







# ARCHITECTURAL REQUIREMENTS

## RETAIL/OFFICE/WAREHOUSE (DISTRICT A)

### MATERIALS

**BUILDING WALLS:** Architectural pre-cast concrete, architecturally treated concrete masonry units, brick, brick cladding, limestone, natural and cast stone, tilt-up concrete panels, stucco, architectural metals (ie Tin, Copper or colored Aluminum) and glazing.

**TRIM:** May be fiberglass, plastic clad wood, vinyl, cast stone, and limestone.

**RETAINING WALLS:** Shall be of materials and color complementary to the building's materials.

**ROOFS & DORMERS:** All the roofs and dormer roofs of a building shall be constructed of the same material.

**CORNICES & TRIM:** Shall be made with a material and color complementary to building.

### CONFIGURATIONS

Traditional, time- and weather-tested materials.

Slopes of roofs shall be of equal pitch when a gable or hip roof is employed.

### TECHNIQUES

Buildings shall use a cohesive palette of colors which complement nearby buildings. Without limiting the use of color, large areas of wall shall be subdued in color and not reflective. Intense colors should be used as accent only.

Retaining walls shall use a cohesive palette of colors which complement nearby buildings. Without limiting the use of color, large areas of wall shall be subdued in color and not reflective.

Metal roofs must have a subdued color. Painted shingles are prohibited.

## INDUSTRIAL/OFFICE/WAREHOUSE (DISTRICT B)

### MATERIALS

Building exterior materials shall be factory finished, stained, integrally colored, or otherwise suitably treated. Materials may include:

1. split face or fluted concrete masonry units (CMU)
2. factory glazed concrete masonry units (CMU)
3. face brick
4. stone veneer
5. insulated glazing and framing systems
6. architectural pre-cast concrete
7. painted or stained site-cast concrete
8. architectural concrete
9. factory finished, standing-seam metal roofing
10. architectural metal

(Highly reflective materials such as bright aluminum or metal are not permitted as the primary building material. Do not use glossy metal)

### CONFIGURATIONS

Traditional, time- and weather-tested materials.

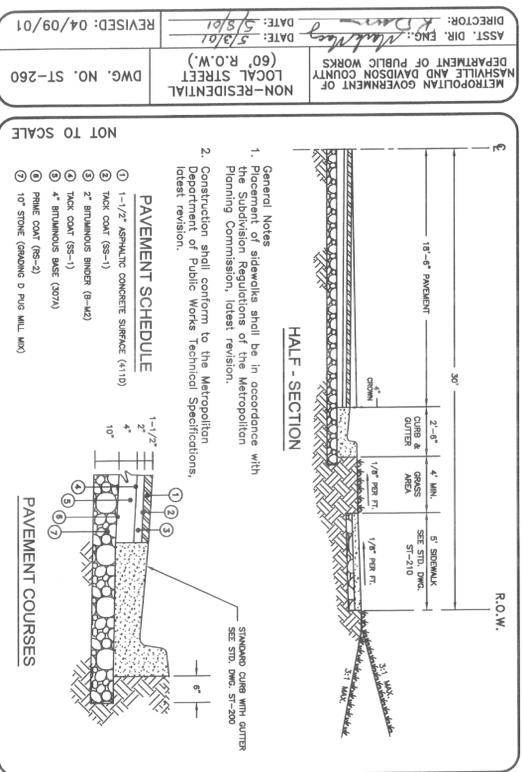
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### TECHNIQUES

Buildings shall use a cohesive palette of colors which complement nearby buildings. Without limiting the use of color, large areas of wall shall be subdued in color and not reflective. Intense colors should be used as accent only.

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Metal roofs must have a subdued color. Painted shingles are prohibited.



# LAND USE STANDARDS

The primary goal of The Park at Ewing Creek Ewing is the creation of a Retail/Office/Warehouse and Industrial Campus to transition from the intense use of the adjacent quarry. A 300 foot wide protective buffer shall be maintained between the Campus Development and the existing adjacent neighborhood. In addition the entire floodway of Ewing Creek will also be placed into Open Space and made available for use as a greenway, park, or trail system.

## RETAIL/OFFICE/WAREHOUSE (DISTRICT A)

### GENERAL USES:

- Uses allowed under the CS zoning classification excluding:
  - Any Residential Use
  - Non Residential Drug Treatment
  - Automotive Sales
  - Bar or Nightclub
  - Hotel/Motel
  - Construction/Demolition Landfill

### LOT STANDARDS:

- All District A Buildings shall front on White's Creek & shall have a minimum setback of 40 feet from R.O.W.
- Building Side Setback: 10 feet from property line
- Building Rear Setback: 20 feet from property line
- Height: 2 stories
- Max Floor Area Ratio [FAR]: 0.8
- Max Impervious Surface Ratio [ISRI]: 0.9

Any standards not specified in this plan shall be governed by the CS zoning district in place at the time of Council approval.

## INDUSTRIAL/OFFICE/WAREHOUSE (DISTRICT B)

### GENERAL USES:

- Uses Allowed under the IWD zoning classification excluding:
  - Any Residential Use
  - Construction/Demolition Landfill
  - Automotive Sales
  - Automotive Uses
  - Non Residential Drug Treatment
  - Sanitary Landfill
  - Adult Entertainment
  - Mineral Extraction

### LOT STANDARDS:

- Building Front Setback: 20 feet from R.O.W. of Ewing Park Drive
- Building Side Setback: 10 feet from property line
- Building Rear Setback: 20 feet from property line
- Internal Street Setback: 20 feet minimum
- Maximum Height: 2 stories
- Max Floor Area Ratio [FAR]: 0.8
- Max Impervious Surface Ratio [ISRI]: 0.9

Any standards not specified in this plan shall be governed by the IWD zoning district in place at the time of Council approval.

## GREENWAYS, PARKS, AND TRAILS (DISTRICT C)

The network of open space is an important element of The Park at Ewing Creek Park as it provides a permanent buffer between the Commercial and Industrial Uses and the adjacent community. In all, approximately 40 acres of the total 92 acres within this development will be placed in a permanent conservation easement.

### USES WITHIN 100-YEAR FLOODPLAIN (as mapped by FEMA):

The area in the floodplain of Ewing Creek, from the floodway buffer to the creek itself will be preserved as a natural feature or enhanced with wetlands in an effort to enhance water quality and provide for safe conveyance of stormwater. This area will be available for a Metro greenway with trails.

### USES OUTSIDE 100-YEAR FLOODPLAIN (as mapped by FEMA):

A permanent buffer of 300 feet in width will be maintained between The Park at Ewing Creek and the adjacent neighborhood. No uses allowed in this area other than maintenance of wooded area.

Uses in this district are limited to open space, parks, wetlands, and greenways.

Any standards not specified in this plan shall be governed by the AR2a zoning district in place at the time of Council approval.

## LANDSCAPE AND BUFFER STANDARDS

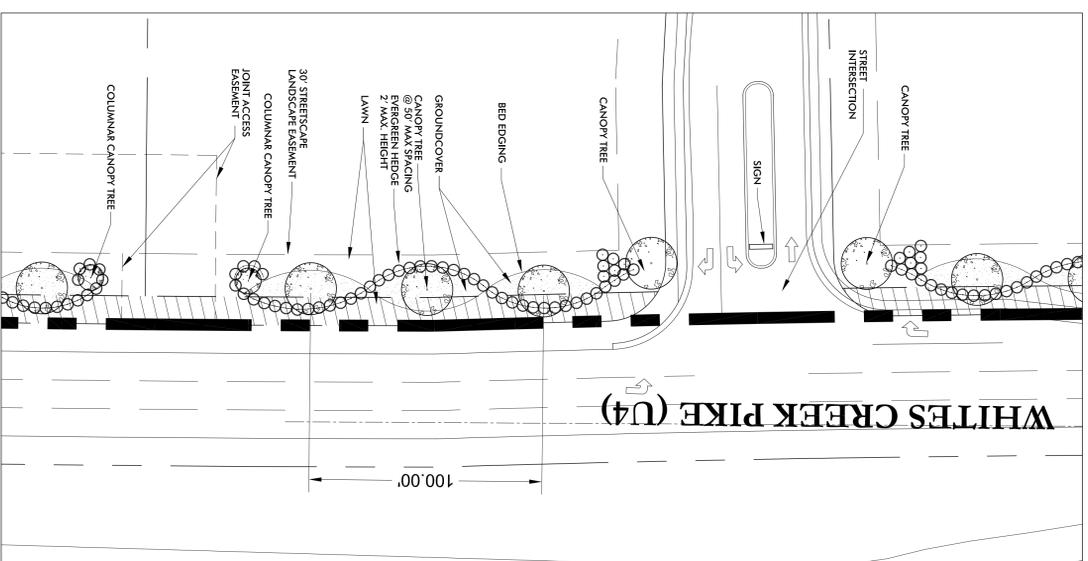
Landscape and buffer standards are critical to this development as both a buffer from the adjacent quarry but also as an enhanced entrance way into the existing residential area. A 30 foot wide landscaped buffer adjacent to White's Creek Pike will provide a better vista into the existing and emerging community but will in addition provide a shielded buffer from proposed parking areas. See typical streetscape landscape buffer detail this sheet.

In the Industrial/Office/Warehouse District it is important to supplement perimeter landscaping. In order to insure a visual separation from the adjacent community, especially in potential sparse areas within the 300 foot wide open space buffer, perimeter landscaping will be required on any developed lot that abuts open space adjacent to the existing neighborhood. A Class 'B' landscaped buffer will be required on lots adjacent to open space that abuts the neighboring community. See typical detail this sheet.

Buffers and District C to be maintained thru an association set up for this purpose.

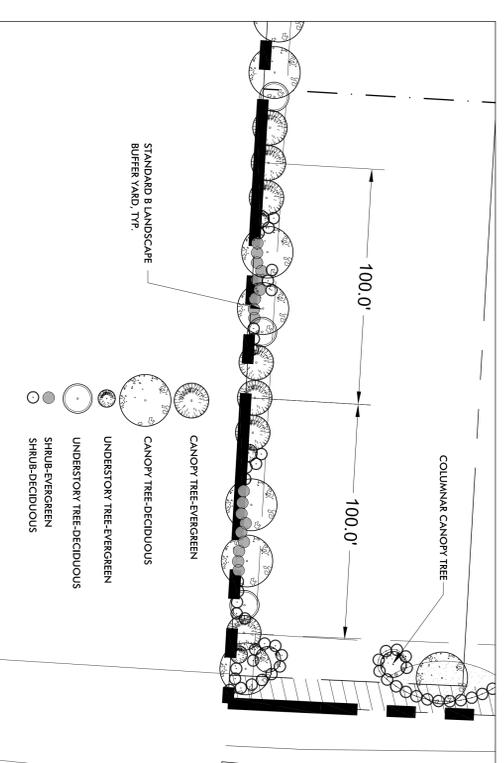
Prior to final site plan approval of the first phase of this development, an association to manage and maintain the landscape buffer yards shall be established and a management plan shall be prepared and approved by the Urban Forester.

A tree protection plan shall be provided for each lot developed adjacent to District C.



## STREETSCAPE LANDSCAPE BUFFER

TYPICAL  
SCALE: 1"=30'



### Landscaping Species

Final SP drawings shall include detailed Landscaping Plans for approval by the Urban Forester. Below are some potential species permitted within the bufferyards:

#### Large Deciduous Canopy:

- Red Maple - *Acer rubrum*
- Tulip Poplar - *Liriodendron tulipifera*
- American Sycamore - *Platanus occidentalis*
- Pin Oak - *Quercus palustris*
- Sweetgum - *Liquidambar styraciflua* 'Roundleafed'

#### Evergreen Canopy:

- White Pine - *Pinus strobus*
- Leyland Cypress - *Cupressus leylandii*
- Eastern Red Cedar - *Juniperus virginiana*

#### Deciduous Understory:

- Dogwood - *Cornus florida*
- Redbud - *Cercis canadensis*
- Flowering Cherry - *Prunus serrulata*

#### Evergreen Understory:

- Foster Holly - *Ilex x altissima* 'Foster'
- Green Arborvitae - *Thuja occidentalis* 'Emerald Green'
- Little Gem Magnolia - *Magnolia grandiflora* 'Little Gem'

#### Large Deciduous Shrubs:

- Weeping Forsythia - *Forsythia intermedia*
- Burning Bush - *Euonymus alatus*
- Flowering Quince - *Chaenactis speciosa*
- Viburnum - *Viburnum x burkwoodii*
- Hydrangea - *Hydrangea quercifolia*

#### Large Evergreen Shrubs:

- Yew - *Taxus disticta*
- Manhattan Euonymus - *Euonymus kauschovicia*
- Needlepoint Holly - *Ilex cornuta*
- Viburnum - *Viburnum hybridophyllum*
- Pfizer Juniper - *Juniperus chinensis*

