

4414 Westlawn Drive Specific Plan (Application # 2010SP-004-001)



* See BL2010-698 for additional conditions approved by Metro Council. (back of document)

The intent of this Specific Plan District is to permit the existing single-family residential structure at 4414 Westlawn Drive (Map 103-08, Parcel 072) to be used as a small scale office. For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the *MUN zoning district* as of the date of the applicable request or application.

Permitted Uses:

- Single-Family Residential, Medical Office and General Office
- Floor area shall not exceed 1,999 square feet

Prohibited Uses:

Any use other than Single-Family Residential, Medical or General Office

Parking Requirement:

- Medical Office or General Office: 9 spaces minimum
- The driveway and parking area shall be surfaced with asphalt, concrete, or other hard-surfaced dustless material as required by Metro Zoning.
- Parking shall be located within the rear of the structure, and no parking shall be located on the side or front of the structure.
- Any required handicap space shall be compliant with all ADA code requirements unless the Board of Fire and Building Code Appeals find that alternative dimensions or arrangements are sufficient.

SPECIFIC PLAN APPROVAL

PRELIMINARY, FINAL, as amended

FULL, CONDITIONAL, compliance with the provisions of the Metropolitan Zoning Ordinance.

Conditions: See minutes for 5/27/10 MPC meeting

By JTS MPC Date 5/27/10

Metropolitan Planning Commission

Buffering:

- An opaque fence of at least 6 feet in height shall be provided along the southern and eastern property lines. The fence on the southern property line shall not be within 32 feet of Westlawn Drive.
- An opaque fence of at least 6 feet in height may be provided along the northern property line. No fence on the northern property line shall be within 32 feet of Westlawn Drive.
- An opaque fence of at least 6 feet in height shall be provided along the eastern property line.
- Chain link or vinyl fence is not permitted.

Landscaping:

See site plan for new planting locations. Plantings may also take place at other locations, but shall not limit site distance at the drive entrance.

Signage:

Signage is limited to two individual signs with each sign limited to three square feet.

- A sign is permitted within the structure and design of the mailbox. Signage on the mailbox is permitted on two sides and both sides are permitted three square feet.
- Sign plaque is permitted adjacent the door on front of the structure.
- Signage shall not be illuminated

Lighting:

Lighting shall meet the standards found in the Metro Zoning Code.

Additions/Modifications:

- Additions that expand the heated and cooled floor area beyond 1,999 square feet shall not be permitted.
- Additions shall not be permitted on the front of the existing structure.
- The existing front porch shall be preserved, and shall not be enclosed.
- Decks or other exterior additions such as stairs are permitted, but shall not be permitted on the front of the structure, *unless required to meet ADA standards*.
- This SP does not regulate interior modifications to the structure, which shall be governed by all applicable Building Codes.
- This SP does not regulate exterior modifications such as general up keep and repairs, painting, siding, window replacement, accents, lighting or other actions that don't alter the structural design of the house.
- Existing windows on the front of the structure may be replaced, but shall not be enclosed.

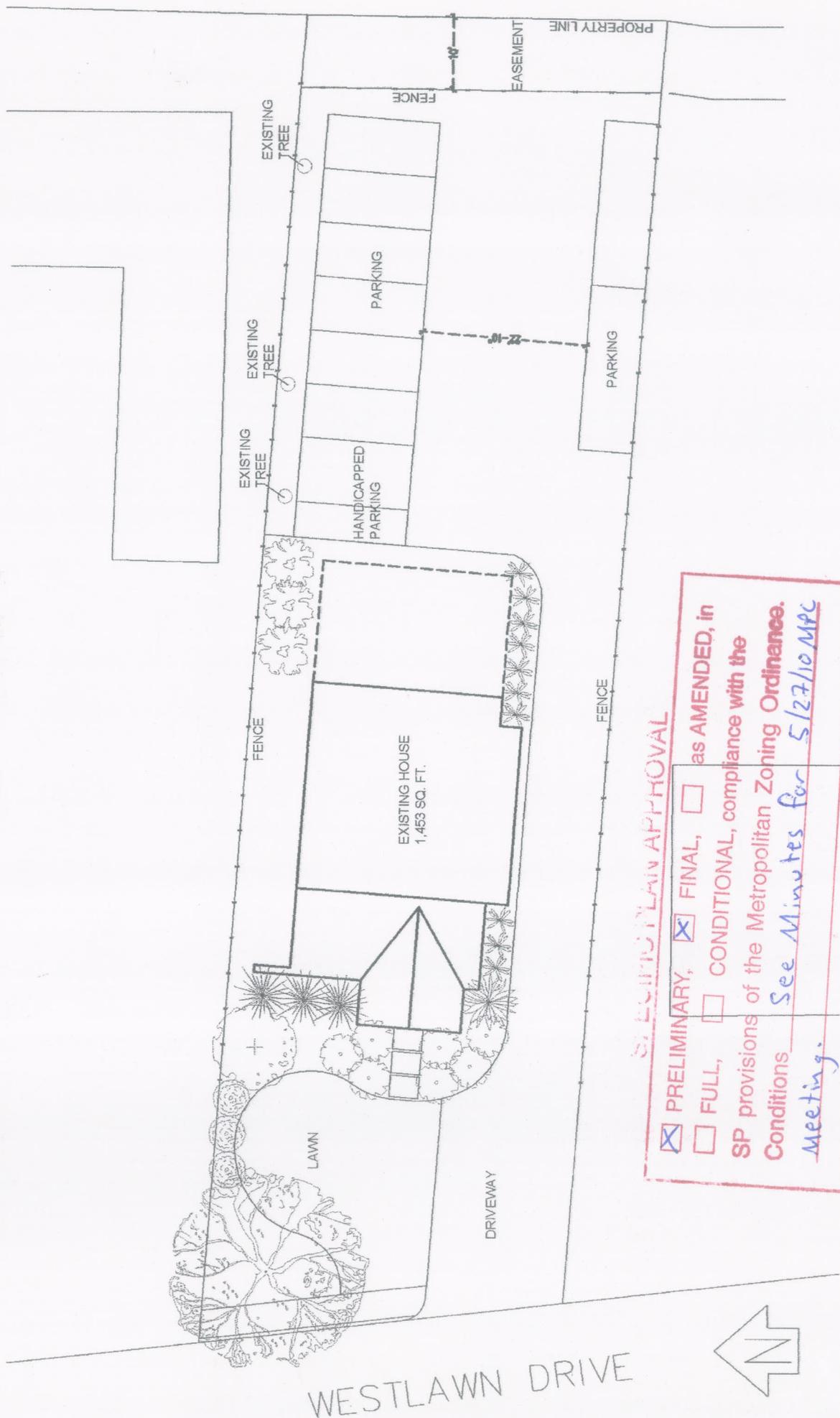
New Construction:

The existing structure shall not be voluntarily demolished unless the Planning Commission finds that removal is necessary to protect public safety and welfare, or the structure is damaged or destroyed in the amount of twenty-five percent or more of the assessed valuation of all buildings and structures and other improvements on the

property. In the event that new construction is permitted the following conditions shall apply:

- New construction shall require a final site plan application including any applicable fees.
- New construction shall generally be in keeping with existing residential structures in the area. Elevations of proposed new structure(s) shall be submitted to the Planning Commission for review and approval.
- Floor area shall not exceed 1,999 square feet.
- Height shall not exceed 2 stories.
- Setbacks shall be consistent with Metro Zoning Code requirements for RS7.5.

(Site Plan Next Page)

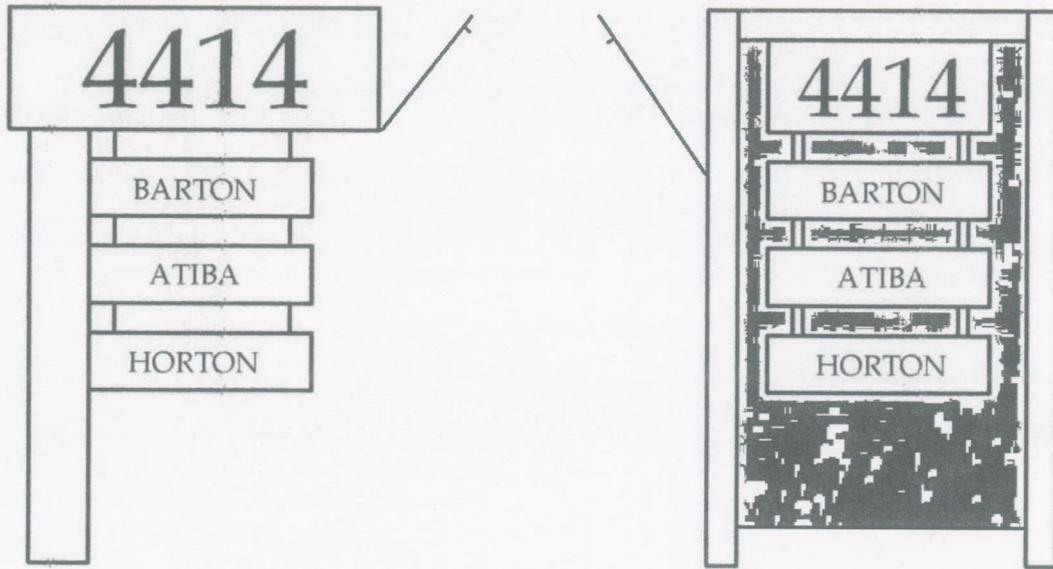


SCIP TO PLAN APPROVAL

PRELIMINARY, FINAL, as AMENDED, in
 FULL, CONDITIONAL, compliance with the
 SP provisions of the Metropolitan Zoning Ordinance.
 Conditions See Minutes for 5/27/10 MPC Meeting.

By JTS MPC Date 5/27/10
 Metropolitan Planning Commission

SCALE 1" = 20'-0"



Example Mail Box Signs

 **ORDINANCE NO. BL2010-698**

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from RS7.5 to SP zoning for property located at 4414 Westlawn Drive, approximately 200 feet north of Sloan Road (0.18 acres), to permit single-family residential, medical and general office uses within an existing single-family structure not to exceed 1,999 square feet in floor area, all of which is described herein (Proposal No. 2010SP-004-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from RS7.5 to SP zoning for property located at 4414 Westlawn Drive, approximately 200 feet north of Sloan Road (0.18 acres), to permit single-family residential, medical and general office uses within an existing single-family structure not to exceed 1,999 square feet in floor area, as being Property Parcel No. 072 as designated on Map 103-08 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Sheet No. 103 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the SP shall be limited to the uses shown on the plan.

Section 4. Be it further enacted, that a corrected copy of the preliminary SP plan incorporating the conditions of approval by the Planning Commission and Council shall be provided to the Planning Department prior to the filing of any additional development applications for this property, and in any event no later than 120 days after the effective date of the enacting ordinance. The corrected copy provided to the Planning Department shall include printed copy of the preliminary SP plan and a single PDF that contains the plan and all related SP documents. If a corrected copy of the SP plan incorporating the conditions therein is not provided to the Planning Department within 120 days of the effective date of the enacting ordinance, then the corrected copy of the SP plan shall be presented to the Metro Council as an amendment to this SP ordinance prior to approval of any grading, clearing, grubbing, final site plan, or any other development application for the property.

Section 5. Be it further enacted, that minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved in the plan that is part of this ordinance.

Section 6. Be it further enacted, that for any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the MUN zoning district as of the date of the applicable request or application.

Section 7. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

Sponsored by: Jason Holleman

View Sketch

**Amendment No. 1
To
Ordinance No. BL2010-698**

Madam President:

I move to amend Ordinance No. BL2010-698 by modifying it as follows:

1. By deleting Section 3 in its entirety and substituting with the following new Section 3:

"Section 3. Be it further enacted, that use and development of the property shall strictly adhere to the conditions and use restrictions set forth on the SP Plan, a copy of which is incorporated herein as 'Exhibit A'."

2. By adding the following new Section 4, Section 5 and Section 6, and renumbering the following sections of the Ordinance accordingly:

"Section 4. Be it further enacted, that a sidewalk shall be required along the frontage of the property on Westlawn Drive. The sidewalk shall be constructed per the Department of Public Works' specifications, or a financial contribution payment shall be made in lieu of construction of sidewalks. Use and Occupancy permit shall not be issued until the sidewalk is constructed and approved by Metro Public Works or a financial contribution payment has been accepted in lieu of sidewalk construction.

Section 5. Be it further enacted, that no more than two (2) persons shall work in the building at any given time.

Section 6. Be it further enacted, that in the event the existing structure is ever demolished or substantially destroyed, any rebuilding of the structure shall be limited to seventy-five percent (75%) of the existing building footprint and square footage."

Sponsored by: Jason Holleman

LEGISLATIVE HISTORY	
Introduced:	June 1, 2010
Passed First Reading:	June 1, 2010
Referred to:	Planning Commission - Approved 7-0

	(May 27, 2010) Planning & Zoning Committee
Passed Second Reading:	July 6, 2010
Deferred:	July 20, 2010
Amended:	August 3, 2010
Passed Third Reading:	August 3, 2010
Approved:	August 9, 2010
By:	
Effective:	August 16, 2010

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