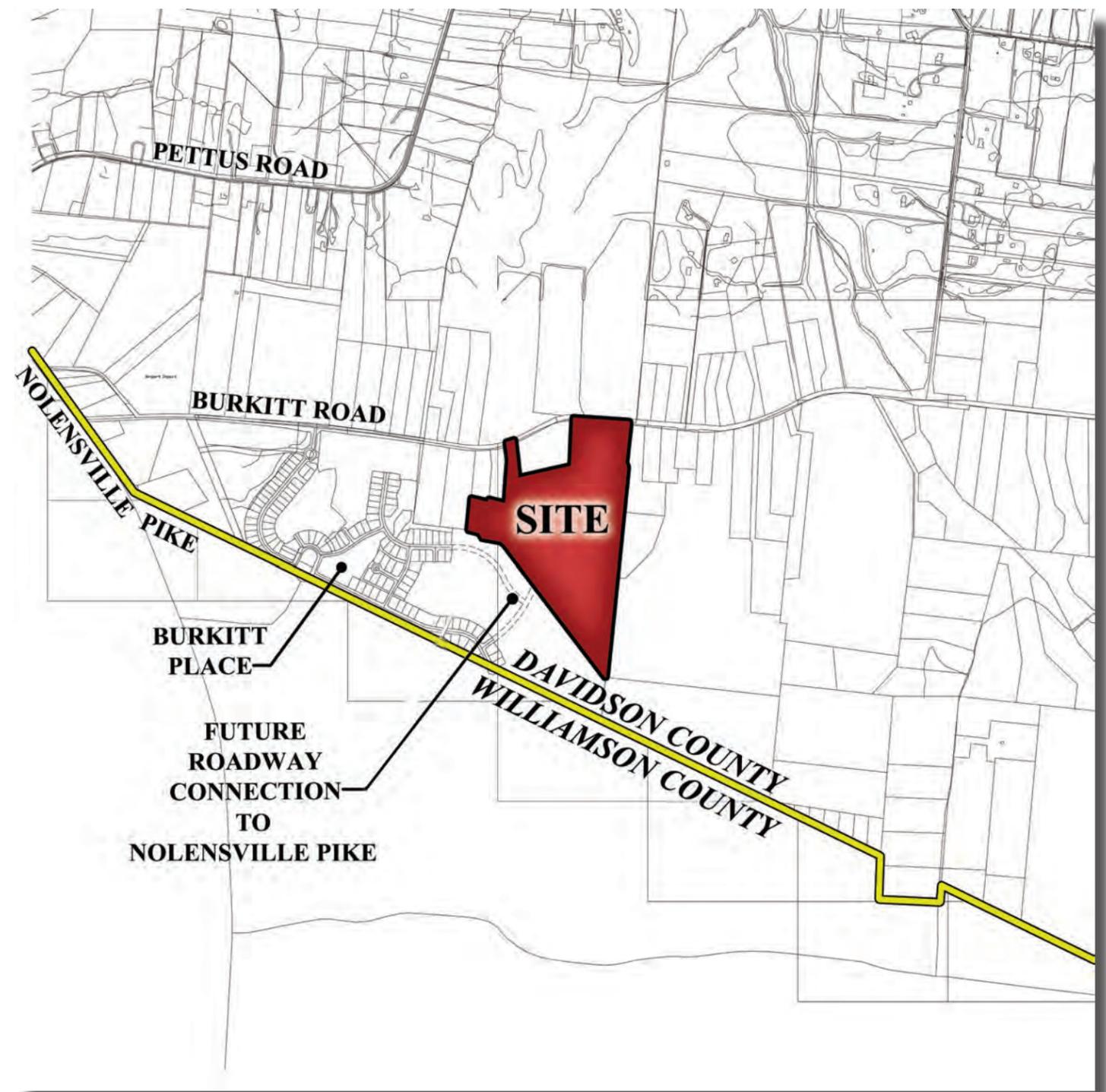




Site Context



Area Map

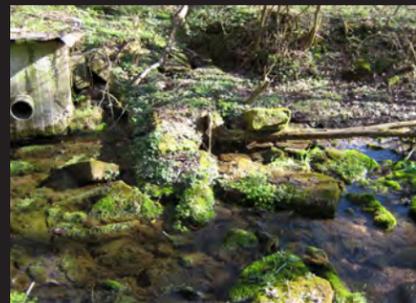
EXISTING CONDITIONS/SITE ANALYSIS



Lake



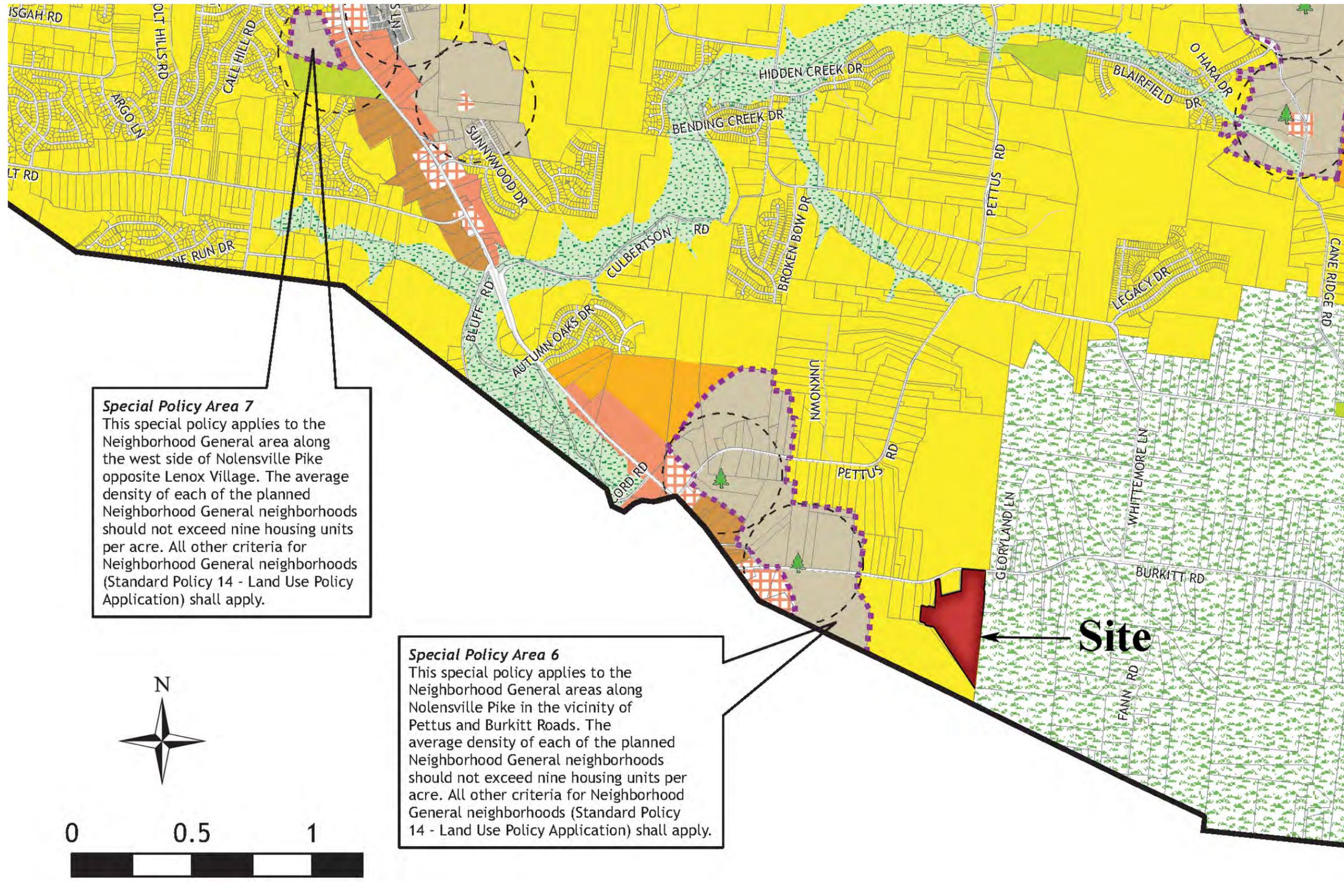
Existing Residence



Spring House



Burkitt Road Frontage



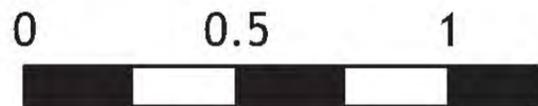
Southeast Community Structure Plan

The Structure Plan presents the land use policy for the community. It provides parcel-specific information about the type of development envisioned on the property. All boundaries of the Structure Plan areas are intended to be definitive lines that are subject to being modified only by amendment. These boundaries consist mainly of lot and property lines, centerlines of public and railroad right-of-way, steep slope areas, or other easily identifiable features.

- NCQ** *Natural Conservation*
areas of steeply sloping terrain, unstable soils, floodplains or other environmental features that are constraints to development. Intended to be rural in character, with very low intensity development.
- R** *Rural*
intended for agricultural, open space, and large-lot (2-acre minimum) residential.
- OS** *Open Space*
encompasses a variety of public, private not-for-profit, and membership-based open space and recreational activities.
- POS** *Potential Open Space*
areas recommended to be permanent open space but which have yet to be secured for such use.
- NG** *Neighborhood General*
allows for residential development in a more traditional neighborhood pattern, with a mixture of housing types at moderate densities.
- RL** *Residential Low Density*
accommodates residential development of about two units per acre.
- RLM** *Residential Low-Medium Density*
accommodates residential development within a density range of two to four dwelling units per acre.
- RM** *Residential Medium Density*
accommodates residential development within a density range of four to nine dwelling units per acre.
- RMH** *Residential Medium-High Density*
accommodates residential development within a density range of nine to twenty dwelling units per acre.
- NU** *Neighborhood Urban*
allows a mixture of residential and commercial uses at higher intensities in a traditional neighborhood pattern.
- CG** *Corridor General*
appropriate for civic, institutional, educational, and higher-intensity residential development along a major corridor.
- NC** *Neighborhood Center*
small, intense areas that act as local centers of activity. A "walk-to" area for the surrounding neighborhood it serves, it provides daily convenience needs.
- CC** *Community Center*
mix of retail and service that serves several neighborhoods. Also contains higher-intensity residential.
- RAC** *Regional Activity Center*
intense commercial, residential, and employment area intended to serve this portion of the region.
- CMC** *Commercial Mixed Concentration*
accommodates wide range of commercial, office, and employment activities to serve the surrounding community.
- RCS** *Retail Concentration Super-community*
major retail destination for the surrounding community.
- OC** *Office Concentration*
intended for larger concentrations of primarily office uses.
- IN** *Industrial*
allows light industry/manufacturing, as well as distribution uses.
- I** *Impact*
reserved for major land uses that have significant impact on surrounding community, such as airport, prison, or quarry.
- Potential Park*
- Potential School*

Special Policy Area 7
This special policy applies to the Neighborhood General area along the west side of Nolenville Pike opposite Lenox Village. The average density of each of the planned Neighborhood General neighborhoods should not exceed nine housing units per acre. All other criteria for Neighborhood General neighborhoods (Standard Policy 14 - Land Use Policy Application) shall apply.

Special Policy Area 6
This special policy applies to the Neighborhood General areas along Nolenville Pike in the vicinity of Pettus and Burkitt Roads. The average density of each of the planned Neighborhood General neighborhoods should not exceed nine housing units per acre. All other criteria for Neighborhood General neighborhoods (Standard Policy 14 - Land Use Policy Application) shall apply.



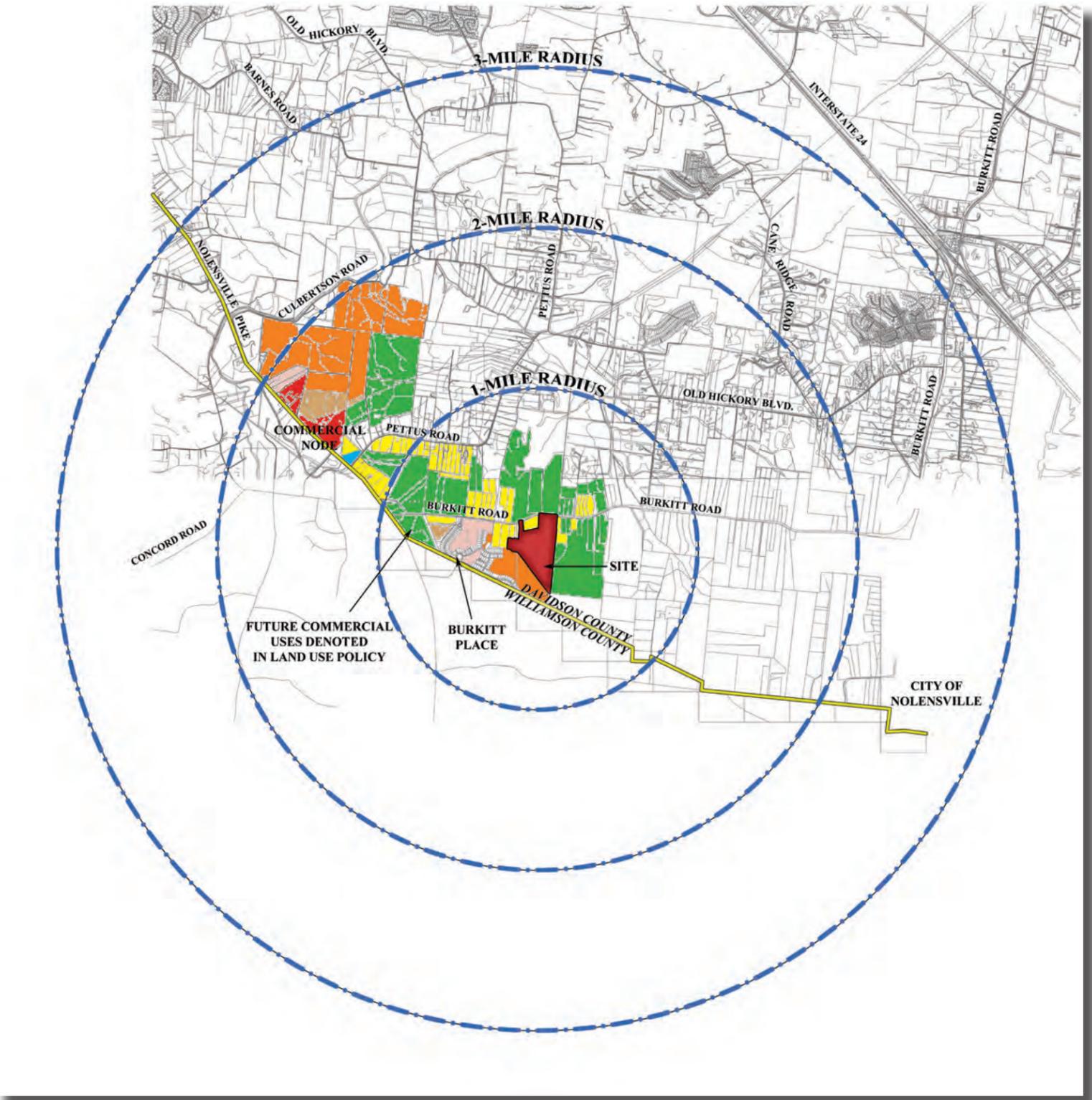
Site

Land Use

The location of land uses is critically important to ensure that a vibrant mix of uses, that support each other, is achieved. The plan identifies the location of current uses within the proximity of the site that would serve to support the various demographic ranges that are being planned for with the multiple housing types. The current real estate market has identified a specific need for retirement and/or empty-nester smaller home profiles within short travel distances (accessible by walking and/or driving) to neighborhood retail services and other support functions such as regional shopping nodes, healthcare services, and employment bases. The site is conveniently situated with easy access and minimal travel distance to support services.

Land Use Legend

- Single Family Lots
(2-4 DU/Ac.; 10,000 - 20,000 S.F. lots to 0.5 ac.)
- Single Family Lots
(0.25 - 2 DU/Ac.; 20,000 S.F. lots to 4 ac.)
- Cottage Homes/
Attached Residential Dwellings
- Commercial/Retail
- Agricultural/Rural Residences
- Townhouses
- Institutional Use



Varied Residential Development Character

The SP site Plan is designed to include a mix of residential styles and unit sizes throughout the site. A range of single family lots, cottage lots, and townhomes are integrated into the proposed planning mix. Within the central core of the site, buildings have been designed to form a consistent edge along the street, creating defined streets and pedestrian areas. The buildings are designed to encourage pedestrian activity by addressing a human scale through the use of mid-block pedestrian connectors, vest-pocket parks, and a walking trail around the lake feature. In addition, the main pedestrian linkages will include wider walkways and seating niches with benches, shade trees, and plants with seasonal color to further enhance the pedestrian experience. All buildings within the SP neighborhood central core area will have a consistent architectural style that is reminiscent of the regional vernacular not only in form, but in use of materials as well. While primary building entrances will be located on the street, vehicular access to garages and service areas will be via private alleyways located to the rear of the townhomes and the majority of the cottage home lots. In some instances, the cottage homes will have driveways accessing to the street; however, this will only occur on secondary local street classifications and not along the central Westcott Lane.

The street circulation system is designed to allow connectivity to the surrounding parcels for both vehicular and pedestrian traffic. The streets are designed to funnel movement from the periphery of the site to the core while providing continuous sidewalks to encourage pedestrian movement. The streets will include on street parking to reduce traffic speed and street trees to shield pedestrians from vehicular traffic. The intent is to provide for the needs of automobile traffic, but to encourage pedestrians to explore and experience the site's natural lake amenity and to possibly provide walking to neighborhood retail support services along Nolensville Road.

The proposed build out for the SP Neighborhood Center (coupled with the surrounding single family lots granted Preliminary Plat approval) for the 46 acre site is as follows:

Single Family Homes -	64 Lots
Cottage Homes -	80 Homes (40 Lots)
Townhomes -	40 Units
Total -	184 Total



Master Plan

The Jennings Springs Transect

The Master Plan for Jennings Springs implements the Transect categorization system. All of the elements work together to create a special sense of place and a “central core” to the neighborhood at the “Community Square”. There are three transect zones, which transition from rural uses off site, to more intensive uses at the center of the development.

NEIGHBORHOOD STRUCTURE

-  CORE (NOT APPLICABLE)
-  CENTER (NOT APPLICABLE)
-  GENERAL
-  EDGE
-  CIVIL AND NATURAL OPEN SPACE



Transect Zones

Architectural Styles

The most memorable neighborhoods are composed of buildings either all of a similar style (but with variation) or of differing, but highly recognizable styles. The master plan calls for a mixture of styles that will ensure that there is a consistent architectural language while still allowing for variety based upon an overarching strategy. The styles are located to create an overall unique character to the three “neighborhood “structure areas” within the plan. General examples of the styles are given.

The architectural guidelines set forth in this document shall be enforced by an Architectural Review Committee (ARC), established as a committee of the Home Owners Association (HOA). The ARC shall review site and architectural building plans on a lot by lot basis to affirm their compliance with the design guidelines. The ARC shall be created in accordance with the stipulations defined by the HOA bylaws. The Planning Commission shall review and approve the architectural standards and landscape and amenity standards on the front end of the project and revisions shall be brought back before the Planning Commission for approval.

Architectural Details

Buildings shall be articulated to break down the scale and provide diversity in height and mass along the street edge. Building masses and edges along the street shall be articulated with windows and entryways that provide interest. Architectural elements help to define and beautify buildings and thereby enliven the streetscape. The following requirements apply to all building facades.

Façade Sections

- To avoid a monolithic appearance, facades for cottage homes and townhomes shall have varying designs, building heights, and roof lines
- Each façade section shall vary in different type and different color for interest and diversity. However, the façades shall have a consistent architectural theme connecting the building types.

Roofing Materials (Cottage Residences and Townhouses)

- Roofing materials shall be of architectural style shingles, metal or other material granted design review approval by the Architectural Review Committee (ARC)

Site Amenities

- Street furniture inclusive of benches, planters, trash receptacles, etc. shall be incorporated into the public walkways and plazas as noted on the SP plans.

Standards to be Enforced by the Architectural Review Committee (ARC)

Frontage

Architectural Features:
Architectural features shall be incorporated to provide interest to the streetscape elevation and rhythm.

Roofs

Roofs:
All roofs shall have architectural shingles. Covered stoops and ground level porches shall be covered by a high-quality roofing material. Metal roofing may be used for accented areas only.

Roofs shall be neutral colors.

Utilities & Mechanical Equipment

Site Utilities:
Site utilities structures such as transformers shall be located to the interior of blocks (to the side of buildings, wherever possible).

Lighting:
All street lighting and porch lights shall be incandescent, halogen, natural gas elements, or metal halide.

Windows & Doors

General:
The type & proportion of windows and doors (and openings) shall be consistent with the styles contained in this document.

Shutters:
If exterior shutters are used, they shall be sized to fit their window and mounted with appropriate hardware.

Doors:
Doors, except garage doors, shall be, or appear to be, constructed of planks or raised panels.

Walls

Materials:
The predominant material used in all exterior walls shall be masonry, (i.e. brick or stone), with accents and specialty areas being clad with wood or cementitious (hardiboard) siding. Specific percentages of brick or stone as the exterior material are given in the section pertaining to each housing type. Window sashes, soffets and fascia of the house may be clad using vinyl products. Designs and materials must be consistent on all primary facades, or elevations visible from the street. Ancillary Buildings shall be constructed of the same materials as approved for the principle structure. Foundation walls of stoops and porches must be consistent with the foundation treatment of the building. Wood elements such as trim and visible window framing must be painted or sealed with an opaque or semisolid stain.

Colors:
Colors should be neutral. Similar colors and tones are suggested on adjacent buildings. White, pale hues, or warm earth tones are suggested. equipment should not vent to the street side of the building.

Archways & Columns

Colonnades, Arcades & Loggias:
The vertical dimension of the openings between columns, piers, or posts on colonnades or arcades shall be at least 1.0 times the horizontal dimension of the openings.

Columns:
Where classical arcades or colonnades are used, the Orders shall be Tuscan, Doric, or Ionic with correct proportions and profiles according to *The American Vignola*.

Standards to be Enforced by Metro Government

Frontage

Build to Line:
Buildings are to be used to create a visual edge along public streets. Building faces must be built to the "Build to Line" with at least one of the units of a multi-family dwelling addressing the designated line. Other attached units shall be allowed to be set back accordingly from the Build to Line to provide visual interest to the building facade. Porches shall qualify as meeting the Build to Line requirement.

Encroachments:
Major and minor focal elements, such as balconies, cupolas, bays, stoops, fireplaces, eaves, and other similar uses and structures can encroach beyond the Build to Line up to 3' in accordance with Metro Code guidelines. Porches and focal elements shall be allowed to encroach 3' into the "build to zone" to a minimum distance of 10' from the street right-of-way.

Utilities & Mechanical Equipment

Utility Boxes:
Utility boxes shall be screened from view with evergreen landscape materials or low side-yard fence (4' max. height) on the street side or anywhere they abut a public sidewalk.

COTTAGE HOMES
(Single Family Attached Dwellings)



- LOT DEPTH: 100' minimum; where applicable, plus an additional 10' to centerline of service lane.
- BUILD TO LINE: 13' Front Yard Setback and Build to Line.
- SIDE STREET SETBACK: (Corner Lots): 13' Side Street Setback.
- SIDE YARD SETBACK: 5' or zero setback where lots abut dedicated open space.
- REAR YARD SETBACK: For properties with rear access lane - 15' from the center of the alley.
 - Property line down middle of service lane w/ access easement.
 - For properties abutting dedicated open space - five feet.
- GARAGES: Face of garage door shall either be set at 5' from edge of the service lane or a distance of 20 feet or greater. For lots with driveways oriented to the street, garages shall be recessed behind the front facade of the associated unit a minimum distance of 10'.
- PARKING: Plan provides for 2 off-street spaces per dwelling.
- BUILDING HEIGHT: Maximum building height of three stories or 45 feet to the ridge line of the roof.

A single family or attached two-family dwelling, smaller than a house, on a separate lot or sharing a lot with other cottages as a court. Served by alleys in the rear, or driveways oriented to the street with a recessed garage, with on street parking to the front of the dwelling. The design is a simple unpretentious interior with functional open layout, often with exterior decorative detailing of key prominent elements (such as a porch, columns, etc.) with a steep pitch roof. The architecture shall be tied directly to local landscape or region. Corner lots shall have an entry and main façade relating to each dual street frontage and shall have a front door relating to each street inclusive of a covered porch or covered entryway element.

Bulk Standards shall include:

- Maximum building and hardscape coverage of 80% of the lot. The remaining 20% shall be vegetated cover.
- Buildings shall line the main street in a continuous edge. The front building setback (build to line) shall be established at 13'. Porches shall be allowed to encroach into the front setback a maximum of 3 feet. All townhouses or cottage residences shall have 1 unit set at the build-to-line along the street edge.
- Finished floor levels shall be set between 18" and 28" above the elevation of the adjacent grade, or a minimum of 18" above the level of the street grade.
- Corner lots shall have a door with a covered entryway facing each street frontage. A covered entryway shall be defined as a stoop or a porch.
- All cottages shall have a minimum of 1,850 square feet of space, inclusive of a two-car garage, 400 s.f. minimum
- Exterior building veneers shall be a minimum of 50% brick or stone with an alternating masonry and siding pattern along street frontages. Brick shall be finished to grade.



SINGLE FAMILY HOMES



A single family dwelling, either served by an alley in the rear (with on street parking to the front façade of the dwelling) or having a front driveway with a garage facing toward a side property line or being recessed a minimum of 10' beyond the front building facade. Single family homes shall include key prominent elements (such as a porch, columns, etc.).

Bulk Standards shall include:

- Maximum building and hardscape coverage of 70% of the lot. The remaining 30% of the lot shall be vegetated cover.
- All single family residences shall have a minimum of 2100 square feet of space and shall include a two-car garage. Garage shall be a minimum of 400 square feet.

Regulating Plan

- LOT DEPTH: 105' minimum; where applicable, plus 10' to centerline of service lane
- FRONT YARD SETBACK: Minimum 13' Front Yard
- SIDE STREET SETBACK: (Corner Lots): 13' Side Street Setback.
- SIDE YARD SETBACK: 5' or zero setback where lots abut dedicated open space.
- REAR YARD SETBACK: For properties with rear access lane - 15' from the center of the alley.
 - Property line down middle of service lane w/ access easement.
 - For properties abutting dedicated open space - five feet.
- GARAGES: Face of garage door shall either be set at 5' from edge of the service lane or a distance of 20 feet or greater. Garages shall either be side facing or be recessed behind the front facade of the house a minimum distance of 10'. 26 of 64 single family lots are provided with rear alley access to garages.
- PARKING: Plan provides for 2 off-street spaces per dwelling.
- BUILDING HEIGHT: Maximum building height of three stories or 45 feet to the ridge line of the roof.
- Exterior building veneers shall be a minimum 80% masonry with siding products limited to gables, bays, and dormers. Brick shall be finished to grade.



Regulating Plan

TOWNHOUSES



The town home is a rear yard residential building type with common walls on the side lot lines. Townhomes are the highest density type. The building façade steadily defines the edge of the public space while the rear elevation may be articulated for functional purposes. Usually served by alleys, with on street parking to the front facade of the dwelling. All garages shall be alley loaded

Bulk Standards shall include:

- Buildings shall line the main street in a continuous edge. The front building setback (build to line) shall be established at 13'. Porches shall be allowed to encroach into the front setback a maximum of 3 feet. All townhouses or cottage residences shall have 1 unit set at the build-to-line along the street edge.
- Finished floor levels shall be set between 18" and 28" above the elevation of the adjacent grade or a minimum of 18" above the level of the street grade.
- A door with a covered entryway must face the street frontage or central pedestrian walkway. A covered entry shall be defined as a stoop or porch.
- All townhouses shall have a minimum of 1500 square feet of space, including a minimum of a one-car garage (either attached or detached).

- LOT DEPTH: 90' minimum; where applicable, plus 10' to centerline of service lane.
- BUILD TO LINE: 13' Front Yard Setback and Build to Line. Build to Line shall be applicable to either public street frontage or the central pedestrian connector sidewalk.
- SIDE STREET SETBACK: (Corner Lots): 13' Side Street Setback.
- SIDE YARD SETBACK: 5' or zero setback where lots abut dedicated open space.
- REAR YARD SETBACK: REAR YARD SETBACK: For properties with rear access lane - 15' from the center of the alley.
 - Property line down middle of service lane w/ access easement.
 - For properties abutting dedicated open space - five feet.
- GARAGES: Face of garage door shall either be set at 5' from edge of the service lane or a distance of 20 feet or greater.
- PARKING: Plan provides for 2 off-street spaces per dwelling.
- BUILDING HEIGHT: Maximum building height of three stories or 45 feet to the ridge line of the roof.



Regulated by ARC and Maintained by HOA

Street Trees

General:

Every street in the central neighborhood core area (SP Zoned area) must have street trees planted along their length.

Shade Trees:

All shade tree species shall be "Large Shade Tree". Minimum size at planting shall be at least 3 1/2" caliper and shall meet American Nursery Standards (current edition). Shade trees shall be spaced at approximately 40' centers (but not more than 50').

Suggested List of Street Trees:

- Oak Species
 - Overcup Oak
 - Red Oak
 - Willow Oak
- Elm Species
 - Chinese Elm
 - Princeton Elm
- London Planetree
- Ash Species

Landscape plantings in buffer yards shall be planted with a minimum of 50% evergreen plant materials.

Walls, Hedges, Fences

General:

Garden walls, retaining walls, hedges, and fences can define the edge between the public street and the private yards. They also define the street face where buildings are absent. Where fences are desired, they shall meet the following criteria:

Materials:

- Garden walls, privacy walls, and fences shall generally be constructed of the same material as the first floor of the primary building and they shall be coordinated with the architectural detailing of the primary facade.
- Fences shall be made of ornamental metal or wood pickets and may have stucco or masonry piers. Metal Fences shall be black. Front yard fencing shall have a consistent height between 2'-8" and 3'-6" from finished grade. The top of fence shall remain level in stepped conditions.
- Retaining walls shall either have a masonry veneer or be a segmental wall with modular unit sizes.
- Hedges may be used in place of any fence, subject to the same height parameters and high maintenance standards.
- No plastic or vinyl fencing is permitted. Wood fencing with board on board spacing (no shadowbox fencing) shall be allowed in side and rear yard conditions.

Paving

Materials:

Walks and crosswalks at the community square feature shall be some form of special paving. Special paving is here defined as scored concrete (in a decorative pattern), stamped asphalt, brick pavers, or concrete unit pavers.

Seating

General:

Providing sufficient seating is critical in ensuring the success of public spaces. The vest-pocket parks at the community square and the walking trails shall incorporate seating at selected intervals, as noted on the drawings.

Door-Yards

General:

Small door-yards are an inseparable part of the streetscape. They are the public face of each residential building and an important part of the community streetscape. Because of this, there are standards for their configuration and maintenance.

Plant Material:

Climbing vines and/or hedges are permitted along foundation walls (where visible from the street), of all porches, stoops, and any exposed foundation walls. The use of artificial plants (silk or plastic) is prohibited.

Edges:

Hedges or decorative fences, up to 36" high, or retaining walls, up to 18" high, are encouraged at the back of all Sidewalks.

Residential Entries:

Individual and distinct planting schemes for each Town House & Cottage House unit are encouraged in order to provide a sense of authenticity and individuality rather than an institutional appearance.

Open Space

General:

Open space shall be maintained by the Home Owners Association.

General:

The premise of the plan is to create a strong pedestrian connection between the community square (which serves as the focal point of the neighborhood) and the natural lake amenity offering both passive and active walking recreational opportunities.

Lake and Pedestrian Trails:

The lake and open space area currently has an informal, picturesque character. The plan serves to maintain this character and to minimize disturbance through the creation of a walking trail. Naturalized plantings will be introduced to supplement color appeal.

Vest-Pocket Park

The edges of the two park spaces (adjacent to the Community Square) shall be fronted with building façades on two perimeters. The parks will mainly share a lawn area; however, they should be provided with a minimal interconnected walk system that not only connects them each other, but connects them to the community square intersection feature. Benches for seating shall be provided along with shade trees and some level of accent plantings for interest.

Tree Preservation

Existing trees to be preserved shall be protected during construction.



Plan View of Community Square Intersection

Vest-Pocket Parks located along pedestrian connector

Stamped Asphalt in Central Intersection w/ Raised Platform for Traffic Calming

Townhomes Lining Village Square



Main Boulevard Lined w/ Street Tree Plantings

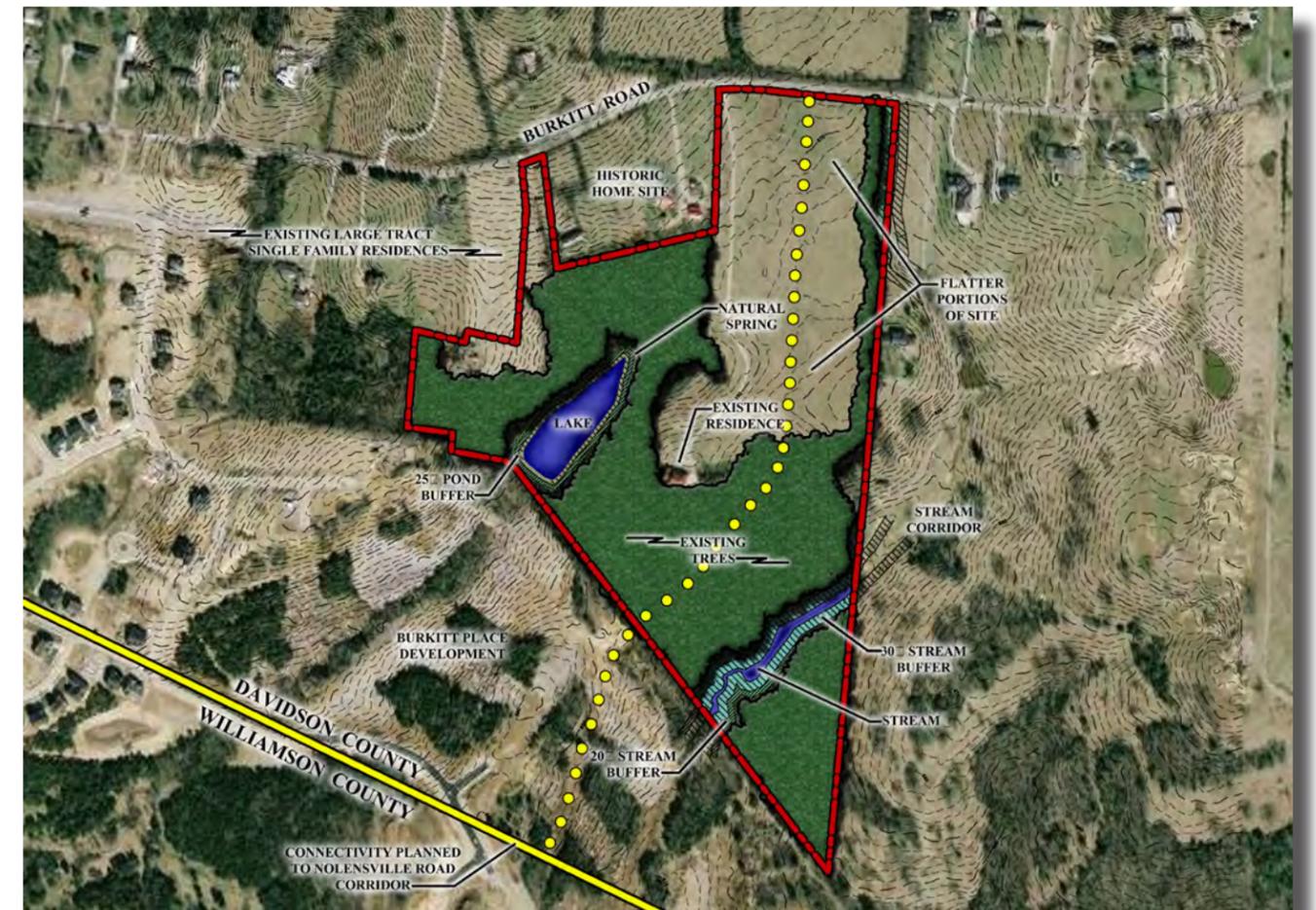
30' Distance to Start of On-Street Parking

Connector Walkway to Lake Amenity

Overview/Location

Jennings Springs is a 46.63 acre residential community located in the southern reaches of Davidson County, Tennessee. The premise for the development is to offer multiple housing styles to meet the niche needs of various client profiles within easily accessible walking and/or driving distances to convenience retail and shopping (at the recently constructed commercial node along Nolensville Road), healthcare centers, and employment centers.

The plan for Jennings Springs is to create a special sense of place centered around a community square with vest-pocket parks, walk-up townhomes framing the square, and cottage homes transitioning to the single family lots. The central square will connect via a pedestrian allee to the most prominent feature currently existing on the property - a 2-acre natural spring fed lake. Opportunities exist to incorporate walking trails around the lake edge as a recreational amenity for active walkers or for a leisurely evening stroll. Overlook and sitting areas with benches will be included along the pedestrian linkages.





*Community square intersection
with raised platform for
traffic calming*

Purpose of Pattern Book

The purpose of this Pattern Book is to provide a framework for the development pattern and architectural styles to accompany the proposed SP Zoning application. The Pattern Book will allow a user to:

- Identify the site location
- Identify the character of the neighborhood
- Understand how the development complements the physical form of the site and the land plan
- Identify open spaces and pedestrian linkages and their integrated role within the development
- Identify appropriate building types and architectural styles

Intent of Pattern Book

The Pattern Book is intended to outline the basic design guidelines of the Master Plan. The principal intent of these design guidelines is to facilitate the implementation of the Master Plan in the manner consistent with the overall vision and applied SP Zoning. It establishes the basic framework by regulating building types, setbacks and “build-to” lines, parking locations, and other elements necessary for the successful implementation of the master plan. The Pattern Book regulates the architectural massing, heights, styles and building materials for the residences. Also described are guidelines for open space and streetscape elements and the planned location for pedestrian sidewalks and trails to successfully incorporate them into the fabric of the development.

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Purpose and Intent	ii.

A SITE CONTEXT & LAND USE

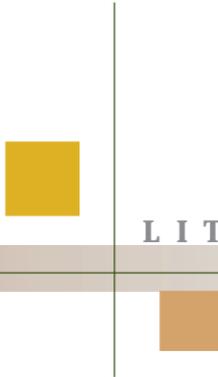
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LITTLEJOHN ENGINEERING ASSOCIATES



JENNINGS SPRINGS

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PATTERN BOOK



JENNINGS SPRINGS

PATTERN BOOK

2008SP-024G-12



