

Greenside Park

A Single Family Residential Specific Plan

Metro Planning Case No. 2010SP-006-001

Sheet Schedule	
1	C0.0 Cover Sheet
2	C1.0 SP Layout Plan
3	C2.0 Initial Erosion Control Plan
4	C3.0 Grading & Drainage Plan
5	C4.0 Utility Plan
6	C5.0 Site Details (1 of 2)
7	C5.1 Site Details (2 of 2)
8	C6.0 Landscape Plan

Previously Approved Design

The Preliminary Plan for this development was approved on April 11, 2006 and extended in 2009 under the name Socon Court (Subdivision # 2006S-0960-45) to consist of 12 single-family dwellings. The current Grading Permit (SWCR 2006-125) is for a traditional subdivision design for single family lots served by a public road. All stormwater requirements are met through a Dry Detention Basin. The active, approved construction plans are governed by the old regulations which required only 60% TSS Removal and Detention measures up to the 10 year storm event. A NPDES General Permit Notice of Coverage was issued under Tracking Number TNR144026. Water & Sewer was installed per Plans approved under project numbers 06-WL-79 & 06-SL-88, respectively.

Proposed Redesign

The development shown on this plan is currently proposed as a Specific Plan Zoning District. Density is proposed to be increased but in return multiple low impact features will be provided. Furthermore, the storm water design will be increased to meet the current regulations. The combination of the permeable driveways and the 12 proposed rain gardens will provide 80% TSS Removal and the underground detention system will reduce developed runoff to its natural state for all storm events up to the 100 year storm.

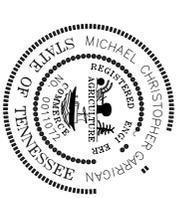


LOCATION MAP
(NOT TO SCALE)

SPECIFIC PLAN DEVELOPMENT SUMMARY

USE	SINGLE FAMILY
PROPOSED ZONING: SP (RES)	SUBORDINATING ZONING: RS10
SITE ACREAGE	3.99 ACRES
NUMBER OF LOTS / DENSITY	13 LOTS / 3.8 UNITS PER ACRE
MINIMUM LOT AREA	5,000 SQ FT
MAXIMUM BUILDING COVERAGE	0.50
FRONT YARD SETBACK	10' FROM PRIVATE DRIVE
SIDE YARD SETBACK	5' FROM SIDE LINES
REAR YARD SETBACK	20' FROM BOUNDARY LINE
HEIGHT STANDARDS	2 STORIES
REQUIRED PARKING	2 STALLS PER LOT

NOTE: FOR ANY STANDARDS NOT SPECIFICALLY SPECIFIED ON THE ENCLOSED PLANS, THE STANDARDS OF RS5 ZONING DISTRICT SHALL APPLY.



Dale & DD Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Landscape Architecture
 Surveying

D&A Project #10012
 Greenside Park

C0.0
 1 of 8

516 Heather Place
 Nashville, Tennessee 37204
 (615) 297-5166

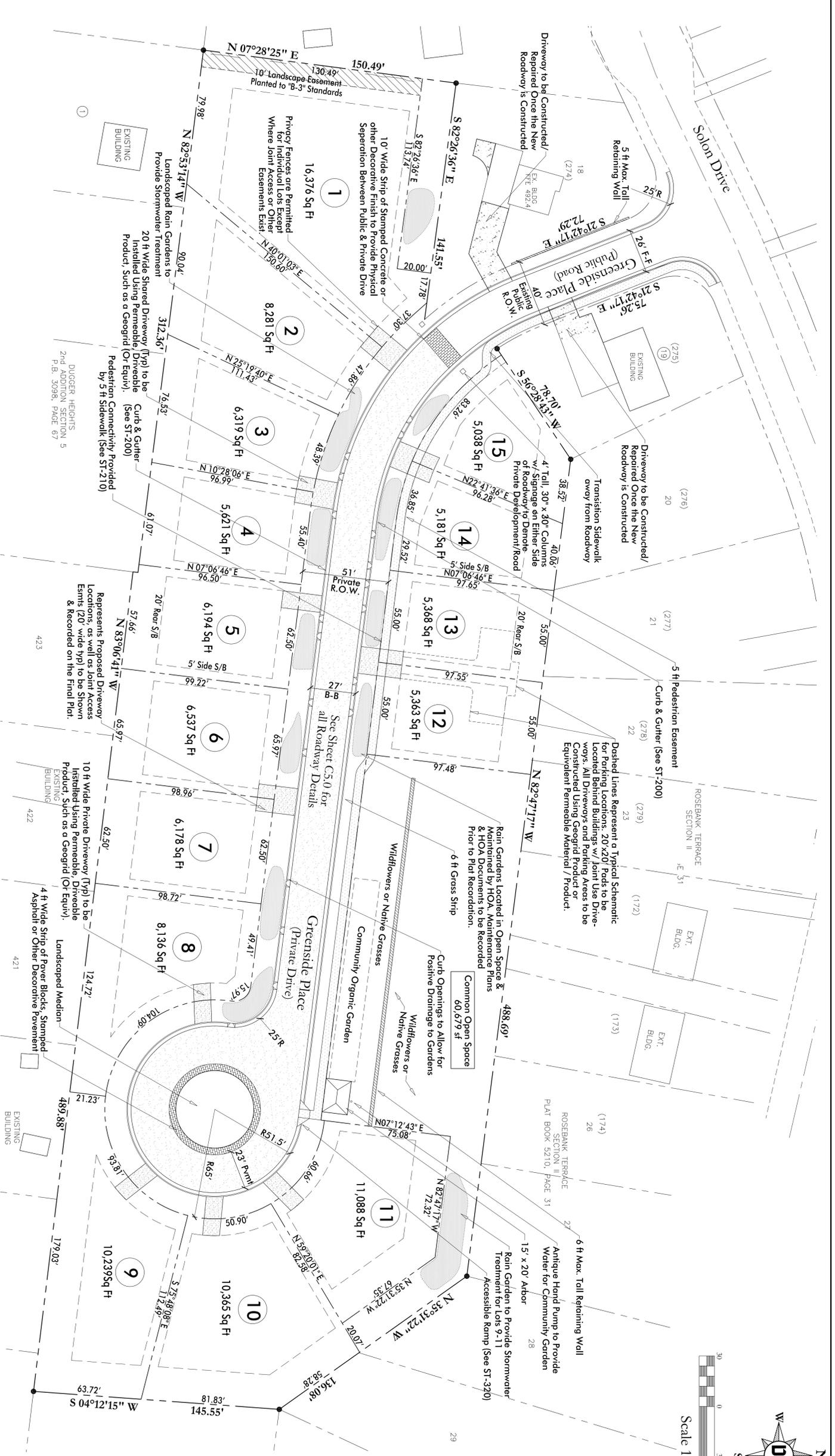
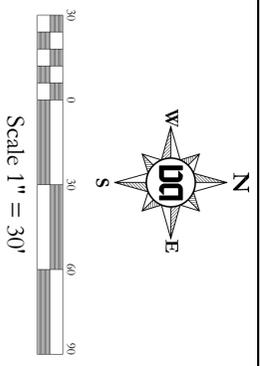
Exterior Building Materials
 Masonry: All exposed foundations will be standard sized (8"x8"x16") split-faced concrete masonry units.

Metal: Front porch columns and beams will be constructed from exposed, painted steel members. Typically steel tubes for columns and other channels or w-shapes for beams.

Exterior Cladding Systems: Clapboard siding to have between 4" and 8" exposure with a smooth face (cement fiber board or equal). Smooth panels to be installed as rain screen with exposed edges, minimum size of panel is 4' x 8' (cement fiber board or equal). Natural wood siding will be installed as a rain screen and stained (typical board to be 1x4 or 1x6). Fascia boards and exposed rafter tails will be painted.

Windows: Windows will be wood with fiberglass or aluminum cladding.

Roofing: All roofs with a slope of 3:12 or higher will be clad in architectural grade asphalt shingles. Any low-sloped roof will have a fully adhered gpm roof.



Low Impact/Sustainable Design Features

- 1) Interior Sidewalk: Limited to one side of the roadway to provide the necessary Pedestrian Connectivity while also reducing unnecessary Impervious Surfaces.
- 2) Driveways: Shall be constructed using a permeable material such as pavers or a geogrid product. Joint access driveways shall be utilized as shown on this plan.
- 3) Rain Gardens: Individual landscaped bioretention areas to be constructed on each lot to provide treatment for rooftops, access roadway, miscellaneous concrete walks & patios. Bioretention Sizing has been based upon 2,000 square feet of Impervious Area per Lot (driveways not included) and impervious surface of the roadway. Maintenance Agreements & Long Term Maintenance Plans shall be recorded to include all rain gardens as well as the underground detention system. Maintenance plans will be detailed and will show the importance of storm water management.
- 4) Detention System: In lieu of the previously approved dry pond constructed utilizing very steep slopes, guard rail and a large retaining wall, storm water quantity requirements will be accomplished using underground storage to allow for usable open space at grade.

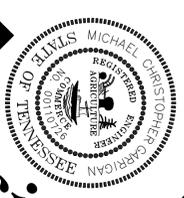
- 5) Community Garden: By installing underground storage in lieu of a standard Dry Pond, usable green area will be created for the 15 homeowners and other members of the community. This area will consist of an organic vegetable and wild flower garden, including an arbor and underground storage of rain water to be harvested for irrigation purposes. Rain Water Harvesting will save on domestic water usage and will be accessed by a hand pump to eliminate the need for electricity.
- 6) Rain Barrels: Each House/Lot shall be equipped with a 50 gallon (min) rain barrel to be used for landscape irrigation, to minimize the use of domestic water.
- 7) Earth Craft or LEED Certified Homes: Most importantly, each home will be constructed and certified to either Earth Craft or LEED standards. Furthermore, it is initially conceptualized that Green Building Permits will be obtained for each home's construction. Metro enacted the Green Permit for Residential Dwellings by passing Council Bill 2008-217. To date, only one single family dwelling has been constructed in Davidson County by way of the Green Permit.

Previously Approved Design

The Subdivision Plans for this development were approved in April 2006 under the name Solon Court (Subdivision # 2006S-0961-05). The current Grading Permit (SWG R 2006-125) is for a traditional subdivision design for single family lots served by a public road. All Stormwater requirements are met through a Dry Detention Basin. The active, approved plans are governed by the old regulations which required only 60% TSS Removal and Detention measures up to the 10 year storm event. A NPDES General Permit Notice of Coverage was issued under Tracking Number TNR144026. Water & Sewer was installed per plans approved under project numbers 06-W1-79 & 06-S1-88, respectively.

Proposed Redesign

The development shown on this plan is currently proposed as a Specific Plan rezoning. Density is proposed to be increased but in return multiple low impact features will be provided. Furthermore, the storm water design will be increased to meet the current regulations. The combination of the permeable driveways and the 12 proposed rain gardens will provide 80% TSS Removal and the underground detention system will reduce developed runoff to its natural state for all storm events up to the 100 year storm.



OWNER/DEVELOPER:
Woodland Street Partners, LLC
338 Harrison Street
Nashville, TN 37219

Contact: Brent Diaz
Phone: (631) 379-4289
Email: brent@woodlandstreetpartners.com

FLOOD NOTE:
This property does not lie within a Flood Hazard Area as depicted on the current Flood Insurance Rate Map (FIRM) Number 47037C0228F, Dated April 20, 2001

SITE BENCHMARKS:
Existing Fire Hydrant Tag Bolt Number 101116, NGVD Elevation 453.90
Existing Fire Hydrant Tag Bolt Number 101117, NGVD Elevation 476.19

SP Layout Plan

Dale & DD Associates
Consulting Civil Engineering
Land Planning & Zoning
Landscape Architecture

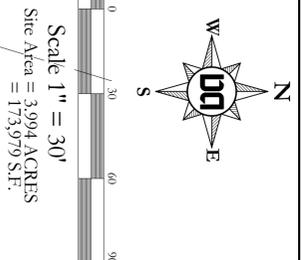
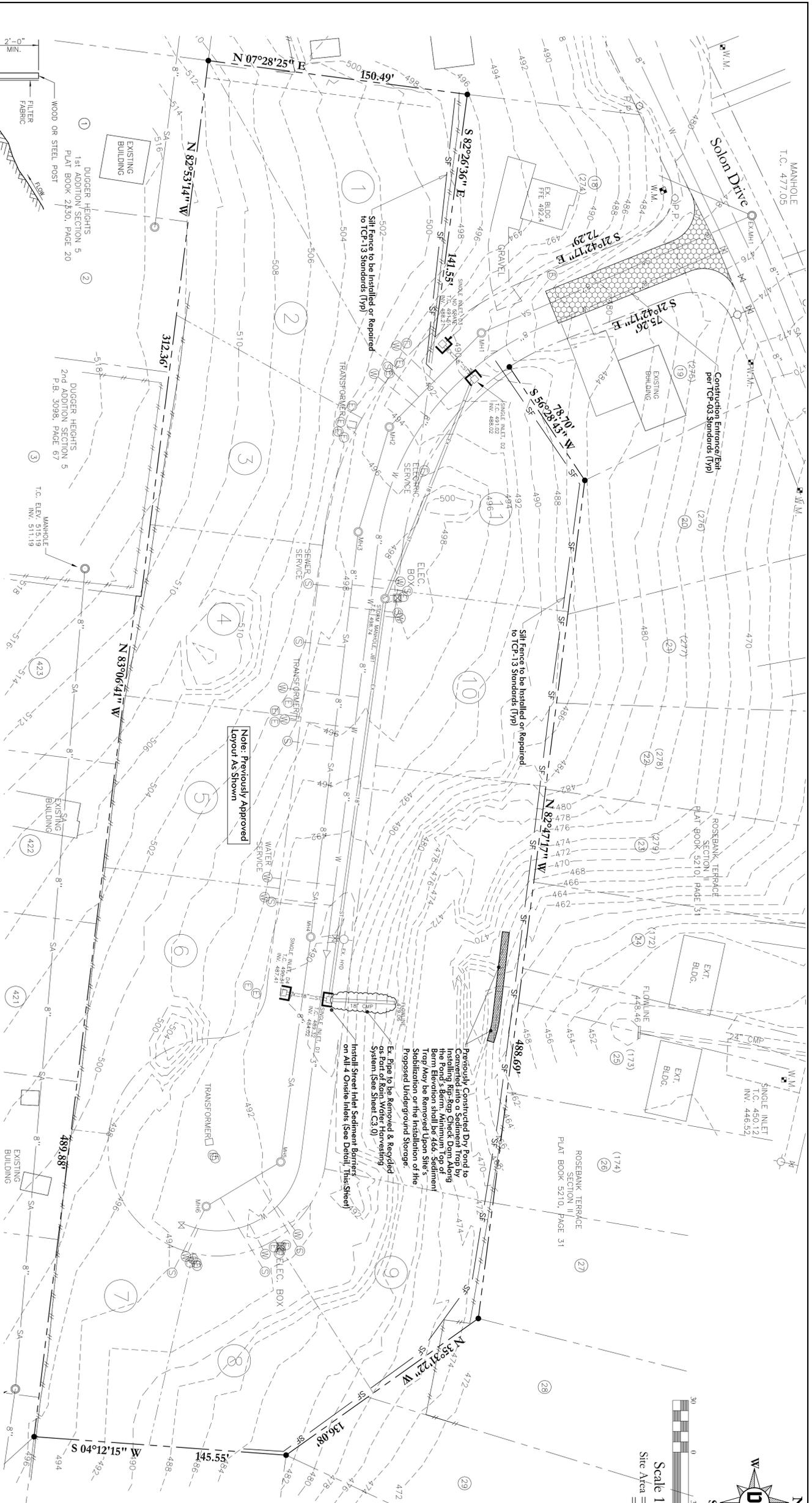
516 Heather Place
Nashville, Tennessee 37204
(615) 297-5166

D&A Project #10012
Greenside Park

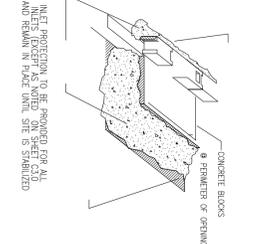
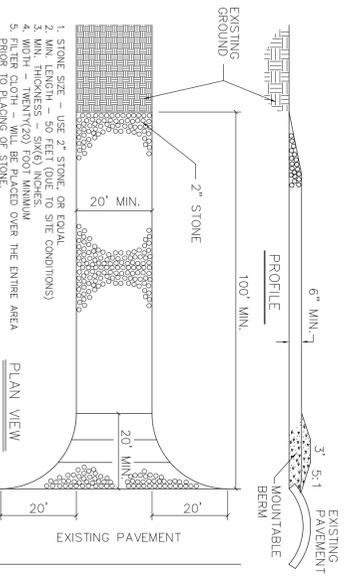
C1.0
2 of 8

Greenside Park
(Formerly Solon Court)
Being Parcels 22 & 285 on Tax Map 84-01 & 83-04
Nashville, Davidson County, Tennessee

Date: March 2010



- NOTES:
1. FILTER FABRIC FENCE TO BE PLACED PRIOR TO START OF ROUGH GRADING.
 2. STEEL POSTS SHALL BE APPROVED BY OWNER PRIOR TO USE.
 3. WOOD POSTS SHALL BE 2" x 2" MIN., OAK OR SIMILAR HARDWOOD.
 4. POSTS SHALL BE SPACED AT 6' INTERVALS.
 5. FILTER FABRIC SHALL BE SECURELY BOUND TO POSTS WITH EITHER STAPLES OR WIRE TIES.
 6. FILTER FABRIC SHALL BE POLYPROPYLENE FABRIC BY CORPS OF ENGINEERS GUIDE SPEC. CW 02215, WITH EQUIVALENT OPENING SIZE (E65) OF NO.100 SIEVE MIN., NO.40 SIEVE MAX., AS DETERMINED MAINTENANCE NOTES.
 7. INSPECT WEEKLY AND AFTER EACH RAINFALL.
 8. REPAIR WHEREVER FENCE IS DAMAGED.
 9. REMOVE SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE.
 10. INSPECT SILT FENCE WHEN RAIN IS FORECAST. PERFORM REQUIRED MAINTENANCE BEFORE THE STORM EVENT.
 11. REMOVE SILT FENCE WHEN NO LONGER NEEDED. FILL AND COMPACT PAST HOLES AND ANCHOR TRENCH. REMOVE SEDIMENT ACCUMULATION, AND GRADE.



AS THE "CERTIFIED" EROSION CONTROL SPECIALIST FOR THIS SITE, HAVE REVIEWED AND APPROVED THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S OF THIS PLAN ON _____ DATE _____

AS THE DESIGN ENGINEER RESPONSIBLE FOR THE DEVELOPMENT OF THESE PLANS, I DO HEREBY CERTIFY THAT THIS DEVELOPMENT WILL DISTURB ONE (1) OR MORE ACRES, AND A N.O.I. WILL BE REQUIRED BY THE STATE OF TENNESSEE.

ENGINEER _____ DATE _____

OWNER/DEVELOPER:
Woodland Street Partners, LLC
338 Harrison Street
Nashville, TN 37219

Contact: Brent Diaz
Phone: (631) 379-4289
Email: brent@woodlandstreetpartners.com

FLOOD NOTE:
This property does not lie within a Flood Hazard Area as depicted on the current Flood Insurance Rate Map (FIRM) Number 47037C0228F, Dated April 20, 2001

SITE BENCHMARKS:
Existing Fire Hydrant Tag Bolt Number 101116, NVD0 Elevation 453.90
Existing Fire Hydrant Tag Bolt Number 101117, NVD0 Elevation 476.19



Initial Erosion Control Plan

Dale & DD Associates
Consulting Civil Engineering
Land Planning & Zoning
Landscape Architecture
Surveying

516 Heather Place
Nashville, Tennessee 37204
(615) 297-5166

C2.0
3 of 8

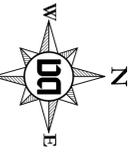
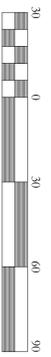
D&A Project #10012
Greenside Park

Greenside Park
(Formerly Solon Court)
Being Parcels 22 & 285 on Tax Map 84-01 & 83-04
Nashville, Davidson County, Tennessee

Date: March 2010

SEE METRO STORMWATER MANAGEMENT MANUAL
VOLUME 4 SECTION TOP-13
NOT TO SCALE

SEE METRO STORMWATER MANAGEMENT MANUAL
VOLUME 4 SECTION TOP-03
NOT TO SCALE



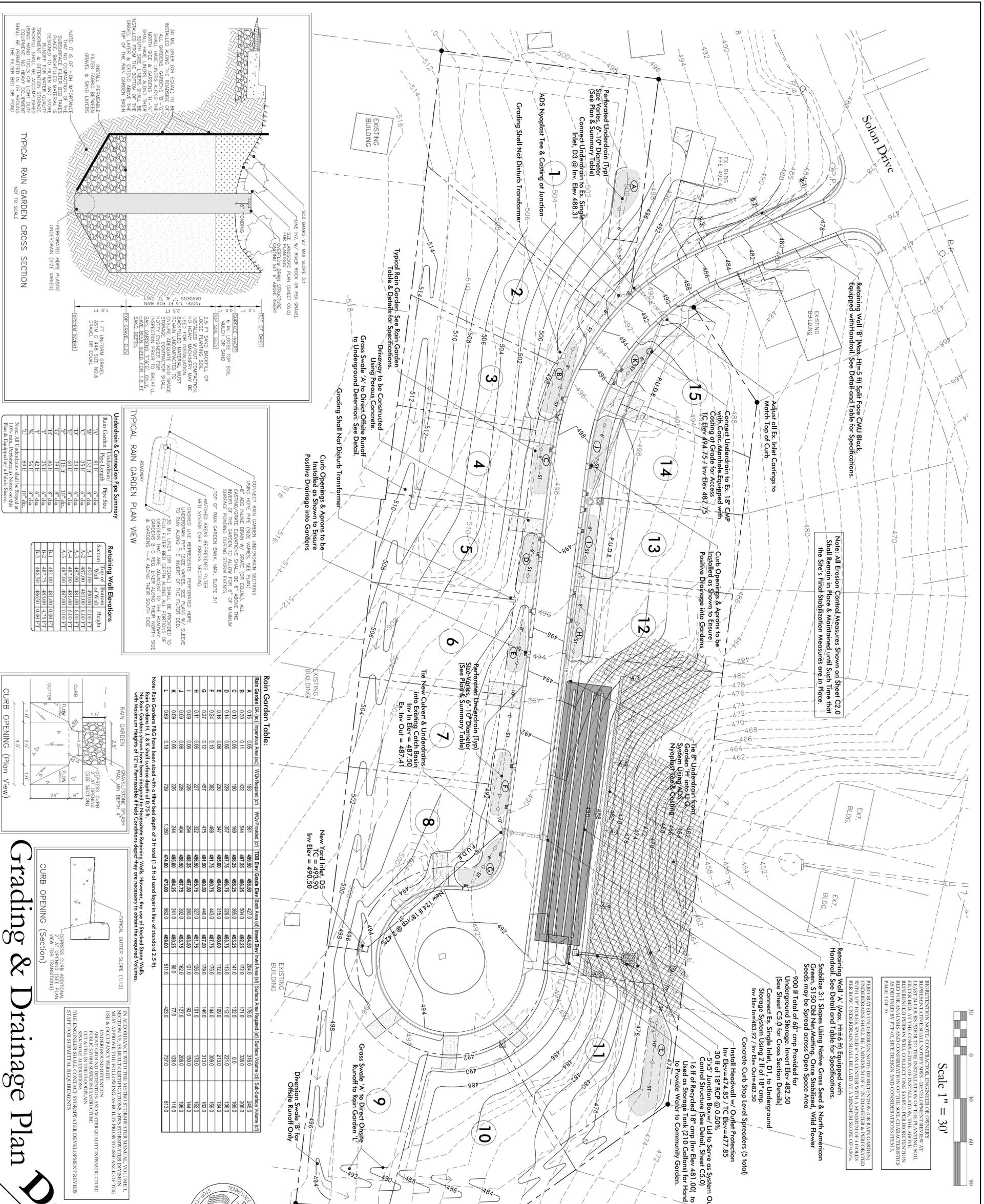
Site Area = 3994 ACRES
= 173,979 SF.

Date: March 2010

Greenside Park

(Formerly Solon Court)

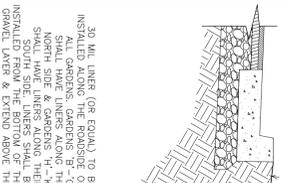
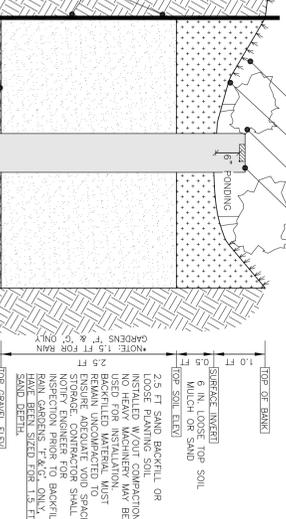
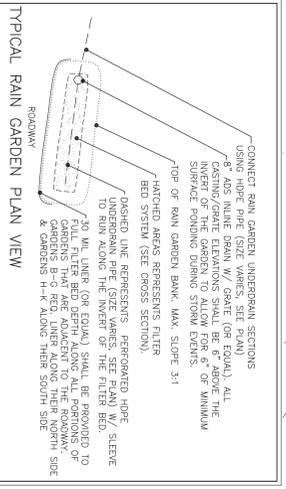
Being Parcels 22 & 285 on Tax Map 84-01 & 83-04
Nashville, Davidson County, Tennessee



Rain Garden Table:

Rain Garden (DN)	Req. Impervious Area (sq ft)	W/O Provided (sq ft)	W/O Provided (sq ft)	TOB Elev. Grade Elev. (ft)	Bank Area (sq ft)	Invert Elev. (ft)	Invert Elev. (ft)	Storm Area Required (sq ft)	Storm Volume (cu ft)	Storm Volume (cu ft)
A	0.05	0.05	0.05	488.50	427.0	484.50	24.0	178.0	318.0	268.0
B	0.10	0.10	0.10	488.50	427.0	484.50	24.0	357.0	630.0	536.0
C	0.10	0.10	0.10	488.50	427.0	484.50	24.0	357.0	630.0	536.0
D	0.14	0.06	228	487.25	488.75	483.75	14.0	112.0	271.0	180.0
E	0.16	0.06	230	487.00	489.00	484.00	11.0	108.0	263.0	180.0
F	0.24	0.06	382	487.50	489.50	484.50	21.0	168.0	360.0	180.0
G	0.27	0.12	457	487.50	489.50	484.50	21.0	168.0	360.0	180.0
H	0.11	0.06	227	487.50	489.50	484.50	21.0	168.0	360.0	180.0
I	0.09	0.06	226	488.25	489.25	484.25	12.0	92.0	192.0	150.0
J	0.09	0.06	224	488.50	489.50	484.50	12.0	92.0	192.0	150.0
K	0.09	0.06	226	488.50	489.50	484.50	12.0	92.0	192.0	150.0
L	0.09	0.19	729	488.00	492.00	487.00	9.0	423.0	737.0	610.0

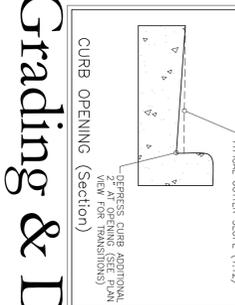
Note: Rain Gardens F-G-H have been sized with a filter bed depth of 3 ft and 1.5 ft of sand layer in lieu of standard 2.5 ft. No Rain Gardens shown have been designed to meet retention requirements. However, the use of Standard Storm Walls with maximum height of 12 ft is permissible if final conditions should show are necessary to obtain the required volumes.



Underdrain & Connection Pipe Summary

Rain Garden	Underdrain	Pipe Size	Length
A	1" x 10'	6" dia.	6' dia.
B	1" x 10'	6" dia.	6' dia.
C	1" x 10'	6" dia.	6' dia.
D	1" x 10'	6" dia.	6' dia.
E	1" x 10'	6" dia.	6' dia.
F	1" x 10'	6" dia.	6' dia.
G	1" x 10'	6" dia.	6' dia.
H	1" x 10'	6" dia.	6' dia.
I	1" x 10'	6" dia.	6' dia.
J	1" x 10'	6" dia.	6' dia.
K	1" x 10'	6" dia.	6' dia.
L	1" x 10'	6" dia.	6' dia.

Note: All Underdrains shall be sized at 100% min. flow rate. See notes on this sheet for details of all underdrains.



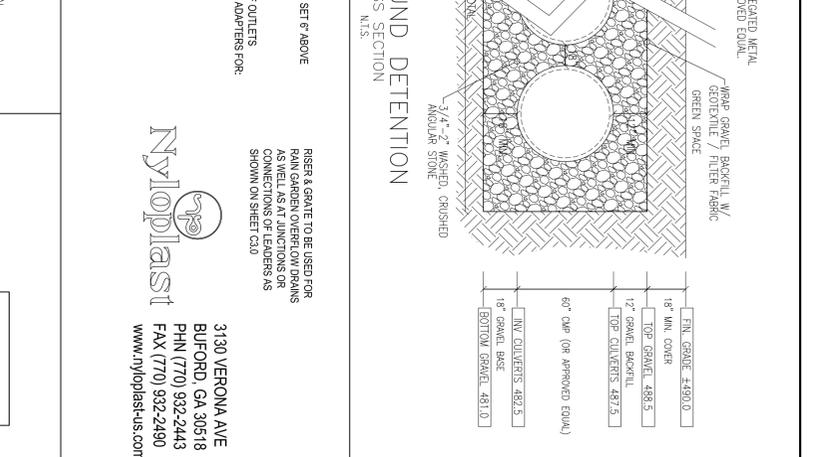
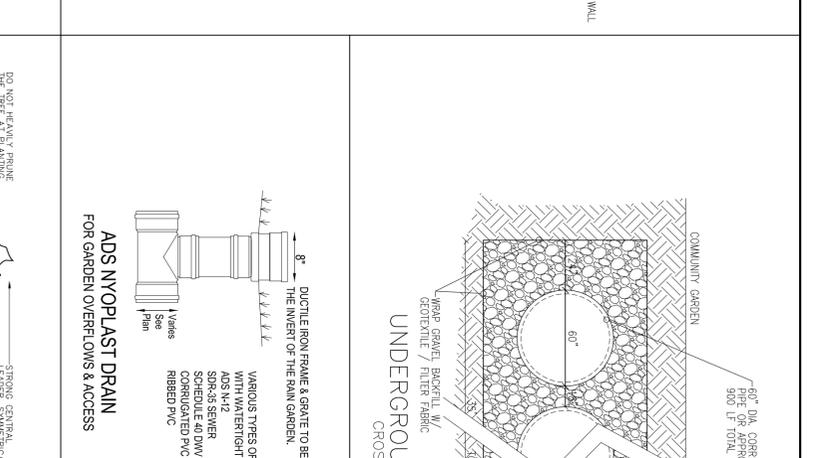
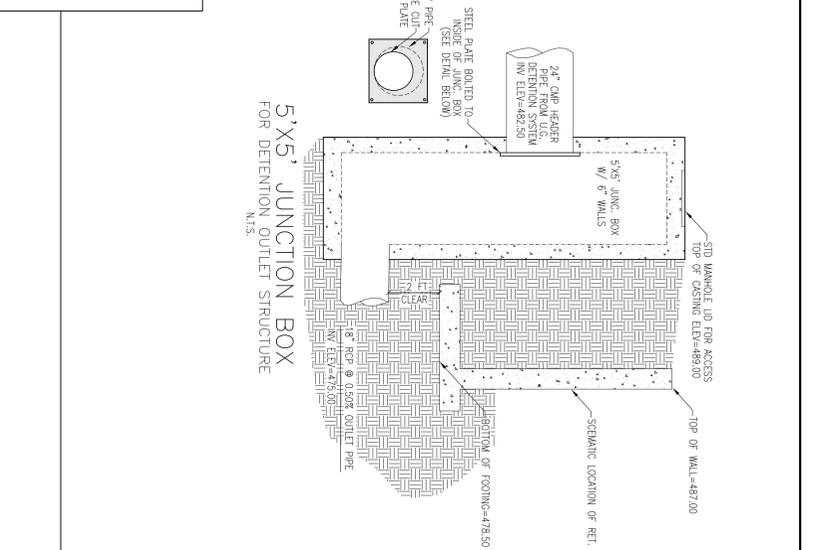
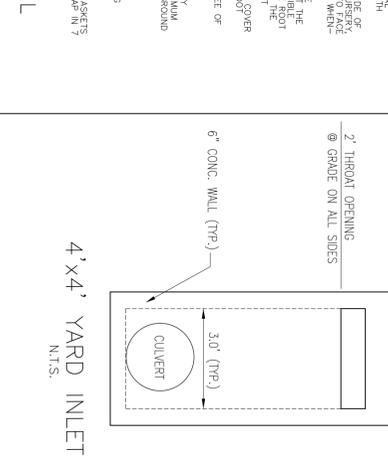
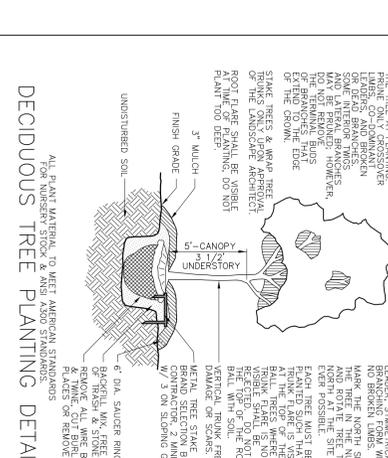
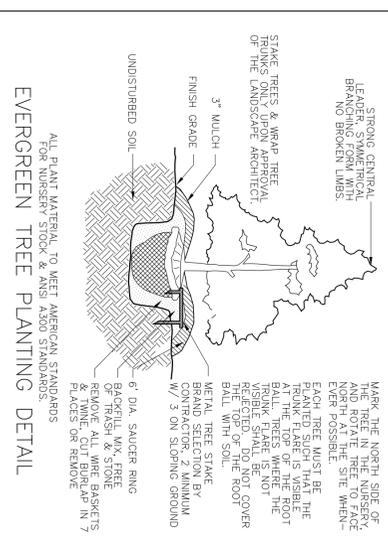
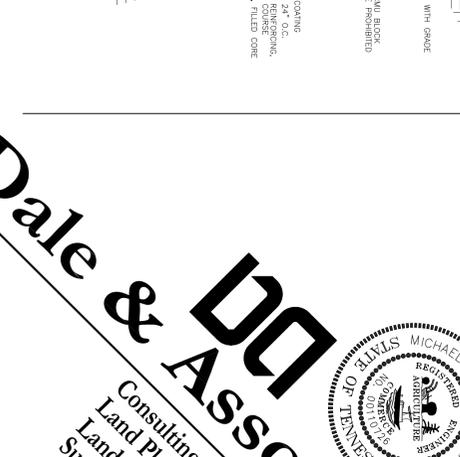
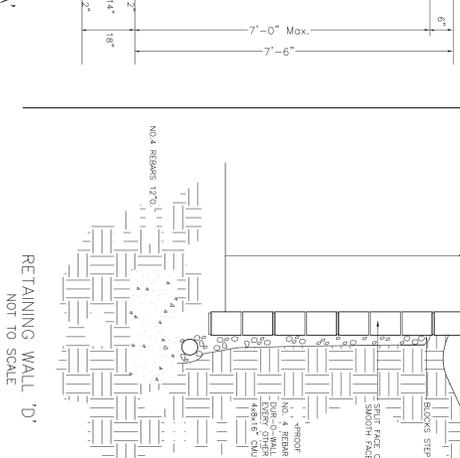
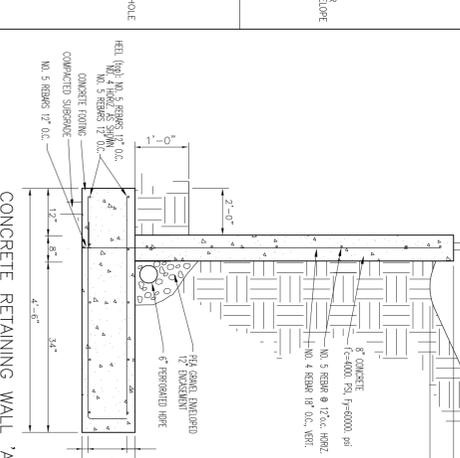
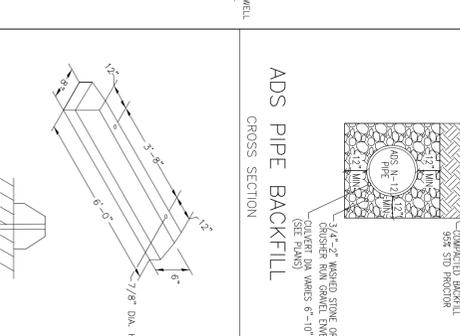
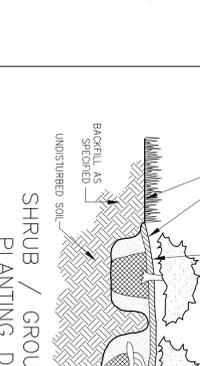
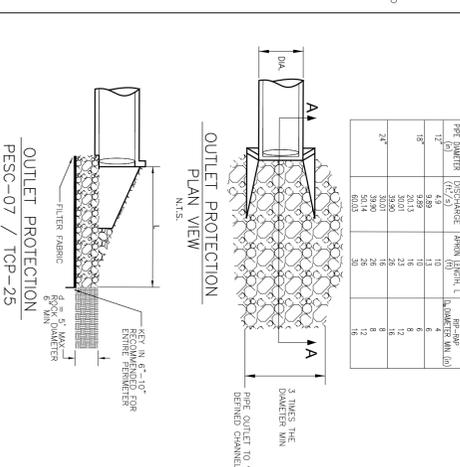
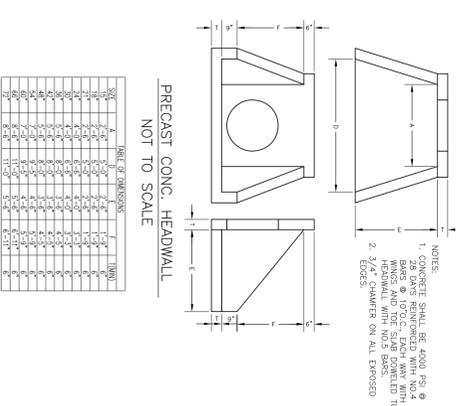
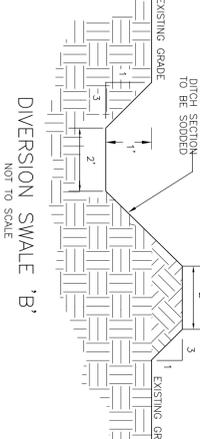
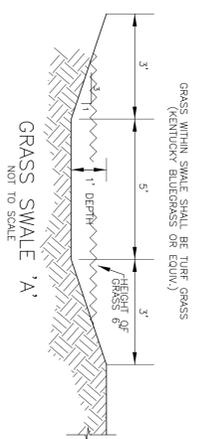
Grading & Drainage Plan

Dale & DD
Consulting Civil Engineering
Land Planning & Zoning
Landscape Architecture
Surveying



Erosion Control & Grading Notes:

1. EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
2. ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHERWISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 HOURS OR MORE OF KENTUCKY 31 HERSEED PER 1000 SQUARE FEET, AND A SEED MULCH OF 70%-80% COMPOST (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED.
3. EROSION CONTROL BARBERS IS CALLED OUT ON PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL, VOLUME FOUR, SECTION TOP-14.
4. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEWAGE BARBERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADD DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND REPAIR TO MEET ALL GOVERNING SICH WORK.
6. ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6" THICK.
7. THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATOR REPORT). SAND FILL MATERIAL IS TO BE FREE OF SOIL ROOTS, ROCKS, ROOTS SOILS, OR OTHER DECOMPOSABLE MATERIAL. SAND FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
8. THE CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE METRO WATER SERVICES WORKS DEPARTMENT (880-2420) PRIOR TO COMMENCING WORK.
9. THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ENGINEER. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION.
10. SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
11. THE CONTRACTOR SHALL FINISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND DRIVERS, INCLUDING WARNING SIGNS, AND LIGHTS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PROGRESS OR ADJACENT PREMISES OR UTILITIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HISSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
13. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SHALL BE IN COMPLIANCE WITH THE RULES & REGULATIONS SET FORTH IN THE METRO WATER SERVICES STORM WATER MANAGEMENT MANUAL. THE CONTRACT SHALL BE ONE OF THE NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION FOR HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE LAWS AND ORDINANCES OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
14. ALL REGIONAL CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED & CONSTRUCTION IS COMPLETE.
15. CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FILING IN ACCORDANCE WITH METRO 09-10 & 09-13. LOCATION TO BE DETERMINED WITH THE WORKS DEPARTMENT DURING THE PRE-CONSTRUCTION MEETING.
16. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN THE SERVICES OF A LICENSED GEOTECHNICAL ENGINEER PRIOR TO COMMENCING WITH CONSTRUCTION TO DETERMINE THE POTENTIAL OF THE EXISTENCE OF UNSATURATED SOIL MATERIAL. IF IT IS DETERMINED THAT THE SUBGRADE IS NOT SUITABLE FOR CONSTRUCTION AND UNDERDRAINING IS REQUIRED, THE CONTRACTOR SHALL CONTACT THE OWNER AND THE ENGINEER IMMEDIATELY.
17. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCING OF ANY CONSTRUCTION ACTIVITIES LOCATED WITHIN PUBLIC RIGHT OF WAY.



Site Details (1 of 2)

Dale & DD
Consulting Civil Engineering
Land Planning & Zoning
Landscape Architecture
Surveying

516 Heather Place
Nashville, Tennessee 37204
(615) 297-5166

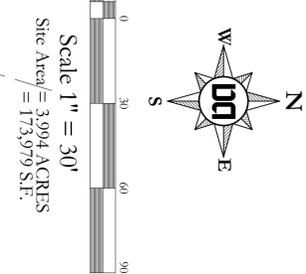
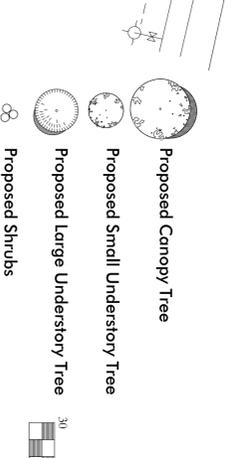
Greenside Park
(Formerly Solon Court)
Being Parcels 22 & 285 on Tax Map 84-01 & 83-04
Nashville, Davidson County, Tennessee

D&A Project #10012
Greenside Park

C5.0
6 of 8

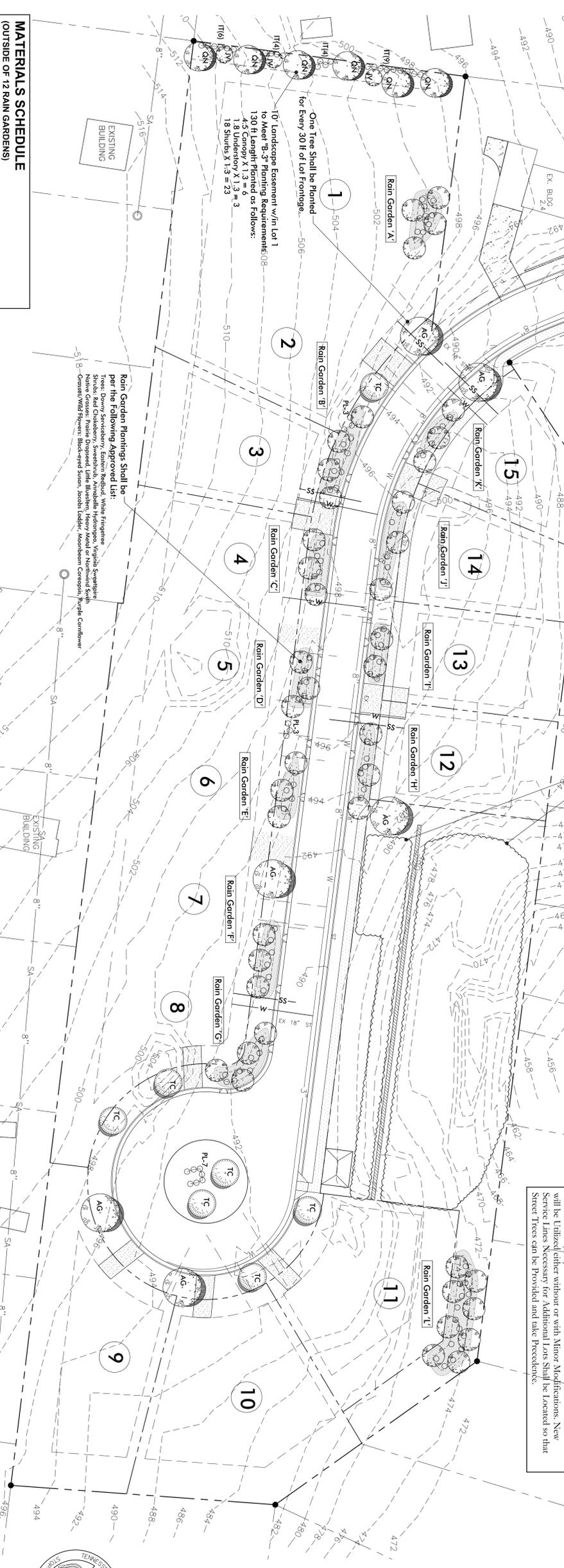
Dale & DD
REGISTERED PROFESSIONAL ENGINEERS
LAND PLANNING & ZONING
LANDSCAPE ARCHITECTURE
SURVEYING
STATE OF TENNESSEE

3130 YERONA AVE
BU-FORD, GA 30518
PHN (770) 332-2443
FAX (770) 332-2490
www.nyoplast-us.com



Residential Tree Ordinance (DL 2008-329)
 Residential properties shall attain the following tree density factors:
 B. Requirements for individual single and two-family residential lots:
 (1) Individual single and two-family lots, other than those lots zoned AG or AR2a, shall include at least one two-inch caliper tree for each thirty feet of lot frontage (or portion thereof), excluding alley frontage. Such trees must be chosen from the Forestry Recommended and Prohibited Tree and Shrub List, and shall be of a form and quality set out in the American Standard for Nursery Stock (ANSI Z60.1, latest edition).

Note: The majority of the Infrastructure & Service Lines are in Place & will be Utilized either without or with Minor Modifications. New Service Lines Necessary for Additional Lots Shall be Located so that Street Trees can be Provided and take Precedence.



MATERIALS SCHEDULE
 (OUTSIDE OF 12 RAIN GARDENS)

KEY	QTY	SCIENTIFIC NAME/ COMMON NAME	HEIGHT	SPREAD/TRUNK	REMARKS
TREES					
AG	6	Acer Chesnut/ Paperbark Maple	10-12'	5-6'	2' Min. 3 stems
TC	7	Tilia cordata Greenspire/ Greenspire Loblolly Linden	10-12'	5-6'	2' 4 Clear Trunk
JV	3	Juniperus virginiana Eastern Redcedar	8-10'	4-5'	2' F.T.B.
QN	6	Quercus nuttallii Nuttall Oak	12-14'	6-7'	2' 5 Clear Trunk
SHRUBS					
PL	13	Pinus burrocassus/ Common Cherry Laurel	24'-30'	18'-24'	F.T.B.
IT	23	Ilex virginica/ Virginia Sweetshrub	18'-24'	12'-18'	F.T.B.

LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
- ALL PLANTING AND MULCH BEDS SHALL BE HAND WEDED OR SPREAD WITH ROUND-UP (CONTRACTORS OPTION) PRIOR TO THE INSTALLATION OF MULCH.
- PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL, FREE OF ROOTS AND ROCKS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
- ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12#/1000 S.F. OF 10-10-10 FERTILIZER.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHEDDED HARDWOOD BARK MULCH.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE MATERIALS SCHEDULE.
- ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE 4" MINIMUM CLEAR TRUNK UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR Dying MATERIAL WITHIN THAT TIME PERIOD.
- NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY THE DESIGN PROFESSIONAL. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
- ALL WIRE BURGERS SHALL BE COMPLETELY REMOVED AND DISPOSED OF BEFORE PLANTING. ALL WIRE BURGERS SHALL BE COMPLETELY REMOVED AND DISPOSED OF BEFORE PLANTING. REMOVE ALL WIRE FROM BURIED MATERIALS.

RAIN GARDEN MATERIALS SUMMARY

Rain Garden	Understory Trees	Shrubs	Soil for Banks (sf)	Ground Cover (sf)
A	4	8	223	204
B	4	9	339	240
C	3	6	224	141
D	3	5	215	125
E	3	5	205	120
F	3	6	272	147
G	4	8	285	203
H	3	6	228	153
I	2	7	0	275
J	3	6	239	192
K	3	6	172	131
L	8	16	451	511

Note: Rain Gardens H, J, & K shall surface depth of 0.75 ft. Rain Garden L will have a 12" stacked stone or split-face retaining wall.

NOTE: HOSE BIRDS SHALL BE PROVIDED TO WITHIN 100 FT. TO ALL PLANTED MATERIAL. IRRIGATION SYSTEM TO BE DESIGNED BY QUALIFIED INSTALLER (DESIGN/BUILD) AND BE INSTALLED AND OPERATIONAL BEFORE COMMENCEMENT OF PLANTING. MATERIALS SHALL BE SUBMITTED TO THE DESIGN PROFESSIONAL FOR APPROVAL BEFORE COMMENCEMENT OF PLANTING. IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VERIFY ALL UTILITIES AND EASEMENTS & TO NOTIFY DESIGN PROFESSIONAL OF DISCREPANCIES AND CONFLICTS. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1, LATEST EDITION). PLANT MATERIAL REQUIREMENTS MATERIALS NOT MEETING THESE STANDARDS WILL BE REJECTED.

OWNER/DEVELOPER:
 Woodland Street Partners, LLC
 338 Harrison Street
 Nashville, TN 37219
 Contact: Brett Diaz
 Phone: (631) 373-4299
 Email: brett@woodlandstreetpartners.com

FLOOD NOTE:
 This property does not lie within a Flood Hazard Area as depicted on the current Flood Insurance Rate Map (FIRM) Number 47037 C0228F, Dated April 20, 2001

SITE BENEFICIARIES:
 Existing Fire Hydrant Tag Bolt Number 101116, NGVD Elevation 453.90
 Existing Fire Hydrant Tag Bolt Number 101117, NGVD Elevation 476.19

TREE DENSITY REQUIREMENTS

BEING PARCEL 22 ON TAX MAP 84-01 & PARCEL 285 ON TAX MAP 83-04. PROPERTY ZONE: SP

LOT FRONTAGE: 1,015 LF
 TREES REQUIRED (1 PER 30 LF): 34
 PROPOSED NEW TREES OUTSIDE OF RAIN GARDENS: 21
 PROPOSED NEW TREES WITHIN RAIN GARDENS: 43
 TREES PROVIDED (TOTAL): 65

LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
- ALL PLANTING AND MULCH BEDS SHALL BE HAND WEDED OR SPREAD WITH ROUND-UP (CONTRACTORS OPTION) PRIOR TO THE INSTALLATION OF MULCH.
- PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL, FREE OF ROOTS AND ROCKS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
- ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12#/1000 S.F. OF 10-10-10 FERTILIZER.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHEDDED HARDWOOD BARK MULCH.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE MATERIALS SCHEDULE.
- ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE 4" MINIMUM CLEAR TRUNK UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR Dying MATERIAL WITHIN THAT TIME PERIOD.
- NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY THE DESIGN PROFESSIONAL. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
- ALL WIRE BURGERS SHALL BE COMPLETELY REMOVED AND DISPOSED OF BEFORE PLANTING. ALL WIRE BURGERS SHALL BE COMPLETELY REMOVED AND DISPOSED OF BEFORE PLANTING. REMOVE ALL WIRE FROM BURIED MATERIALS.

RAIN GARDEN MATERIALS SUMMARY

Rain Garden	Understory Trees	Shrubs	Soil for Banks (sf)	Ground Cover (sf)
A	4	8	223	204
B	4	9	339	240
C	3	6	224	141
D	3	5	215	125
E	3	5	205	120
F	3	6	272	147
G	4	8	285	203
H	3	6	228	153
I	2	7	0	275
J	3	6	239	192
K	3	6	172	131
L	8	16	451	511

Note: Rain Gardens H, J, & K shall surface depth of 0.75 ft. Rain Garden L will have a 12" stacked stone or split-face retaining wall.

NOTE: HOSE BIRDS SHALL BE PROVIDED TO WITHIN 100 FT. TO ALL PLANTED MATERIAL. IRRIGATION SYSTEM TO BE DESIGNED BY QUALIFIED INSTALLER (DESIGN/BUILD) AND BE INSTALLED AND OPERATIONAL BEFORE COMMENCEMENT OF PLANTING. MATERIALS SHALL BE SUBMITTED TO THE DESIGN PROFESSIONAL FOR APPROVAL BEFORE COMMENCEMENT OF PLANTING. IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VERIFY ALL UTILITIES AND EASEMENTS & TO NOTIFY DESIGN PROFESSIONAL OF DISCREPANCIES AND CONFLICTS. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1, LATEST EDITION). PLANT MATERIAL REQUIREMENTS MATERIALS NOT MEETING THESE STANDARDS WILL BE REJECTED.

OWNER/DEVELOPER:
 Woodland Street Partners, LLC
 338 Harrison Street
 Nashville, TN 37219
 Contact: Brett Diaz
 Phone: (631) 373-4299
 Email: brett@woodlandstreetpartners.com

FLOOD NOTE:
 This property does not lie within a Flood Hazard Area as depicted on the current Flood Insurance Rate Map (FIRM) Number 47037 C0228F, Dated April 20, 2001

SITE BENEFICIARIES:
 Existing Fire Hydrant Tag Bolt Number 101116, NGVD Elevation 453.90
 Existing Fire Hydrant Tag Bolt Number 101117, NGVD Elevation 476.19

Dale & DD Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Landscape Architecture
 Surveying

516 Heather Place
 Nashville, Tennessee 37204
 (615) 277-5186

DDA Project #10012
 Greenside Park
 8 of 8

Greenside Park
 (Formerly Solon Court)
 Being Parcels 22 & 285 on Tax Map 84-01 & 83-04
 Nashville, Davidson County, Tennessee

Date: March 2010