

BATTERY PARK SP

A Residential Specific Plan (SP) District

Preliminary SP Documents

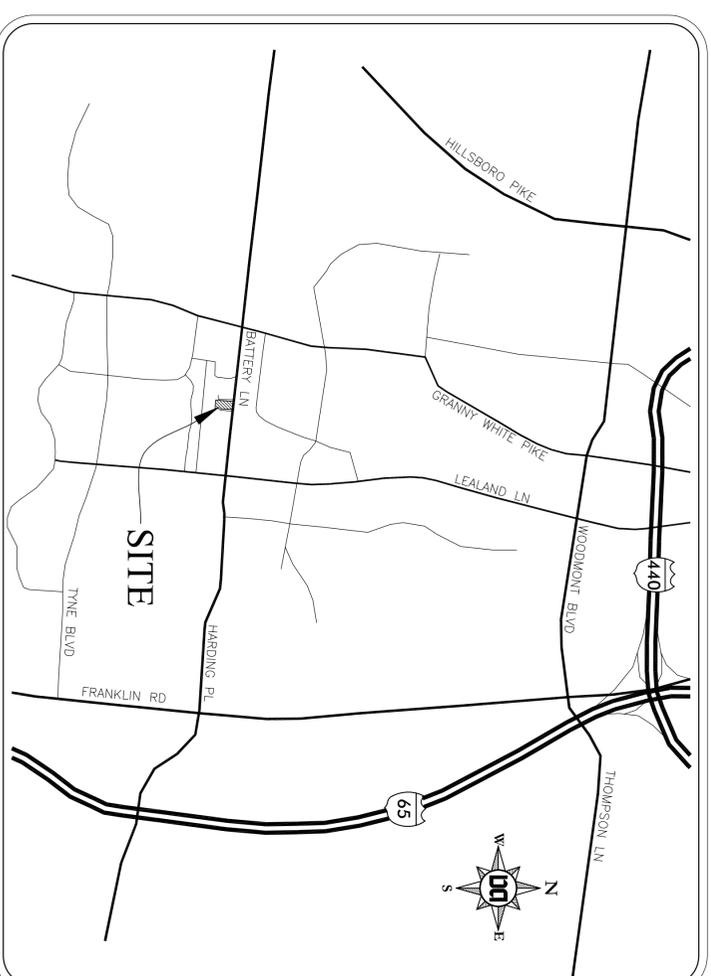
SP # 2009SP-008-001

Metro Council Bill # 2009-473

1103, 1105, & 1111 Battery Lane

Being Parcel 103, 104, & 105 On Tax Map 131-12

Nashville, Davidson County, Tennessee



PLAN CONSISTENCY

The property in question is contained within Subarea 10, Green Hills - Midtown Community Structure Plan. The Structure Plan presents the land use policy for the community. It provides parcel-specific information about the type of development envisioned on the property. All boundaries of the Structure Plan areas are intended to be definitive lines that are subject to being modified only by amendment. These boundaries consist mainly of lot and property lines, centerlines of public and railroad right-of-way, steep slope areas, or other easily identifiable features.

The Community Plan containing the studied property indicates that the area falls within the Residential Low (RL) Land Use Policy. Residential Low Density, RL, is designed to conserve large areas of established, low density (two dwelling units per acre or less), subdivided residential development that have their own street systems. Application of RL policy should be applied to predominantly developed residential areas with densities of about two units per acre or less. The predominant development type in RL areas is single-family homes, although other housing types can also be found. Civic and public benefit activities are appropriate within RL areas. This subdivision has been designed to conserve a large area of open space (40%) as well as preservation of all mature trees and floodplain.

The proposed density of this Specific Plan is 1.76 Units per Acre which falls within the two units allowed under the policy. This site has utilities readily available and is bound by existing condominiums on the west & east boundaries, as well as single family to the north and south.

SITE DATA TABLE

BULK STANDARDS/ RESIDENTIAL	
DESCRIPTION	7.39 ACRES
OVERALL AREA	13
PROPOSED UNITS	1.76 UNITS/ACRE
PROPOSED DENSITY	3.12 ACRES
OPEN AREA	42%
% OPEN AREA	20'
FRONT SETBACK (FRONT LOADED)	20'
REAR SETBACK	20'
SIDE SETBACK	5'
PARKING REQUIRED	2 SPACES PER UNIT = 26
PARKING PROVIDED	26
HEIGHT PLANES	30 FT @ SETBACK, 2:1 SLOPE, MAX 3 STORIES
MAX BUILDING COVERAGE	0.35
SQUARE FOOTAGE	MIN: 2,250 SQ FT MAX: 5,000 SQ FT
LANDSCAPING STANDARDS - CHAPTER 17.24	
Landscape Requirements shall be Controlled by SP Plans as Schematically Shown Herein	

Development Summary

Address: 1103 Battery Lane
Nashville, TN 37220

Owner of Record:
Audrey B. Herwell, Jr.
150 4th Ave. North
2000 First Union Tower
Nashville, TN 37219

Applicant: Tackkapan Company
1705 Division St.
Nashville, TN 37203
Contact: Chris Herwell
Phone: 615-244-7505
Email: CHANWELL@aol.com

Engineer:
Dale & Associates
516 Heather Place
Nashville, TN 37204
Phone: (615) 298-5166
Fax: (615) 298-5166
Contact Person: Adam Seger, PE
Email: adam@daleandassociates.net

Tax Map 131-12, Parcel 103, 104, 105
Council Person: Carter Todd
Councilmatic District: 34th
This Property Does Lie in a Flood Hazard Zone
as Identified by FEMA Map 47037C0333F
Dated April 20, 2001
Plan Preparation Date: March, 2009
Plans Revised:
Drawing Scale: 1"=40'

Boundary & Topographic Survey Provided by:
Campbell, Mcree & Associates Surveying, Inc.
2918 Berry Hill Drive
Nashville, TN 37204
(615) 298-5424

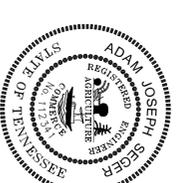
Sheet Schedule

- C0.0 Cover Sheet
- C1.0 Existing Conditions
- C2.0 Proposed Layout & Utility Plan
- C3.0 Grading & Drainage Plan
- L1.0 Landscape Plan

STANDARD NOTES:

- THE PURPOSE OF THIS SUBMITTAL IS TO OBTAIN PRELIMINARY SP APPROVAL FROM THE METRO PLANNING COMMISSION TO PERMIT UP TO 13 SINGLE FAMILY LOTS ON 7.39 ACRES.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- THIS PROPERTY DOES LIE IN A FLOOD HAZARD ZONE AS IDENTIFIED BY FEMA MAP 47037C0333 F DATED APRIL 20, 2001.
- ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS' SIDEWALK DESIGN STANDARDS.
- WHEELCHAIR ACCESSIBLE CURB RAMP, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
- THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- NO BUILDING PERMIT MAY BE ISSUED ON ANY LOT UNTIL STREET NAME SIGNS ARE INSTALLED AND VERIFIED BY THE METROPOLITAN DEPARTMENT OF PUBLIC WORKS ON ALL STREETS ON WHICH THE LOT DEPENDS FOR ACCESS.
- INDIVIDUAL WATER AND/OR SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH UNIT.
- SOLID WASTE PICKUP TO PROVIDED VIA INDIVIDUAL ROLL-AWAY CANS, PLAN & PICKUP TO COORDINATED WITH THE METRO PUBLIC WORKS SOLID WASTE DEPARTMENT.

PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL CONTACT TENNESSEE ONE-CALL FOR THE LOCATION OF ALL UTILITIES

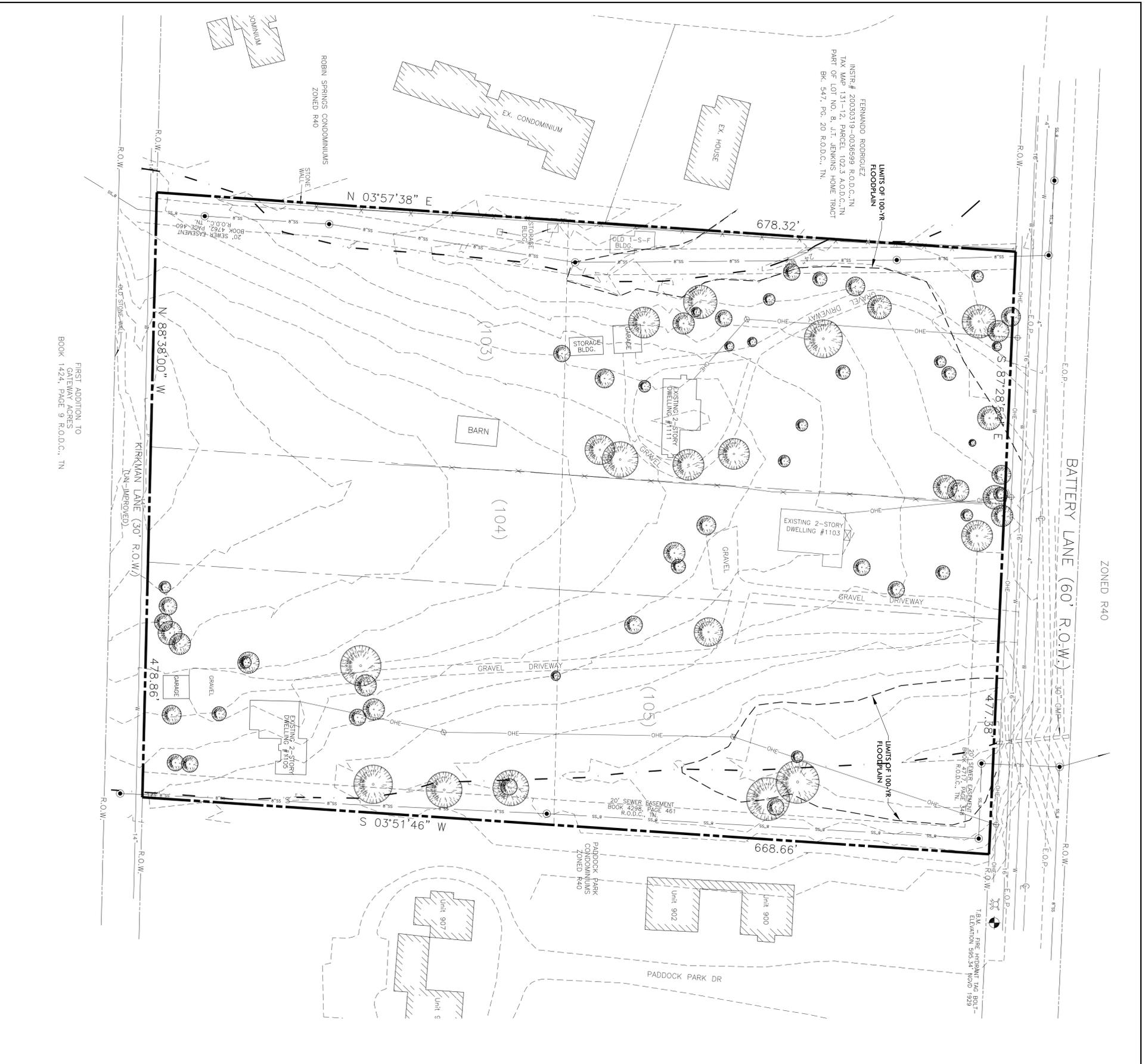


Dale & DD
Associates
Consulting Civil Engineering
Land Planning & Zoning
Landscape Architecture
Surveying

Revised to Reflect Bill 2009-473 Conditions: August, 2009
Plan Preparation Date: May 4, 2009

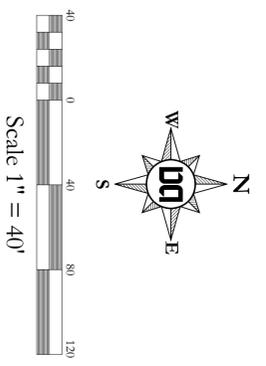
516 Heather Place
Nashville, Tennessee 37204
(615) 297-5166

D&A Project #08103
Battery Park
Preliminary SP
SP # 2009SP-008-001
C0.0
1 of 5



ZONED R40

BATTERY LANE (60' R.O.W.)



AREA = 7.39 AC
= 321,798.15 SF

Owner of Record:
Ashley B. Hamell, Jr.
15049 Ave. North
2000 Franklin
Nashville, TN 37219

Applicant:
Tadkington Company
1705 Division St.
Nashville, TN 37203
Contact: Chris Hamell
(615) 244-7503
CPHARWELL@aol.com

This Property Does Lie in a Flood Hazard Zone as Identified by FEMA Map #70370333 F
Dated April 20, 2001

Boundary & Topographic Survey Provided by:
Campbell, Mene & Associates Surveying, Inc.
2918 Berry Hill Drive
Nashville, TN 37204
(615) 298-2424

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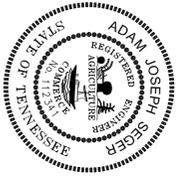
Demolition Note
All existing structures located onsite shall be removed. Some of the existing trees located onsite shall also be removed, but most will remain. Precautions shall be taken to ensure that NO damage is done to the existing trees shown to remain, trees along shared property lines, and trees offsite on adjacent properties.

DATE: May, 2009

Battery Park SP
A Residential Specific Plan District
1103, 1105, 1111 Battery Lane
Tax Map 131-12, Parcel 103, 104, & 105
Nashville, Davidson County, Tennessee

REVISIONS:

Existing Conditions



Dale & DD
Consulting Civil Engineers
Land Planning & Zoning
Landscape Architecture

516 Heather Place
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C1.0
2 of 5

FIRST ADDITION TO
GATEWAY ACRES
BOOK 1424, PAGE 9 R.O.D.C., TN

FERNANDO RODRIGUEZ
LIMITS OF 100-YR
FLOODPLAIN
INSTR. # 20030319-0036999 R.O.D.C., TN
TAX MAP 131-12, PARCEL 102.3 ADD.C., TN
PART OF LOT 100, B, P.L. JENKINS HOME TRACT
BK. 547, PG. 20 R.O.D.C., TN.

T.B.M. - FIRE APPROP. T.C. 502-
ELEVATION 565.34' N.O.D. 929

20' SEWER BASEMENT
BOOK 4236 PAGE 461
R.O.D.C., TN.

PADDOCK PARK
CONDOMINIUMS
ZONED R40

ROBIN SPRINGS CONDOMINIUMS
ZONED R40

KIRKMAN LANE (30' R.O.W.)
(UNIMPROVED)

PADDOCK PARK DR

BARN

EXISTING 2-STORY
DWELLING #1111

EXISTING 2-STORY
DWELLING #1103

EXISTING 2-STORY
DWELLING #1105

Unit 902

Unit 907

Unit 908

Unit 909

Unit 910

Unit 911

Unit 912

Unit 913

Unit 914

Unit 915

Unit 916

Unit 917

Unit 918

Unit 919

Unit 920

Unit 921

Unit 922

Unit 923

Unit 924

Unit 925

Unit 926

Unit 927

Unit 928

Unit 929

Unit 930

Unit 931

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Unit 991

Unit 992

Unit 993

Unit 994

Unit 995

Unit 996

Unit 997

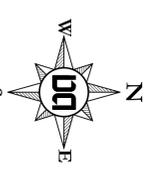
Unit 998

Unit 999

Unit 1000

ZONED R40

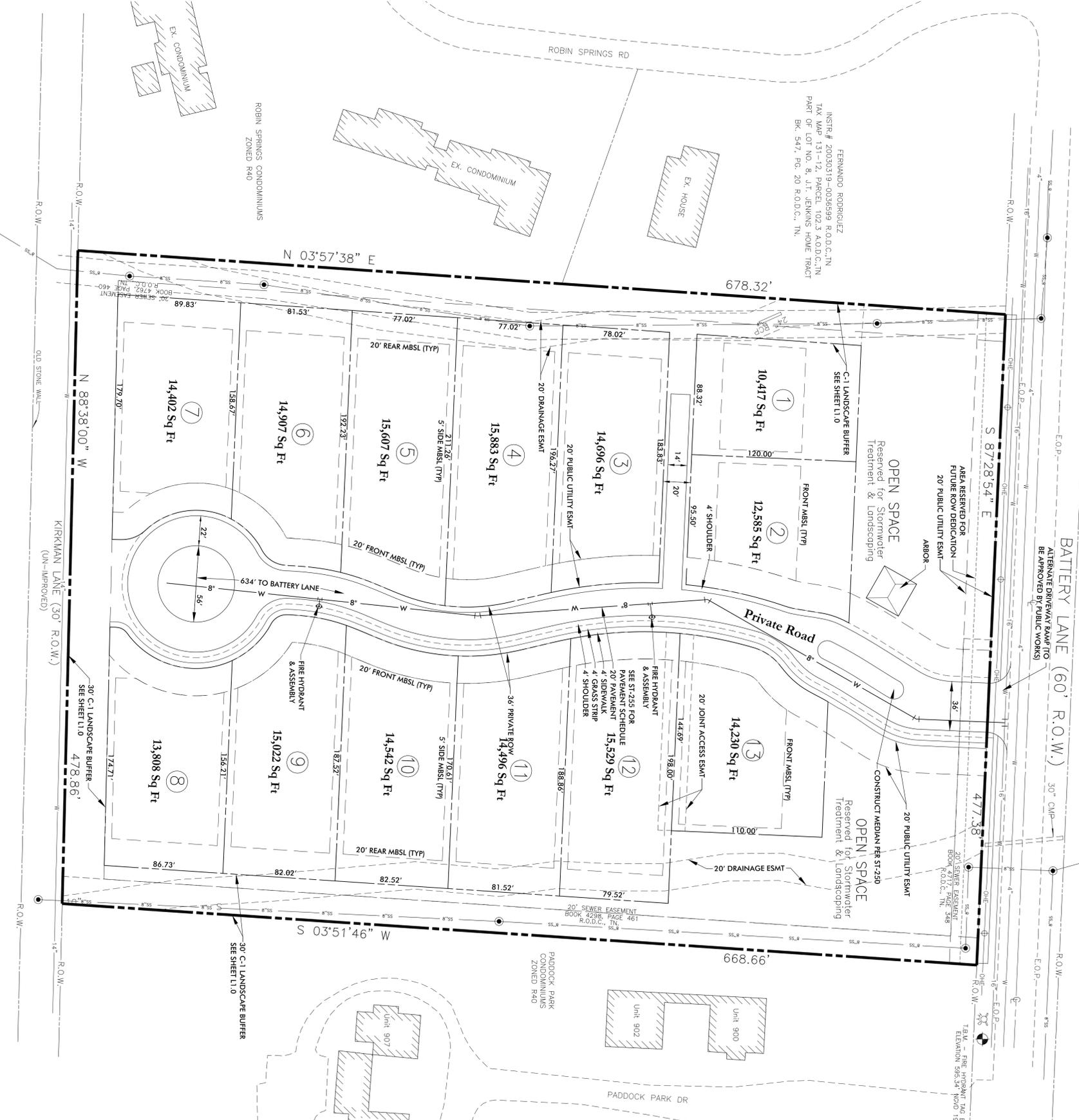
BATTERY LANE (60' R.O.W.)
30" CLIP



Scale 1" = 40'

ARCHITECTURAL STANDARDS

- 1) GENERAL
 - a) The quality of a development is largely determined by the character of the buildings within it. For this reason, the following standards are established to ensure that the quality of the development is maintained.
 - b) Simple, attractive design in durable materials is preferred over elaborate design in inferior materials. For instance, a 6x6 post with cap and base if preferred over prefabricated fluorescent light fixture columns.
 - c) The use of decorative materials shall be limited to the exterior of the building.
 - d) Elevation of ground floor architectural features shall harmonize with masonry or upper stories.
 - e) Long, uninterrupted wall panels on public streets or paths shall be avoided.
 - f) All dwelling units shall be a minimum of 2,250 square feet and a maximum of 5,000 square feet.
- 2) WALLS - EXTERIOR
 - a) Acceptable materials include, but are not limited to, natural stone, dry brick, cast stone, fiber cement board siding, stucco, and stone.
 - b) Aluminum siding, vinyl siding, wood lap siding, and exposed smooth-faced concrete block are prohibited.
- 3) CONFIGURATIONS & TECHNIQUES
 - a) Building walls shall be constructed using a horizontal face. No half row be combined with siding on the upper portion of the wall.
 - b) Siding shall be horizontal, maximum of 8' exposure.
 - c) Siding shall be vertically, maximum of 8' exposure.
- 4) ATTACHMENTS
 - a) Chimneys shall be finished with cultured stone, masonry, or stucco. Exterior building material of chimneys shall match the building material of the foundation or the of cultured stone or brick. The exterior masonry of chimneys shall be finished in cultured stone, masonry, or stucco.
 - b) The foundation material for all buildings shall be dry brick, natural stone, cast stone, stucco, or split face block. Exposed masonry shall be finished with a minimum of 1/2" mortar.
 - c) Foundations shall be finished with a minimum of 1/2" mortar.
 - d) Foundations shall be finished with a minimum of 1/2" mortar.
 - e) Foundations shall be finished with a minimum of 1/2" mortar.
- 5) ROOFING
 - a) Roofs shall be finished with a minimum of 1/2" mortar.
 - b) Roofs shall be finished with a minimum of 1/2" mortar.
 - c) Roofs shall be finished with a minimum of 1/2" mortar.
 - d) Roofs shall be finished with a minimum of 1/2" mortar.
 - e) Roofs shall be finished with a minimum of 1/2" mortar.
- 6) OPENINGS
 - a) Windows shall be finished with a minimum of 1/2" mortar.
 - b) Windows shall be finished with a minimum of 1/2" mortar.
 - c) Windows shall be finished with a minimum of 1/2" mortar.
 - d) Windows shall be finished with a minimum of 1/2" mortar.
 - e) Windows shall be finished with a minimum of 1/2" mortar.
- 7) FENCES AND OTHER MECHANICALS EXTERIOR ITEMS
 - a) Fences shall be finished with a minimum of 1/2" mortar.
 - b) Fences shall be finished with a minimum of 1/2" mortar.
 - c) Fences shall be finished with a minimum of 1/2" mortar.
 - d) Fences shall be finished with a minimum of 1/2" mortar.
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Landscaping Requirements shall be Controlled by SP Plans as Schematically Shown herein	

Layout & Utility Plan

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= 321,798.15 SF

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(615) 298-5024

GENERAL NOTES

1. The Primary Entrances of the Residences on Lots 1, 2 & 13 Shall be Oriented Towards Battery Lane.
2. Lots 1, 2 & 3 Shall be Accessed from a Private Alley and Lots 12 & 13 Shall be Accessed from a Shared Driveway Located Across from the Alley.
3. A 30-foot Buffer Zone of evergreen trees and shrubs will border all existing lots, "C" setbacks and will be installed at the beginning of site development.
4. Lots 2 & 13 Shall have Secondary Entrances that are Oriented Towards the Private Drive & Include Architectural Features such as a Side Porch and/or Dormers to Address the Private Drive.
5. All Residential Units Shall have a Minimum 2-Car, Side or Rear Entry Garage.
6. All Dwelling Units Shall have a Minimum of 2,250 Square Feet and a Maximum of 5,000 Square Feet.

FIRE HYDRANT FLOW TEST

DATE OF FLOW TEST: 4/2/09
MONITORING HYDRANT - AWS ID 03805
STATIC: 93 PSI FLOW: 1,322 GPM
RESIDUAL: 90 PSI FLOW: 5,704 GPM
@20 PSI FLOW = 5,704 GPM

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DATE: May, 2009

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