

PRELIMINARY SP DEVELOPMENT PLAN FOR 16TH AND ORDWAY 1516 ORDWAY PLACE

CONTACTS

OWNER/DEVELOPER:

EVOLVE DEVELOPERS, LLC.
RICHARD AMEND
325 DEEPWOOD CIRCLE
NASHVILLE, TN 37214
(615) 319-0647
INFO@16THANDORDWAY.COM

CIVIL ENGINEER:

RAGAN SMITH ASSOCIATES, INC.
LYNN EALEY
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
LEALEY@RAGANSMITH.COM

LANDSCAPE ARCHITECT:

RAGAN SMITH ASSOCIATES, INC.
ALAN THOMPSON
315 WOODLAND STREET
NASHVILLE, TN 37206
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ATHOMPSON@RAGANSMITH.COM

ARCHITECT:

EXOTERRA SOLUTIONS
MARK WEST
217 GIFFORD PLACE
JOELTON, TN 37080
(615) 428-0515



INDEX OF SHEETS

SHEET DESCRIPTION

CONSTRUCTION PLANS	
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315 WOODLAND ST. P.O. BOX 88070 NASHVILLE, TN 37206
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16th AND ORDWAY
APPLICATION NUMBER: 2009SP-012-001
1516 ORDWAY PLACE

6th COUNCILMANIC DISTRICT OF METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

REVISIONS	
10-19-09 (SMB) Per	Rev. Footprint
09-15-09 (JWK) Added	Site plan comments
09-09-09 (ASB) Per	Rev. Footprint
09-09-09 (ASB) Rev.	Per City Comments.

DATE:	June 09, 2009
DESIGNED:	J. Kigore
DRAWN:	R. Hirsch
SCALE:	N.T.S.
JOB NO.	WK ORDER
09-012	8932

COVER SHEET

CVR

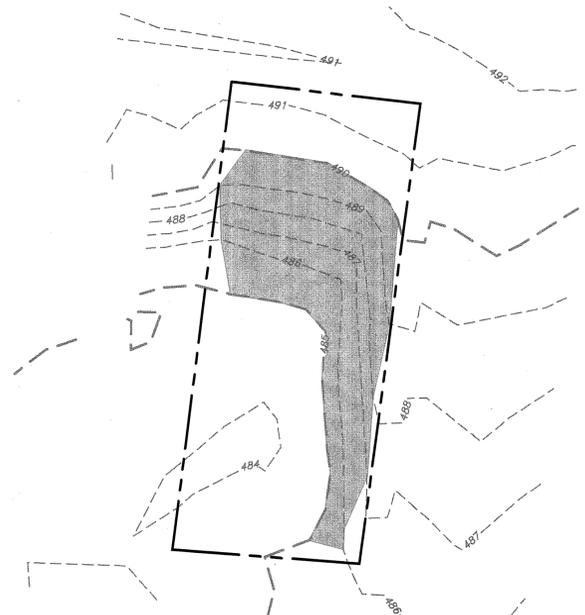
6th COUNCILMANIC DISTRICT
METROPOLITAN NASHVILLE
DAVIDSON COUNTY, TENNESSEE

SPECIAL NOTE:

FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND APPLICABLE REQUIREMENTS OF THE MUL ZONING DISTRICT AS OF THE DATE OF THE REQUEST OR APPLICATION.

PURPOSE NOTE:

THE APPLICANT IS REQUESTING A CHANGE FROM THE CURRENT ZONING OF CN TO SP. THIS REQUEST IS NECESSARY FOR THE IMPLEMENTATION OF A MIXED USE DEVELOPMENT. THE SINGLE BUILDING TO BE PLACED ON SITE WILL CONTAIN (5) ONE-BEDROOM UNITS AND (2) COMMERCIAL UNITS AT STREET LEVEL. THIS BUILDING WILL EMPHASIZE SUSTAINABLE DESIGN. THE SP ZONING IS REQUESTED IN ORDER TO CREATE A BUILDING OF APPROPRIATE USE AND DENSITY TO SATISFY MPC, MOHA, AND MHZC. THE COMMUNITY PLAN AMENDMENT SPONSORED BY METRO PLANNING DEPARTMENT IS PROPOSED TO BRING THE DEVELOPMENT IN ACCORDANCE WITH THE COMMUNITY PLAN.



Analyze Slopes Report			
Slope Range (%)	Plan Area (sq ft)	Surface Area (sq ft)	% of Total Area
0.00 - 10.00	184,792	1816.01	41.95
10.00 - VERT	2179.46	2235.76	36.05
Totals	3791.98	3851.76	100.00

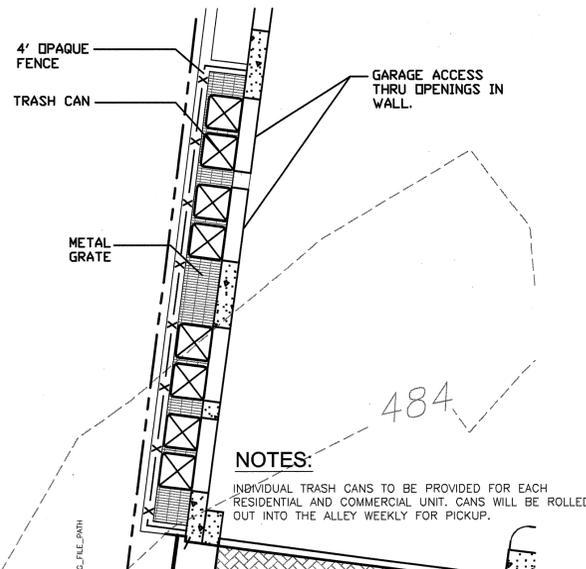
SOILS: SOILS FOR THE ENTIRE SITE ARE COMPRISED OF THE MAURY-URBAN LAND COMPLEX. THIS SOIL IS IN THE HYDROLOGIC SOIL GROUP "B". IT HAS A MODERATE INFILTRATION RATE WHEN THOROUGHLY WETTED AND CONSISTS CHIEFLY OR MODERATELY DEEP TO DEEP, MODERATELY WELL TO WELL DRAINED SOILS WITH MODERATELY FINE TO MODERATELY COARSE TEXTURES. THESE SOILS HAVE A MODERATE INFILTRATION RATE.(0.15-0.30 IN/HR)

SLOPE AND SOIL ANALYSIS

SCALE: 1"=40'

NOTES:

1. LOT TO BE SERVED WITH PUBLIC WATER AND SANITARY SEWER.
2. OPEN SPACES, WATER QUALITY AND DETENTION FACILITIES TO BE MAINTAINED BY PROPERTY OWNER OR PROPERTY OWNER'S ASSOCIATION.
3. STORM WATER WILL BE ROUTED THROUGH A STORMWATER MANAGEMENT SYSTEM PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL.
4. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
5. PRELIMINARY DRAWING NOTE - THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
6. ACCESS NOTE - METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
7. MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP
8. PARKING GARAGE MEETS AND/OR EXCEEDS THE MINIMUM REQUIREMENTS FOR COMPACT PARKING STANDARDS PER METRO ZONING ORDINANCE.
9. PROPOSED UTILITY METERS WILL BE LOCATED OUTSIDE THE PUBLIC ROW.

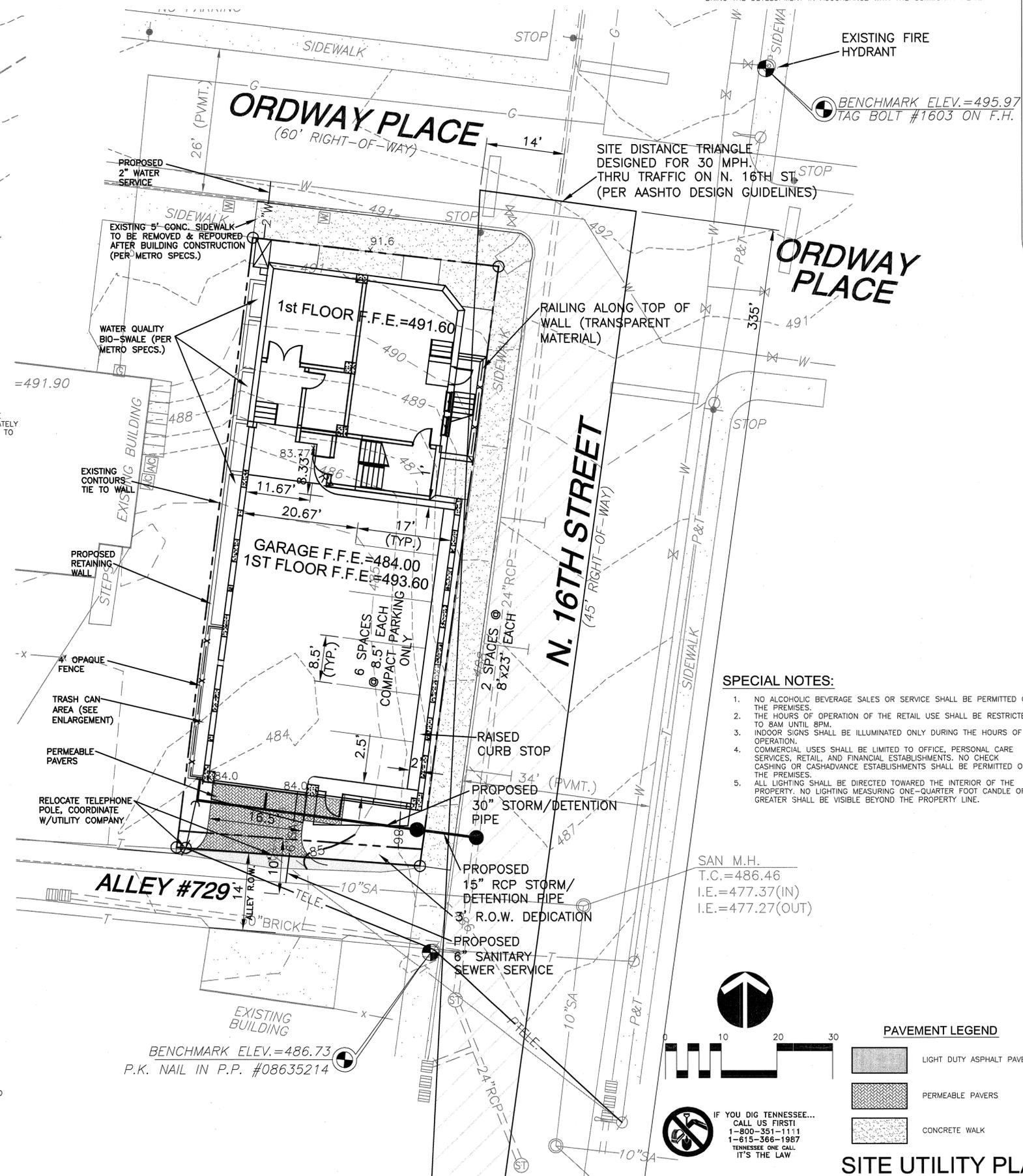


NOTES:

INDIVIDUAL TRASH CANS TO BE PROVIDED FOR EACH RESIDENTIAL AND COMMERCIAL UNIT. CANS WILL BE ROLLED OUT INTO THE ALLEY WEEKLY FOR PICKUP.

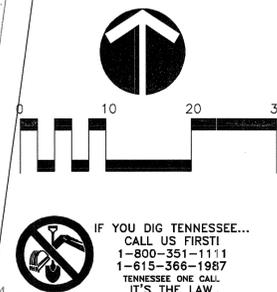
TRASH CAN LOCATION DETAIL

SCALE: 1" = 10'-0"



SPECIAL NOTES:

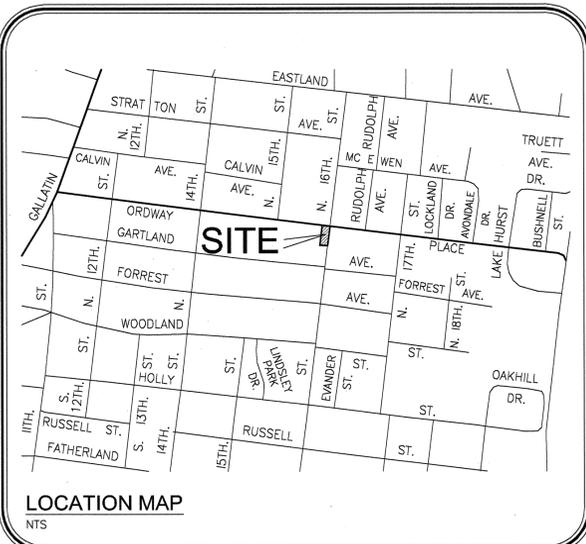
1. NO ALCOHOLIC BEVERAGE SALES OR SERVICE SHALL BE PERMITTED ON THE PREMISES.
2. THE HOURS OF OPERATION OF THE RETAIL USE SHALL BE RESTRICTED TO 8AM UNTIL 8PM.
3. INDOOR SIGNS SHALL BE ILLUMINATED ONLY DURING THE HOURS OF OPERATION.
4. COMMERCIAL USES SHALL BE LIMITED TO OFFICE, PERSONAL CARE SERVICES, RETAIL, AND FINANCIAL ESTABLISHMENTS. NO CHECK CASHING OR CASHADVANCE ESTABLISHMENTS SHALL BE PERMITTED ON THE PREMISES.
5. ALL LIGHTING SHALL BE DIRECTED TOWARD THE INTERIOR OF THE PROPERTY. NO LIGHTING MEASURING ONE-QUARTER FOOT CANDLE OR GREATER SHALL BE VISIBLE BEYOND THE PROPERTY LINE.



PAVEMENT LEGEND

- LIGHT DUTY ASPHALT PAVEMENT
- PERMEABLE PAVERS
- CONCRETE WALK

SITE UTILITY PLAN



LOCATION MAP

NTS

SITE DATA:

PROPERTY INFORMATION:	
SITE APPLICATION NUMBER:	2009SP-012-001
COUNCIL DISTRICT NUMBER:	6th
DISTRICT COUNCIL MEMBER:	MICHAEL JAMESON
SP NAME:	16TH AND ORDWAY
PLAN PREPARATION DATE:	OCTOBER 19, 2009
LOT SIZE:	.11 AC. (4,854 S.F.)
LOT:	111
TAX MAP:	831
PARCEL:	10.00
STREET ADDRESS:	1516 ORDWAY PLACE
LOTS:	1
OWNER/DEVELOPER:	PROJECT ENGINEER:
EVOLVE DEVELOPERS, LLC.	MR. LYNN EALEY, P.E.
RICHARD AMEND	RAGAN-SMITH ASSOCIATES, INC.
325 DEERWOOD CIRCLE	315 WOODLAND STREET
NASHVILLE, TN 37214	NASHVILLE, TN 37206
(615) 319-0647	(615) 244-8591
	(615) 244-6739
ZONING INFORMATION:	
ZONING CLASSIFICATION:	COMMERCIAL NEIGHBORHOOD (CN)
PROPOSED ZONING:	SP
BUILDING SETBACKS:	
FRONT:	4' (ORDWAY PLACE)
SIDE:	5'-0" (N. 16TH STREET)
REAR:	6'
	*SOLAR SHADE DEVICES AND WINDOW BAYS ARE ALLOWED TO ENCRoACH SETBACK
PROJECT INFORMATION:	
BUILDING HEIGHT PROVIDED:	2 STORY OVER GARAGE
	7'5" MAX. HT. @ ORDWAY SETBACK
	30' MAX. HT. @ 16TH STREET SETBACK
	35' MAX. HT. @ ALL OTHER SETBACKS
	NOTE: THE FOLLOWING STRUCTURES SHALL BE EXEMPT FROM THE HEIGHT CONTROL STANDARDS OF THIS SECTION: CHIMNEYS OR FLUES; ELEVATOR OR STAIR BULKHEADS; ROOF WATER TANKS OR COOLING TOWERS.
	NOTE: ROOF STRUCTURES SUCH AS GREEN HOUSE OR GARDEN SHADE TRELLIS ARE ALLOWED (NOT TO EXCEED 8' IN HEIGHT, SETBACK 8' FROM BUILDING EDGE.)
MAX. BUILDING FOOTPRINT S.F.:	4,012 S.F.
MAX. COMMERCIAL S.F.:	2,000 S.F.
MAX RESIDENTIAL DENSITY:	5 UNITS
MAX RESIDENTIAL S.F.:	UNLIMITED
MAX ROOF DECK S.F.:	UNLIMITED
PARKING SUMMARY:	
PARKING REQUIREMENT:	(5) 1 BEDROOM UNITS @ 1 SP./RM. = 5 SPACES
SQUARE FOOTAGE OF COMMERCIAL < 2,000 SF = 0 SPACES REQUIRED	2 ADDITIONAL SPACES PROVIDED ON-STREET (16TH ST.)
TOTAL REQUIRED:	5 SPACES
SIZE REQUIREMENT:	8.5' X 17' (20' DRIVE)
TOTAL PARKING PROVIDED:	6 SPACES
ALLOWABLE COMMERCIAL USES:	FINANCIAL INSTITUTION GENERAL OFFICE MEDICAL OFFICE PERSONAL CARE SERVICES RETAIL
DEVELOPMENT SCHEDULE:	PROJECT TO BE COMPLETED IN ONE CONTINUOUS PHASE.
SURVEY INFORMATION:	BOUNDARY INFORMATION TAKEN FROM A SURVEY BY RAGAN SMITH ASSOCIATES, INC. TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY RAGAN SMITH ASSOC.
FLOOD INFORMATION:	FEMA MAP #: 47037C0236 F EFFECTIVE DATE: APRIL 20, 2001
GEOTECHNICAL INFORMATION:	NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

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DATE:	June 09, 2009
DESIGNED:	J. Kliger
DRAWN:	A. BROWN
SCALE:	AS NOTED
JOB NO.:	WK ORDER 8932
REVISIONS:	09-012

SITE UTILITY PLAN
C1.1

MAP 831, PARCEL 7.00
JOHNNIE M. BARBER
 DB. 5478, PG. 439
 R.O.D.C., TN.

MAP 831, PARCEL 22.00
**JONATHAN AND
 JILL WRIGHT**
 DB. 5478, PG. 439
 R.O.D.C., TN.

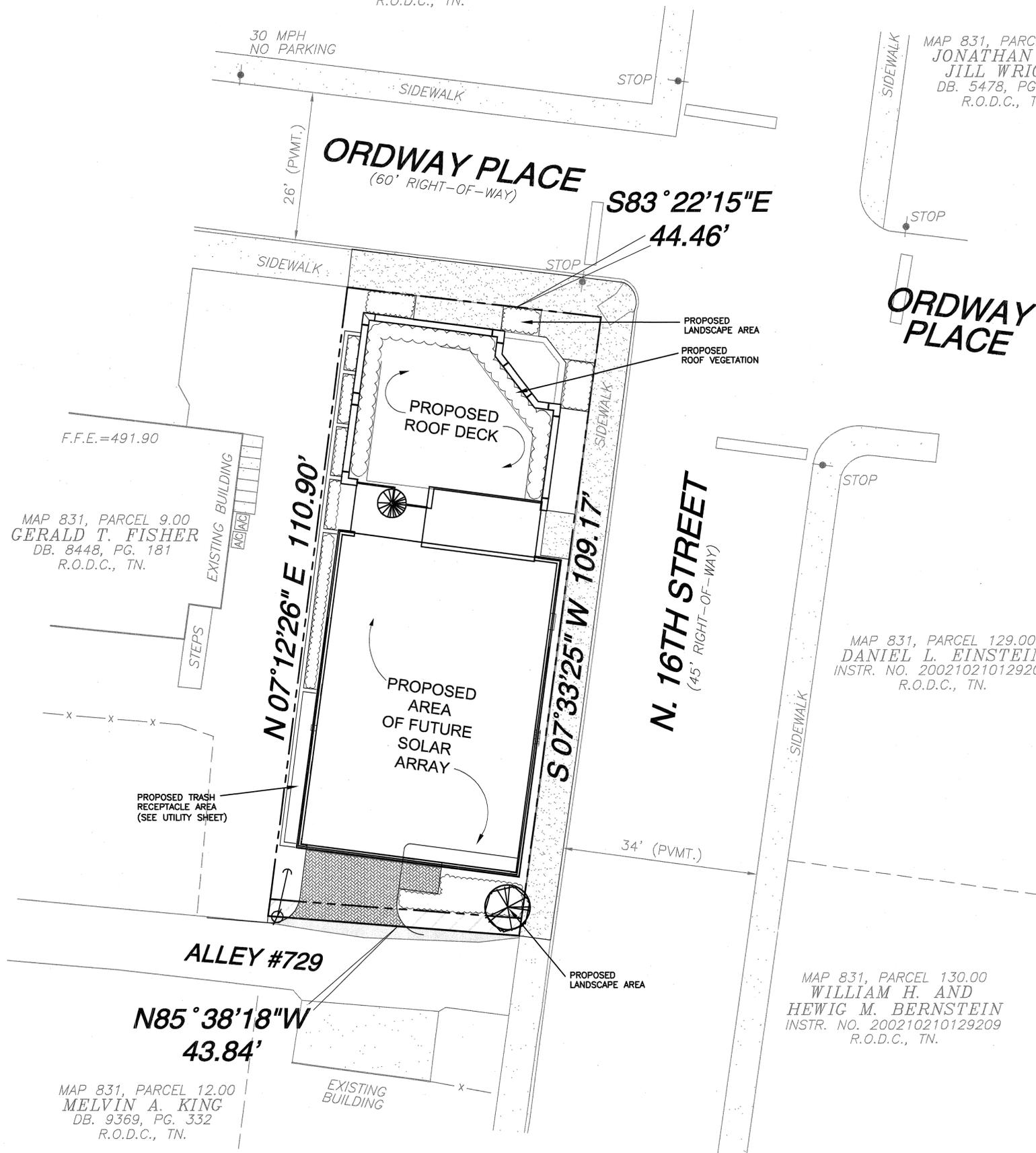
MAP 831, PARCEL 9.00
GERALD T. FISHER
 DB. 8448, PG. 181
 R.O.D.C., TN.

MAP 831, PARCEL 129.00
DANIEL L. EINSTEIN
 INSTR. NO. 200210210129209
 R.O.D.C., TN.

MAP 831, PARCEL 130.00
**WILLIAM H. AND
 HEWIG M. BERNSTEIN**
 INSTR. NO. 200210210129209
 R.O.D.C., TN.

MAP 831, PARCEL 12.00
MELVIN A. KING
 DB. 9369, PG. 332
 R.O.D.C., TN.

MAP 831, PARCEL 11.00
LYNETTE K. ROBERTSON
 DB. 11764, PG. 952
 R.O.D.C., TN.



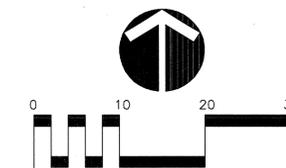
LANDSCAPE NOTE:
 ALL LANDSCAPE ELEMENTS HAVE YET TO BE SPECIFICALLY
 DESIGNED IN NUMBER OR PLACEMENT.

LANDSCAPE LEGEND

- ORNAMENTAL TREE
- PROPOSED VEGETATION

PAVEMENT LEGEND

- LIGHT DUTY ASPHALT PAVEMENT
- PERVIOUS PAVERS
- CONCRETE WALK
- ROOF TOP PATIO



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 1-615-366-1987
 TENNESSEE ONE CALL
 IT'S THE LAW

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1	10-19-09	(SMB) Per.	
2	03-07-09	(ASB) Per.	
3	06-10-09	(ASB) Rev.	
4		Per. City Comments.	

DATE:	June 09, 2009
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DRAWN:	A. BROWN
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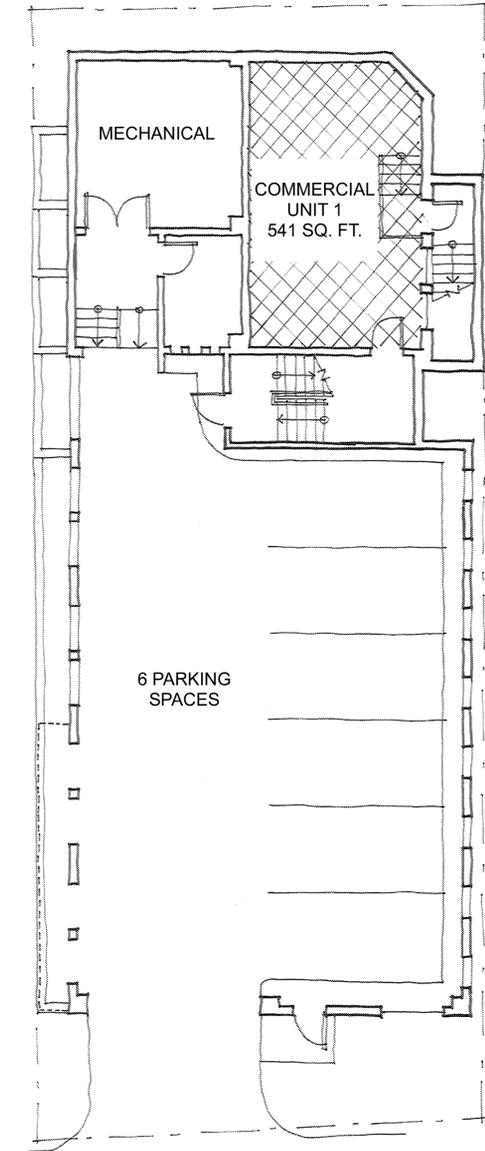
ROOF/LANDSCAPE PLAN

C2.1

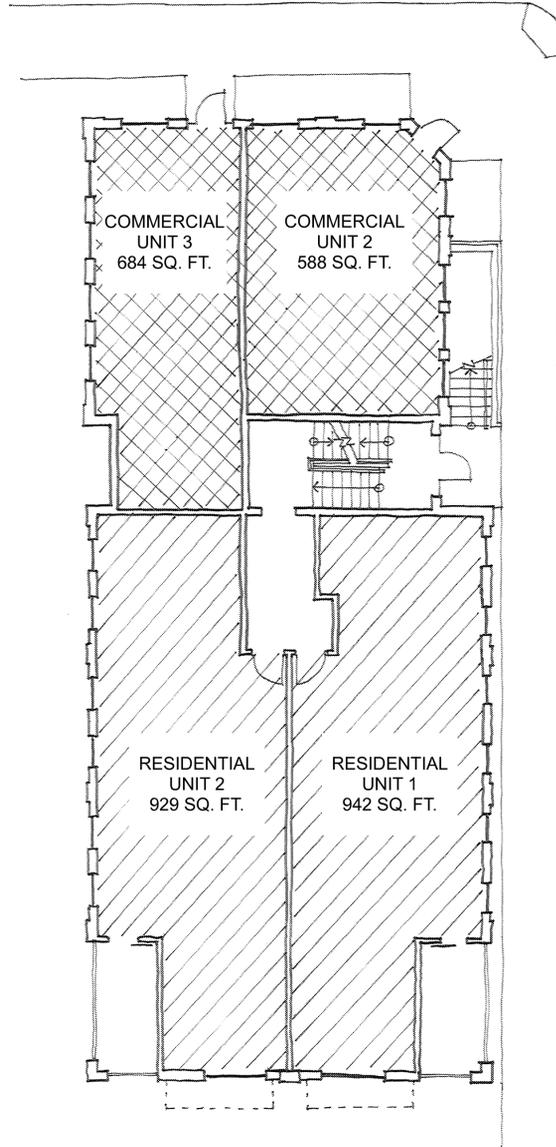
ROOF/ LANDSCAPE PLAN:

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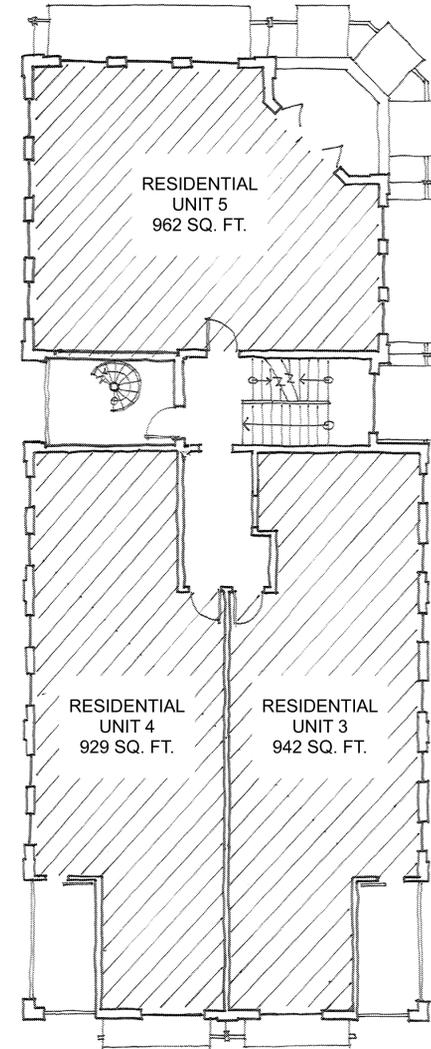
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LOWER LEVEL PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



EXTERIOR MATERIALS & DESIGN TO BE REVIEWED BY MPC, MDHA AND HISTORIC COMMISSION AND WILL BE ADDRESSED IN THE FINAL SP SUBMITTAL

SIGNAGE TO BE IN ACCORDANCE WITH MDHA AND HISTORIC COMMISSION REQUIREMENTS



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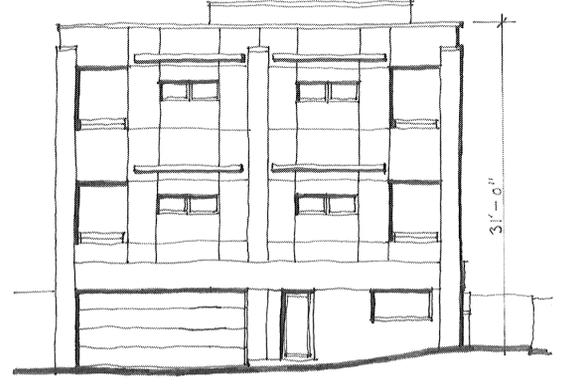
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ARCHITECTURAL PLAN

A1.1



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



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ARCHITECTURAL ELEVATIONS

A1.2