

PRELIMINARY & FINAL SPECIFIC PLAN FOR CARMAX - RIVERGATE ADDITION STORE NO. 7284 EXPANSION 2353 GALLATIN PIKE MADISON, DAVIDSON COUNTY, TENNESSEE

BWSC

PROJECT No.
35223-00

MARCH 27, 2012
INITIAL SUBMITTAL

APRIL 17, 2012
MPC COMMENTS

MAY 07, 2012
REVISED
SP SUBMITTAL

JULY 26, 2012
FINAL SUBMITTAL

INDEX OF DRAWINGS

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NOTES:

THE PURPOSE OF THIS SP PLAN IS REZONE 2.33 ACRES OF PROPERTY FROM CS TO SP TO ALLOW FOR VEHICLE SALES, AUTOMOBILE REPAIR, AUTOMOBILE SERVICES, AND AUTOMOBILE PARKING.

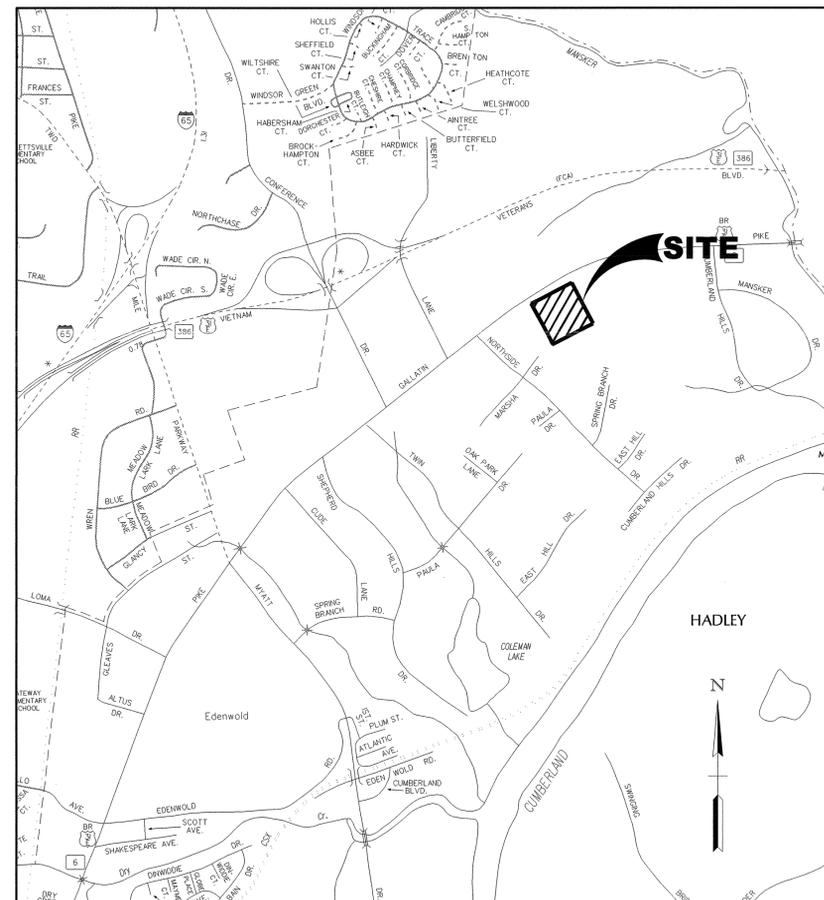
ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.

THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.

PARCELS 4, 6, & 7 TO BE CONSOLIDATED BY PLAT INTO ONE (1) LOT. PLAN IS SUBJECT TO STORMWATER MAINTENANCE AGREEMENTS.

CONDITIONS OF APPROVAL:

- FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE "CS" ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
- MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.



DEVELOPMENT SUMMARY	
PROJECT NAME	CARMAX
SUBMITTAL DATE	04/17/12
MAP / PARCEL NUMBERS	MAP 26-12, PARCELS 4, 6, 7
COUNCILMATIC DISTRICT	10th DISTRICT
COUNCILMEMBER NAME	DOUG PARDUE

COMMUNITY PLAN: MADISON COMMUNITY PLAN (4)
 LAND USE POLICY: SUBURBAN MIXED USE LAND USE POLICY
 THE SP IS CONSISTENT WITH THE AREA'S LAND USE POLICY
 APPLICATION NUMBER: 2010SP-022-003

BWSC
 BARGE
 WAGGONER
 SUMNER &
 CANNON, INC.

211 Commerce Street, Suite 600 Nashville, Tennessee 37201
 PHONE (615) 254-1500 FAX (615) 255-6572

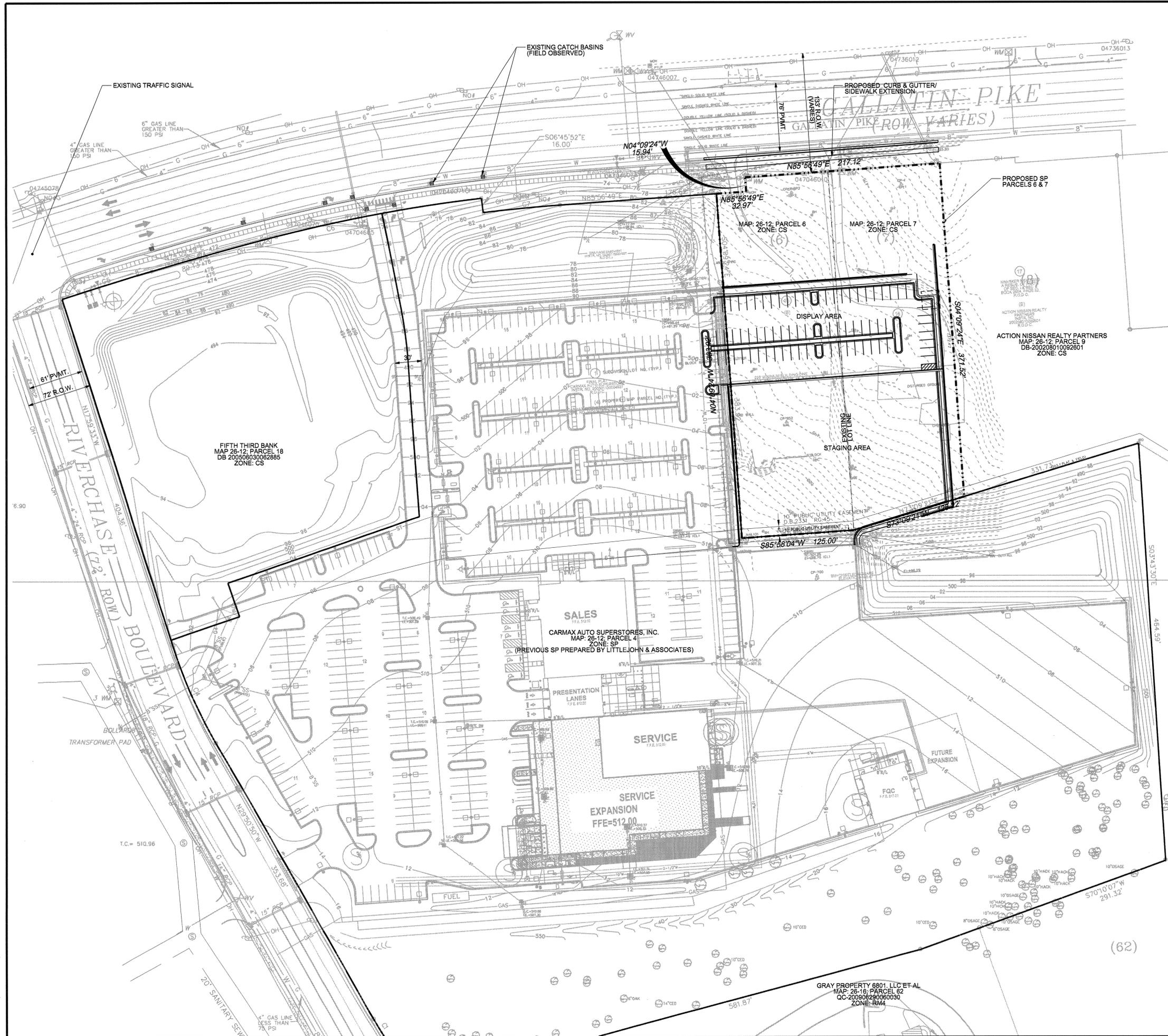
FEMA NOTE:
 THIS PROPERTY IS NOT LOCATED IN A FLOOD PLAIN ACCORDING FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBERS 47037C0141G, DATED NOVEMBER 21, 2002.

PRELIMINARY & FINAL SPECIFIC PLAN

FOR
 CARMAX - RIVERGATE ADDITION
 STORE NO. 7284 EXPANSION

2353 GALLATIN PIKE, MADISON, DAVIDSON COUNTY, TENNESSEE

C0.01



SITE DEVELOPMENT SUMMARY:

TAX MAP AND PARCEL NUMBER: DAVIDSON COUNTY TAX MAP 26-12, PARCELS 4, 6, & 7
 COUNCIL DISTRICT: 10
 COUNCIL MEMBER: Mr. DOUG PARDUE
 PARCEL 4: OWNER: CARMAX AUTO SUPERSTORES, INC. ADDRESS: P.O. BOX 29956 RICHMOND, VA 23242 PHONE NO: (804) 747-0422 FAX NO: (804) 935-4547 CONTACT NAME: K.DOUGLASS MOYERS E-MAIL ADDRESS: DOUGLASS_MOYERS@carmax.com
 PARCEL 6: OWNER: JOHN T. DOWNS 5128 WEBBER DR. KNOXVILLE, TN 37920 ALLEN DOWNS 820 VAN NESS CIR. LONGWOOD, FL 32750
 PARCEL 7: OWNER: JOHN A.L. LARDE JR. 1240 LIBERTY LANE GALLATIN, TN 37068
 SP NAME: CARMAX-RIVERGATE
 SP NUMBER: 2010SP-022-003
 EXISTING ZONING: SP - PARCEL 4 CS-COMMERCIAL SERVICES (6&7)
 TAX MAP AND PARCEL NUMBER: DAVIDSON COUNTY TAX MAP 26-12, PARCELS 4, 6, & 7
 APPLICANT: CENTERPOINT INTERGRATED SOLUTIONS, LLC ADDRESS: 1240 BERGEN PARKWAY, SUITE A-250 EVERGREEN, CO 80439 PHONE NO.: (303) 679-6977 FAX NO.: (303) 670-4172 CONTACT NAME: HEATH KENNEDY E-MAIL ADDRESS: HKENNEDY@CENTERPOINT-IS.COM
 FEMA MAP: NOT IN FLOOD ZONE 47037C0141G (NOV. 21, 2002)

SITE DATA TABLE:

ACREAGE:	EXISTING (4): 15.04 ACRES
	PROPOSED (6&7): 2.33 ACRES
	TOTAL: 17.37 ACRES
BUILDING AREA:	TOTAL BUILDING SF = 53,820 (EXISTING)
	13,410 SF SALES
	29,130 SF SERVICE
	11,280 SF FQC
FLOOR AREA RATIO:	0.60 (MAX)
	0.10 (EXISTING)
	0.087 (PROPOSED)
IMP. SURFACE RATIO:	0.90 (MAX)
	0.65 (EXISTING)
	0.65 (PROPOSED)
PARKING:	TOTAL REQ. = 241
	54 (1 / 250 SF ENCLOSED SALES)
	109 (1 / 1,000 SF OUTDOOR DISPLAY)
	56 (2 / SERVICE BAY OR STALL)
	PROVIDED: EXISTING: 228
	REMOVED: 7
	ADDED: 77
LANDSCAPING:	TOTAL: 298
	14 TREE DENSITY UNITS / ACRE
COMMUNITY PLAN:	MADISON COMMUNITY PLAN (4)
LAND USE POLICY:	SUBURBAN MIXED USE LAND USE POLICY
	THE SP IS CONSISTENT WITH THE AREA'S LAND USE POLICY

GRAY PROPERTY 6801, LLC ET AL
 MAP 26-18, PARCEL 62
 QC-200906290060030
 ZONE: RM4

APPLICATION NUMBER:
 2010SP-022-003

MAP / PARCEL NUMBERS
 MAP 26-12, PARCELS 4, 6, 7

10th COUNCILMANIC DISTRICT
 COUNCILMAN DOUG PARDUE

BENCHMARK
 CHISELED SQUARE
 ELEV 498.67
 NAVD-88



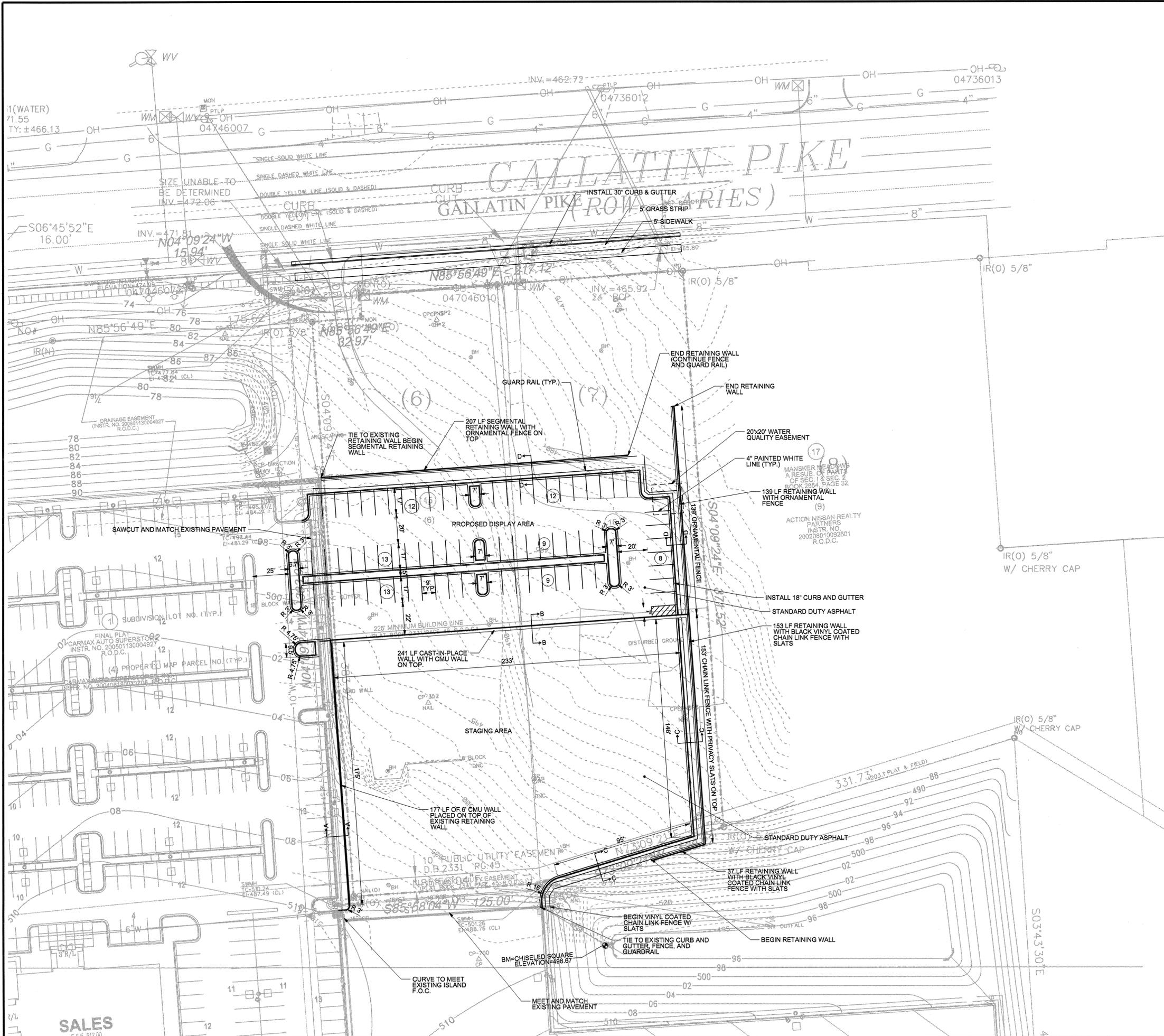
BARGE WAGGONER SUMNER & CANNON, INC.
BWSC
 21 Commerce Street, Suite 600 Nashville, Tennessee 37203
 PHONE (615) 254-5500 FAX (615) 254-5572

OVERALL SITE PLAN
CARMAX - RIVERGATE ADDITION
 2363 GALLATIN PIKE
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE

CHK.	DATE	DESCRIPTION
MCK	JLG 03/29/12	INITIAL SUBMITTAL
MCK	JLG 04/17/12	MPC COMMENTS
MCK	JLG 05/07/12	STORMWATER COMMENTS
MCK	JLG 05/07/12	REVISED SP SUBMITTAL
MCK	JLG 05/14/12	STORMWATER COMMENTS
MCK	JLG 06/05/12	STORMWATER COMMENTS
MCK	JLG 07/26/12	STORMWATER COMMENTS

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NOTES:

THE CONTRACTOR SHALL VERIFY LOCATIONS AND INVERTS OF ALL EXISTING UTILITIES (INCLUDING STORM DRAINAGE PIPES OR STRUCTURES) BEFORE COMMENCEMENT OF CONSTRUCTION.

IN EASEMENTS, CONTRACTOR SHALL PROTECT AND RESTORE PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.

SURPLUS MATERIAL NOT REQUIRED FOR SITE CONSTRUCTION SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AFTER THE OWNER'S APPROVAL.

FILL MATERIAL REQUIRED, IF ANY, SHALL BE BORROWED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC., AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.

ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT SPECIFICATIONS OF THE METROPOLITAN DEPARTMENT OF PUBLIC WORKS.

CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS.

ANY DAMAGE TO EXISTING ASPHALT SURFACE RESULTING FROM NEW CONSTRUCTION SHALL BE REPLACED BY LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.

IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. IF ENGINEER IS NOT NOTIFIED, THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.

CONTRACTOR TO NOTIFY METROPOLITAN DEPARTMENT OF PUBLIC WORKS CONSTRUCTION COMPLIANCE DIVISION THREE DAYS PRIOR TO BEGINNING WORK.

FILL SHALL BE PLACED IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.

ALL RADII OF CURB TO BE 5'0" UNLESS OTHERWISE NOTED.

ALL DIMENSIONS MEASURED TO FACE OF CURB. SIDEWALK DIMENSIONS INCLUDE CURB.

BARGE WAGGONER SUMNER & CANNON, INC.

BWSC

21 Commerce Street, Suite 600 Nashville, Tennessee 37203
PHONE: (615) 254-6500 FAX: (615) 255-6572



SITE LAYOUT PLAN

CARMAX - RIVERGATE ADDITION

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

CHK.	DATE	DESCRIPTION
MCK	JLG 03/29/12	INITIAL SUBMITTAL
MCK	JLG 04/17/12	MPC COMMENTS
MCK	JLG 06/07/12	STORMWATER COMMENTS
MCK	JLG 05/07/12	REVISED SF SUBMITTAL
MCK	JLG 05/14/12	STORMWATER COMMENTS
MCK	JLG 06/26/12	STORMWATER COMMENTS
MCK	JLG 07/26/12	STORMWATER COMMENTS

APPLICATION NUMBER: 2010SP-022-003

MAP / PARCEL NUMBERS: MAP 26-12, PARCELS 4, 6, 7

10th COUNCILMANIC DISTRICT COUNCILMAN DOUG PARDUE

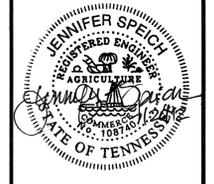
BENCHMARK
CHISELED SQUARE
ELEV 498.67
NAVD-83

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SCALE: 1 INCH = 30 FEET

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FILE NO. 35223-00

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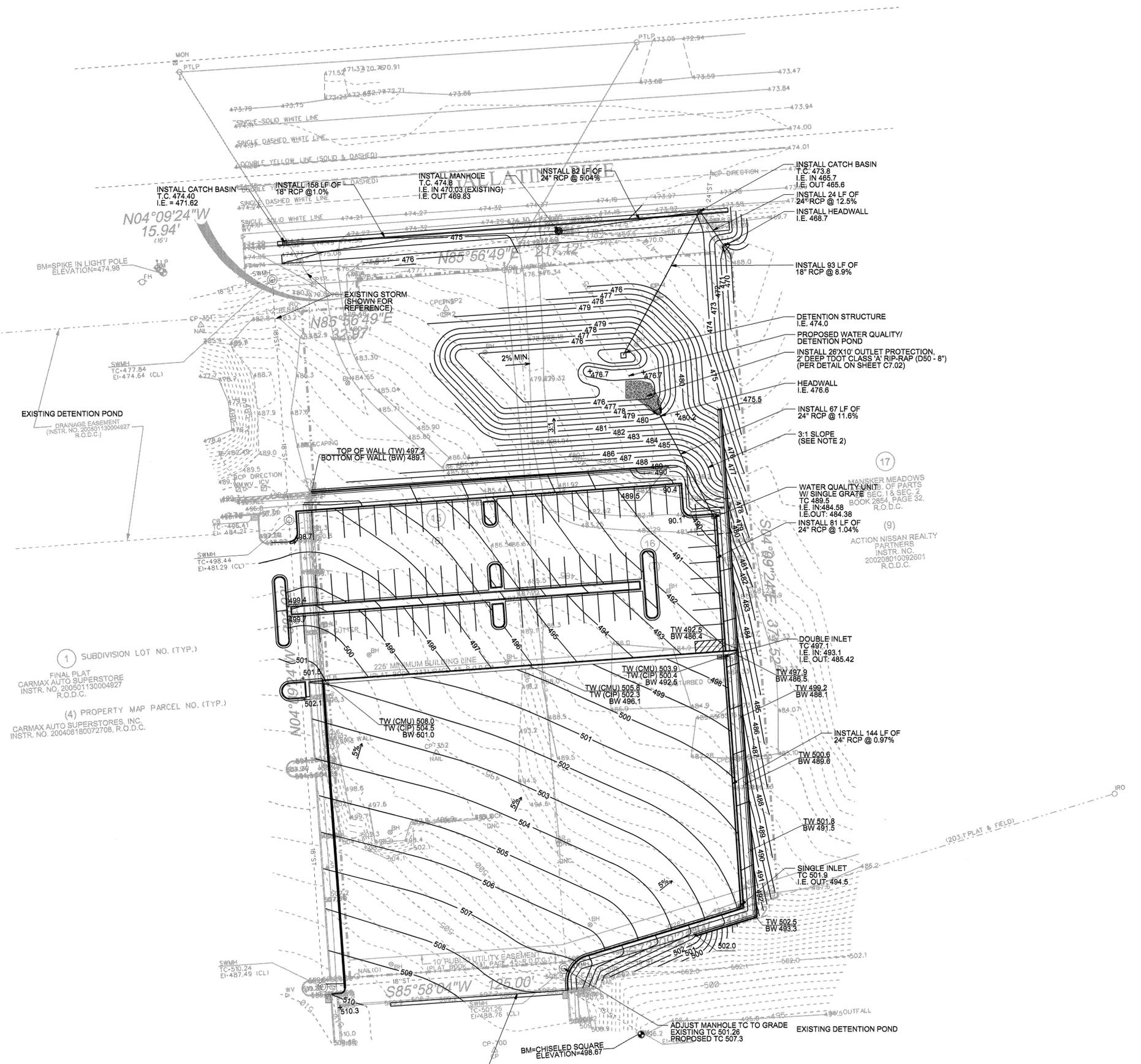


- NOTES:**
1. FILL IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS
 2. INSTALL GENUINE GEOWEB SLOPE WITH ATRA ANCHORS. SEE DETAIL SHEET C7.02.

AS-BUILT NOTE:
 IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:
 - UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
 - ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
 - PUBLIC STORM SEWER INFRASTRUCTURE
 - CUT AND FILL IN THE FLOODPLAIN
 - SINK HOLE ELEVATIONS
 THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS.

GRADING AND DRAINAGE PLAN

CARMAX - RIVERGATE ADDITION
 2363 GALLATIN PIKE
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE



1 SUBDIVISION LOT NO. (TYP.)
 FINAL PLAT
 CARMAX AUTO SUPERSTORE
 INSTR. NO. 200501130004927
 R.O.D.C.

(4) PROPERTY MAP PARCEL NO. (TYP.)
 CARMAX AUTO SUPERSTORES, INC.
 INSTR. NO. 200408180072708, R.O.D.C.

APPLICATION NUMBER:
 2010SP-022-003

MAP / PARCEL NUMBERS
 MAP 26-12, PARCELS 4, 6, 7

10th COUNCILMANIC DISTRICT
 COUNCILMAN DOUG PARDUE

SCALE: 1 INCH = 30 FEET

BENCHMARK
 CHISELED SQUARE
 ELEV 498.67
 NAVD-88

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DR	CHK	DATE	DESCRIPTION
MCK	JLG	03/29/12	INITIAL SUBMITTAL
MCK	JLG	04/17/12	MPC COMMENTS
MCK	JLG	06/02/12	STORMWATER COMMENTS
MCK	JLG	05/07/12	REVISED SF SUBMITTAL
MCK	JLG	05/14/12	STORMWATER COMMENTS
MCK	JLG	06/06/12	STORMWATER COMMENTS
MCK	JLG	07/26/12	STORMWATER COMMENTS

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 FILE NO. 35223-00

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LANDSCAPE PLAN
CARMAX - RIVERGATE ADDITION
 2859 GALLATIN PIKE
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
MCK	JLG	03/28/12	INITIAL SUBMITTAL
MCK	JLG	04/17/12	MPC COMMENTS
MCK	JLG	05/02/12	STORMWATER COMMENTS
MCK	JAF	05/07/12	REVISED SF SUBMITTAL
MCK	JLG	05/14/12	STORMWATER COMMENTS

PLANT LEGEND: (SEE SHEET L7.01 FOR SITE TOTALS)

- EXISTING TREE TO REMAIN
- OCTOBER GLORY RED MAPLE (AR)
- DURA-HEAT RIVER BIRCH (BN)
- COLUMNAR EUROPEAN HORNBEAM (CB)
- CHEROKEE BRAVE FLOWERING DOGWOOD (CF)
- VIRGINIA PINE (PV)
- LOBLOLLY PINE (PT)
- SHAWNEE BRAVE BALD CYPRESS (TD)
- HELLER JAPANESE HOLLY (IC)
- CHINA BOY & CHINA GIRL HOLLY (IM)
- SEA GREEN JUNIPER (JC)
- BIG BLUE LIRIOPE (LM)
- RIVER ROCK (2-3" MAX. EGG SHAPED STONES)

NOTES:

- ALL AREAS OUTSIDE OF LANDSCAPE & STONE BEDS SHALL HAVE A PERMANENT STAND OF TURF-TYPE TALL FESCUE (SEE SHEET L7.01 FOR SEEDING & SODDING NOTES)
- ALL LANDSCAPE AREAS SHALL RECEIVE PERMANENT IRRIGATION. CONTRACTOR TO SUBMIT IRRIGATION DRAWINGS TO A/E FOR APPROVAL PRIOR TO INSTALLATION.

LANDSCAPE REQUIREMENTS:

PARKING LOT = 1 TREE / 15 PARKING SPACES
 PARKING SPACES ADDED = 76 SPACES
 TOTAL DISPLAY AREA PARKING = 394 SPACES
 TOTAL TREES REQUIRED = 27 TREES
 TOTAL TREES PROVIDED = 32 TREES

PARKING LOT = 8% MIN. INTERIOR LANDSCAPE AREA
 PARKING AREA ADDED = 22,827 S.F.
 TOTAL DISPLAY PARKING LOT AREA = 133,243 S.F.
 TOTAL INTERIOR LANDSCAPING REQUIRED = 10,859 S.F. (8.0%)
 TOTAL INTERIOR LANDSCAPING PROVIDED = 12,221 S.F. (9.2%)

1 TREE / 100 L.F. OF PARKING PERIMETER ALONG R.O.W.
 (CHANGED TO 100 L.F. FROM 50 L.F. DUE TO PARKING LOT BEING ELEVATED ABOVE ROAD & ADJACENT PROPERTY BY GREATER THAN 30 INCHES)

GALLATIN PIKE = 266 L.F.
 TREES REQUIRED = 3 TREES
 TREES PROVIDED = 6 TREES
 (DOUBLE ROW OF EVERGREEN SHRUBS PROVIDED)

APPLICATION NUMBER:
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SCALE: 1 INCH = 30 FEET

TREE DENSITY WORKSHEET
 (Ordinance 94-1104)

Date: 01/16/2012
 Map: _____ Parcel: _____
 Application Number: _____
 Project Name: CARMAX - RIVERGATE
 Address: _____

1. Acreage (area of building site)	=	2.24
2. Minus building coverage area	=	0
3. Equals adjusted acreage	=	2.24
4. Multiplied by required density units per acre	x	14
5. Equals required tree density units for project	=	31.38

PROTECTED TREES (existing trees 6" DBH or larger)
 DBH (diameter at 4 1/2')

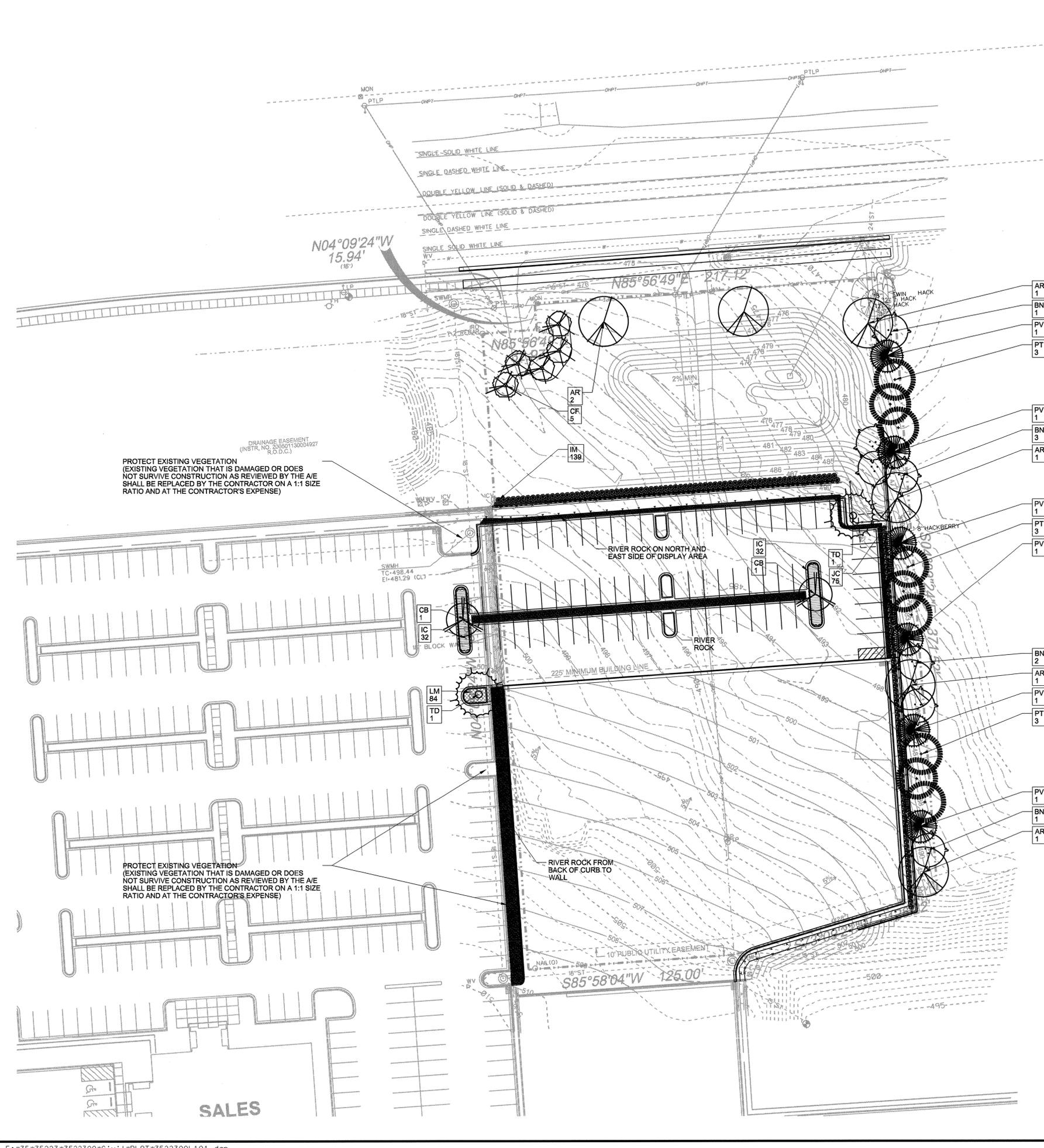
DBH	# OF TREES	VALUE	UNITS	DBH	# OF TREES	VALUE	UNITS
6	1	1.2	1.4	20	X	4.3	
8	X	1.4		22	X	4.9	
10	X	1.6		24	X	5.7	
12	2	1.8	3.6	26	X	6.6	
14	X	2.1		28	X	7.5	
16	X	2.4		30	X	8.4	
18	1	2.8	2.8	32	X	9.4	
34	X	10.5		48	X	26.1	
36	X	11.7		50	X	28.3	
38	X	12.9		52	X	30.5	
40	X	14.1		54	X	32.8	
42	X	15.3		56	X	35.2	
44	X	16.5		58	X	37.7	
46	X	17.7		60	X	40.3	

REPLACEMENT TREE SCHEDULE
 UNITS represent Basal Area

CAL	# OF TREES	VALUE	UNITS	CAL	# OF TREES	VALUE	UNITS
2	X	0.5		5	X	0.9	
3	37	X	22.2	6	X	1.0	
4	X	0.7		7	X	1.2	

Density units provided on above schedules.
 Total density units for protected trees = 7.8
 Extra tree density units from original plan = + 2.0
 Total density units for new trees = + 22.2
 Total density units provided = 32.0

Note: The total density units provided must equal or exceed the requirements of #5 above. All protected and replacement trees must be shown on site plan.



GENERAL LANDSCAPE NOTES

- PRIOR TO THE START OF WORK, THE LANDSCAPE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL SURFACE AND UNDERGROUND UTILITIES, ETC. AND SHALL TAKE PROPER PRECAUTIONS TO PREVENT DAMAGE TO SUCH IMPROVEMENTS. IN THE EVENT ANY UTILITIES ARE UNCOVERED, THE LANDSCAPE CONTRACTOR SHALL PROMPTLY NOTIFY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE OWNER.
- EXAMINE SUBGRADE UPON WHICH WORK IS TO BE PERFORMED. VERIFY SUBGRADE ELEVATIONS, OBSERVE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED, AND PROVIDE PERCOLATION TESTS AND ALL OTHER TESTS NECESSARY TO ASCERTAIN THAT ADEQUATE GROWING CONDITIONS WILL BE PROVIDED FOR PLANTS. IF PERCOLATION TESTS OR SUBSOIL CONDITIONS INDICATE RETENTION OF WATER IN PLANTING AREAS, AS SHOWN BY SEEPAGE OR OTHER EVIDENCE INDICATING PRESENCE OF UNDERGROUND WATER, NOTIFY OWNER IN WRITING OF THIS FACT OR OTHER UNSATISFACTORY CONDITIONS BEFORE BACKFILLING. A CHANGE ORDER MAY BE ISSUED TO DIRECT INSTALLATION OF DRAIN TILE OR OTHER MEASURES BEYOND DRAINAGE REQUIREMENTS INDICATED. DO NOT PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF PLANTING WORK INDICATES THAT SITE CONDITIONS HAVE BEEN ACCEPTED 'AS IS' BY THE CONTRACTOR.
- ACTUAL AS-BUILT SITE CONDITIONS MAY VARY FROM THIS PLAN. PLANT AND MATERIAL QUANTITIES AS SHOWN ON THE PLAN ARE FOR UNIFORM COMPARISON AND ESTIMATE PURPOSES ONLY. NOTIFY OWNER OF ALL SITE CONDITIONS WHICH WILL AFFECT PLANT QUANTITIES REQUIRED AND/OR THEIR LOCATIONS.
- PROTECT EXISTING GRASS AREAS, TREES, AND OTHER VEGETATION TO REMAIN.
- DAMAGE BY CONTRACTOR TO UNDISTURBED AREAS OUTSIDE THE LIMITS OF CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- THE QUANTITIES INDICATED ON THE DRAWINGS ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT QUANTITIES REQUIRED TO COVER SPECIFIED AREAS AT THE DESIGNATED SPACING.
- CONTRACTOR IS RESPONSIBLE FOR CONDUCTING SITE INSPECTION PRIOR TO BIDDING WORK, TO DETERMINE SITE CONDITIONS AND AREAS TO BE PLANTED. SUBMISSION OF BID INDICATES CONTRACTOR HAS VERIFIED SITE CONDITIONS AND PLANT MATERIAL QUANTITIES.
- INSPECTION: OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT SHOULD BE PRESENT WHEN TREES ARE INSTALLED.
- PRIOR TO PLANTING, THE CONTRACTOR IS TO OBTAIN SOIL TESTS FOR ALL PLANTING AREAS TO DETERMINE IF THE PROPER SOIL PH IS PRESENT. RESULTS FROM THESE TESTS ARE TO BE SENT TO THE LANDSCAPE ARCHITECT. IF THE TEST INDICATES IMPROPER PH, THEN THE LANDSCAPE CONTRACTOR IS TO ADD LIME OR SULFUR TO PROVIDE THE PROPER SOIL PH.
- SUBSTANTIAL COMPLETION: WILL BE PROVIDED AFTER THE CONTRACTOR HAS SATISFACTORILY COMPLETED WORK REQUIREMENTS AS SPECIFIED. THE A/E WILL CONDUCT A SUBSTANTIAL COMPLETION INSPECTION AND PROVIDE A PUNCH LIST OF OBSERVED DEFICIENCIES.
- FINAL ACCEPTANCE: THE A/E WILL PROVIDE THE FINAL INSPECTION AFTER THE CONTRACTOR HAS SATISFACTORILY CORRECTED THE DEFICIENCIES ON THE PUNCH LIST. SHOULD THE A/E INSPECTION FIND WORK INCOMPLETE, THE CONTRACTOR SHALL REMEDY THE DEFICIENCIES.
- IF THE SUBSTANTIAL COMPLETION OR FINAL INSPECTION REQUIRE REINSPECTION BY A/E DUE TO FAILURE OF WORK TO COMPLY WITH CONTRACTOR'S CLAIMS ON INITIAL INSPECTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE A/E FOR REINSPECTION SERVICES AT THE RATE OF ONE HUNDRED FIFTY DOLLARS NO CENTS (\$150) PER HOUR PER PERSON PLUS ALL RELATED TRAVEL EXPENSES FOR EACH REQUESTED REINSPECTION TRIP.
- AFTER FINAL ACCEPTANCE AND PRIOR TO END OF WARRANTY PERIOD, CONTRACTOR SHALL REPLACE ALL PLANT MATERIAL THAT HAS DIED OR HAS DEFECTS, INCLUDING UNSATISFACTORY GROWTH, IN THE OPINION OF THE A/E.
- DURING LANDSCAPE INSTALLATION KEEP PAVEMENTS CLEAN AND WORK AREA IN ORDERLY CONDITION.
- CONTRACTOR TO REPAIR ANY PAVEMENTS, CURBS, AND OTHER IMPROVEMENTS DAMAGED AS A RESULT OF LANDSCAPE INSTALLATION ACTIVITIES.

PLANTING NOTES

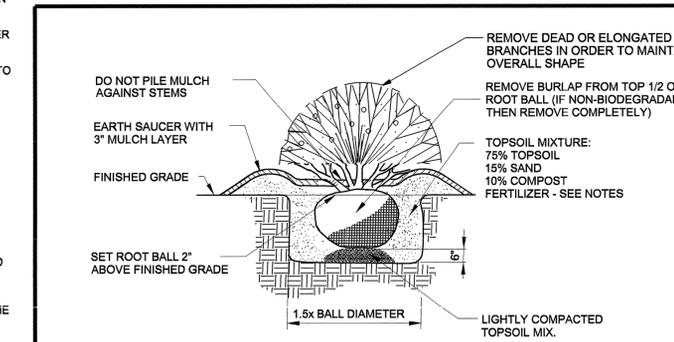
- THE LOCATION OF ALL TREES, SHRUBS, AND GROUND COVER AREAS SHOWN ON THE PLAN SHALL BE STAKED/LAGGED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THE DIGGING OF PITS. PLANTING SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
- PROVIDE ONLY PLANTS THAT ARE FREE FROM DISEASES AND PESTS, AND THAT COMPLY WITH THE LATEST EDITION OF PUBLICATION ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- DO NOT MAKE SUBSTITUTIONS REGARDING PLANT SIZES OR SPECIES WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.
- REMOVE ALL STRINGS AND OTHER TIES FROM TREES.
- FERTILIZE ALL PLANTS WITH 16-16-16 SLOW RELEASE FERTILIZER AT THE RATE OF: 3 LBS PER CUBIC YARD OF SOIL MIX 3 LBS PER 100 SF OF BED FOR SHRUBS AND GROUND COVER
- PLANTS DESIGNATED "B&B" IN THE PLANT LIST SHALL BE BALLED AND BURLAPPED. THEY SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. BALLS SHALL BE FIRMLY WRAPPED WITH BURLAP OR SIMILAR MATERIAL AND BOUND WITH TWINE OR CORD.
- AT A MINIMUM THE TOP ONE-THIRD OF THE ROOT BALL IS TO HAVE ALL BURLAP AND TWINE REMOVED. IF ROOTS ARE GIRDLING OR CIRCLING THEY MUST BE LOOSENED OR CUT.
- THE BALLS OF "B&B" PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE COVERED WITH MOIST SOIL OR MULCH, OR OTHER PROTECTION FROM DRYING WINDS AND SUN. ALL PLANTS INSTALLED OR STORED SHALL BE WATERED BY CONTRACTOR AS NECESSARY UNTIL FINAL ACCEPTANCE.
- ALL PLANTS SHALL BE HANDLED SO THAT ROOTS ARE ADEQUATELY PROTECTED AT ALL TIMES. DURING SHIPMENT, THE ENTIRE PLANT SHALL BE PROTECTED BY TARPULINS OR OTHER SUITABLE COVERING. PLANT MATERIAL SUFFERING FROM WIND BURN OR OTHER DAMAGE IS NOT ACCEPTABLE.
- NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT DAMAGES THE BARK, BREAKS BRANCHES, OR DESTROYS ITS NATURAL SHAPE.
- ANY SERIES OF TREES OR SHRUBS TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY BY THE A/E. ANY PLANTS INCORRECTLY ARRANGED SHALL BE RELOCATED WITH A/E APPROVAL.
- PRE-EMERGENT HERBICIDE (TRIFLORAL OR EQUIVALENT) SHALL BE APPLIED (ACCORDING TO MANUFACTURER'S INSTRUCTIONS) TO ALL PLANT BEDS, PRIOR TO PLANTING, FOR NOXIOUS WEED CONTROL. AVOID OVER APPLICATION INTO SEEDED GRASS AREAS.
- ALL PLANTING BEDS AND TREE PLANTINGS SHALL RECEIVE A MINIMUM 3" DEEP SHREDDED HARDWOOD MULCH LAYER AND TO BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WATER RUNOFF OR WIND.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE WATERING AND MAINTENANCE TO INCLUDE BUT NOT LIMITED TO WEEDING, MULCHING, AND STRAIGHTENING OF ALL INSTALLED PLANT MATERIAL UNTIL FINAL ACCEPTANCE OF LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE GUARANTEED FOR ONE (1) YEAR. GUARANTEE PERIOD STARTS FROM DATE OF SUBSTANTIAL COMPLETION.
- GROUND COVER SPACING PATTERN SHALL BE AS INDICATED ON TYPICAL SPACING PATTERN, THIS SHEET, USING SPACING DIMENSION AS SHOWN ON PLANS AND SCHEDULE.
- LANDSCAPE CONTRACTOR SHALL SUBMIT TYPEWRITTEN INSTRUCTIONS RECOMMENDING PROCEDURES TO BE ESTABLISHED BY OWNER FOR MAINTENANCE AND WATERING OF LANDSCAPE WORK FOR ONE FULL YEAR. SUBMIT PRIOR TO FINAL ACCEPTANCE.
- THE A/E MAY INSPECT TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, SIZE, AND QUALITY. DESIGNER RETAINS THE RIGHT TO FURTHER INSPECT TREES AND SHRUBS FOR SIZE AND CONDITION OR ROOT BALL, INSECTS, INJURIES, AND LATENT DEFECTS TO REJECT UNSATISFACTORY OR DEFECTIVE AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED MATERIAL IMMEDIATELY FROM THE PROJECT SITE.
- REPLACEMENTS SHALL CLOSELY MATCH ADJACENT SPECIMENS OF THE SAME SPECIES AND SHALL CONFORM TO THE STANDARDS FOR PLANT MATERIALS SPECIFIED. ALL REPLACED MATERIAL SHALL IMMEDIATELY BE CONFORMED FROM THE SITE AND ALL NECESSARY REPAIRS TO GRADES, LAWN AREAS, PAVING, AND OTHER AREAS DAMAGED DURING REPLACEMENT SHALL BE MADE AT NO COST TO THE OWNER.
- ONLY ONE REPLACEMENT PER TREE, SHRUB, OR PLANT WILL BE REQUIRED AT THE END OF THE WARRANTY, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH THE REQUIREMENTS.
- NO PLANT MATERIAL REQUIRED TO BE BALLED AND BURLAPPED SHALL BE ACCEPTED IF THE BALL IS CRACKED OR BROKEN EITHER BEFORE OR DURING THE PROCESS OF PLANTING, OR WHEN REQUIRED BURLAP, STAVES, ROPES OR PLATFORM HAVE BEEN REMOVED.

SEEDING NOTES

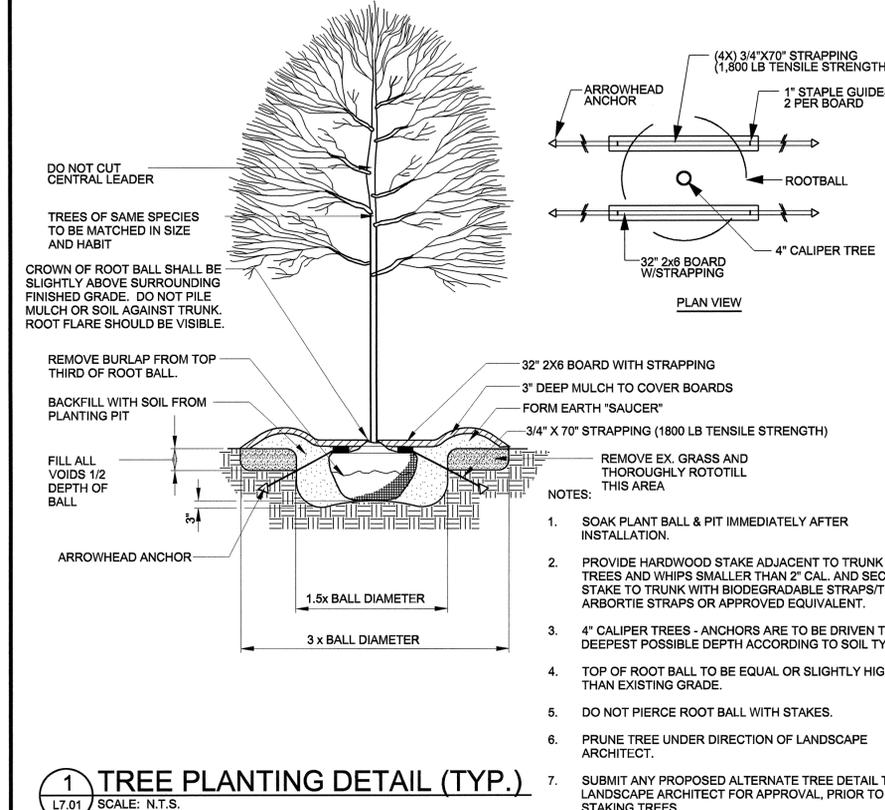
- 6" OF TOPSOIL SHALL BE PROVIDED ON ALL AREAS TO BE SEEDED UNLESS NOTED OTHERWISE. INSTALL AND STABILIZE TOPSOIL PRIOR TO SEEDING.
- SEED ALL DISTURBED AREAS (THAT ARE NOT TO BE PAVED, PLANTED, OR SODDED) WITH TURF-TYPE TALL FESCUE. CONTRACTOR TO SUBMIT TURF MIXTURE (MIN. OF 3 VARIETIES) TO A/E FOR APPROVAL PRIOR TO INSTALLATION.
- SEED BED PREPARATION: THOROUGHLY DISC, SCARIFY, & LOOSEN SUBGRADE OF LAWN AREAS TO A MINIMUM DEPTH OF 4 INCHES. REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION. REMOVE ROCKS, STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER THAT WILL INTERFERE WITH VEGETATION ESTABLISHMENT OR MAINTENANCE OPERATIONS. ADD SPECIFIED SOIL AMENDMENTS AND MIX THOROUGHLY INTO UPPER 4 INCHES OF TOPSOIL.
- FERTILIZER: CONTRACTOR SHALL PERFORM A SOIL TEST PRIOR TO SEEDING AND APPLICATION OF ANY SOIL AMENDMENTS, AND SUBMIT RESULTS OF SOIL TESTS TO LANDSCAPE ARCHITECT FOR APPROVAL. APPLY ALL PER SOIL TEST RECOMMENDATIONS. SPREAD LIME AND FERTILIZER UNIFORMLY OVER ALL AREAS IMMEDIATELY BEFORE FINAL LAND PREPARATION AND MIX THOROUGHLY WITH THE SOIL.
- PERMANENT VEGETATIVE COVER OF AT LEAST 90% IS REQUIRED. APPLY A HYDROMULCH ACCORDING TO SPECIFICATIONS.
- AREAS WILL BE REPLANTED IF PERMANENT VEGETATION IS DISTURBED OR NOT ESTABLISHED. CONTRACTOR TO MECHANICALLY REMOVE GROWTH OF OVER 12" PRIOR TO OVERSEEDING AND RESEEDING MEADOW AREAS IN THE SPRING TO ALLOW GROWTH OF PERMANENT VEGETATION.
- REPAIR AND RESEED ALL ERODED OR DISTURBED SEEDED AREAS WHERE VEGETATIVE COVER HAS NOT BEEN ESTABLISHED.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS UNTIL 95% PERMANENT GRASS COVER IS ESTABLISHED AND SEEDED AREAS EXHIBIT HEALTHY AND VIGOROUS GROWTH AS DETERMINED BY LANDSCAPE ARCHITECT.
- APPLY A 1/2" TO 3/4" LAYER OF THRASHED RYE, OAT, OR WHEAT STRAW, OR BERMUDA GRASS HAY. APPLY MULCH ON ALL SEEDED AREAS IMMEDIATELY FOLLOWING SEEDING OPERATIONS. MAINTAIN A COVER OF MULCH UNTIL SEEDS HAVE GERMINATED AND SEEDLINGS ARE A MINIMUM OF 2" HEIGHT AND MOWING OPERATIONS HAVE BEGUN. FIELD ADJUST FOR UNIFORM COVERAGE.
- GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES, PROPORTIONS, AND MINIMUM PERCENTAGES OF PURITY, GERMINATION AND MAXIMUM PERCENTAGE OF WEED SEED.
- FINE GRADE LAWN AREAS TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL, RAKE, AND DRAG LAWN AREAS, REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES.
- PROTECT ALL SLOPES 3:1 OR STEEPER AGAINST EROSION WITH SPECIFIED EROSION CONTROL BLANKETS OR ACCEPTED SUBSTITUTION. INSTALL BLANKETS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- UNLESS OTHERWISE APPROVED IN WRITING BY THE A/E, SEEDING OPERATIONS SHALL BE LIMITED TO THE FOLLOWING PLANTING PERIODS: SPRING - MARCH 1 THROUGH MAY 31 FALL - SEPTEMBER 1 THROUGH NOVEMBER 30
- WHEN REQUIRED TO SEED DURING SEPTEMBER 1 THROUGH APRIL 30, ADD AN ADDITIONAL 7 POUNDS PER 1,000 SQUARE FEET OF ANNUAL RYE GRASS.
- SEEDING IS TO BE DONE AS AREAS ARE READY. IF THE CONSTRUCTION SCHEDULE ALLOWS, SEEDING APPLICATION SHOULD BE DONE ACCORDING TO THE OPTIMUM SEEDING DATES DEPICTED IN THE SEEDING SCHEDULE. A TEMPORARY SEED AND APPLICATION IS TO BE ADDED TO THE SEED MIX DURING THE DATES LISTED IN THE SEED SCHEDULE. TIMING OF SEEDING IS TO BE AS NOTED ON DRAWINGS OR SPECIFICATIONS.
- SEEDED AREAS OUTSIDE OF COVERAGE OF PERMANENT IRRIGATION SHALL HAVE TEMPORARY IRRIGATION FOR ONE (1) YEAR AND THEN SHALL BE REMOVED.

SODDING NOTES

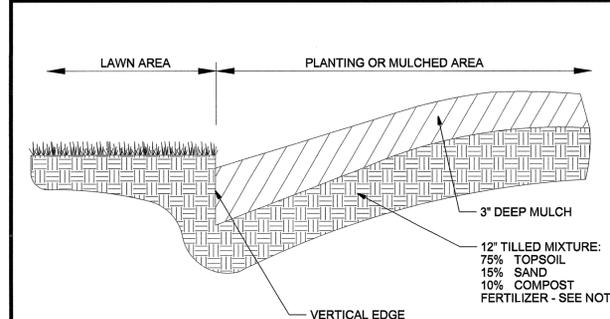
- SOD ALL AREAS AS INDICATED ON PLANS WITH TURF-TYPE TALL FESCUE. CONTRACTOR TO SUBMIT SOD VARIETY TO A/E FOR APPROVAL PRIOR TO INSTALLATION. SOD AND SEED VARIETIES TO MATCH. ALL SLOPES GREATER THAN 3:1 SHALL BE PEGGED TO HOLD SOD IN PLACE. ALL DRAINAGE SWALES ARE TO RECEIVE A 6" WIDE BAND OF SOD. PROVIDE A 3" WIDE BAND OF SOD AROUND ALL DRAINAGE INLETS.
- 6" OF TOPSOIL SHALL BE PROVIDED ON ALL AREAS TO BE SODDED, INSTALLED AND STABILIZED PRIOR TO SOD.
- SOD BED PREPARATION: LOOSEN SUBGRADE OF LAWN AREAS TO A MINIMUM DEPTH OF 4 INCHES. REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION. REMOVE STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER. ADD SOIL AMENDMENTS IN ACCORDANCE WITH SOIL TEST REQUIREMENTS AND MIX THOROUGHLY INTO UPPER 4 INCHES OF TOPSOIL.
- FINE GRADE LAWN AREAS TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL, RAKE, AND DRAG LAWN AREAS, REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES.
- FERTILIZER: APPLY AGRICULTURAL LIME AND FERTILIZER AT THE RATES INDICATED BY THE SOILS REPORT. SPREAD LIME AND FERTILIZER UNIFORMLY OVER ALL AREAS IMMEDIATELY BEFORE FINAL LAND PREPARATION AND MIX THOROUGHLY WITHIN THE SOIL.
- AFTER TWO WEEKS, TOPDRESS AND THOROUGHLY WATER. TOPDRESS SHALL CONSIST OF .5 TO 1 POUND: 38% UREA FORMALDEHYDE PER 1,000 S.F. AND 20 POUNDS OF 6-12-12 FERTILIZER.
- SOD IS TO BE ROLLED AND WATERED AT TIME OF INSTALLATION.
- ENDS OF SOD PANELS ARE TO BE OFFSET. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE SOLID SODDED AREA.
- TOP DRESS SODDED AREAS WITH CLEAN, WEED FREE BUILDER'S SAND MAY BE REQUIRED IF DEEMED NECESSARY BY THE LANDSCAPE ARCHITECT TO FILL ANY DEPRESSIONS OR IRREGULARITIES IN THE SOD.
- SOD IS TO BE LAID AS SOON AS IT IS DELIVERED TO PLANTING AREAS. ONLY HEALTHY, MOIST, AND GREEN SOD IS TO BE LAID. ANY SOD WHICH IS BROWN AND UNDER STRESS IS UNACCEPTABLE. ANY SOD WHICH IS NOT LAID WITHIN 24 HOURS OF DELIVERY IS UNACCEPTABLE UNLESS APPROVED BY A/E.
- REPAIR AND RESOD ALL ERODED OR DISTURBED SOD AREAS WHERE VEGETATIVE COVER HAS NOT BEEN ESTABLISHED. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SODDED AREAS UNTIL AREAS EXHIBIT HEALTHY AND VIGOROUS GROWTH AS DETERMINED BY LANDSCAPE ARCHITECT.
- UNLESS OTHERWISE APPROVED IN WRITING BY THE A/E, SODDING OPERATIONS SHALL BE LIMITED TO THE FOLLOWING PLANTING PERIODS: SPRING - GROUND THAW THROUGH MAY 31 FALL - SEPTEMBER 1 THROUGH GROUND FREEZE



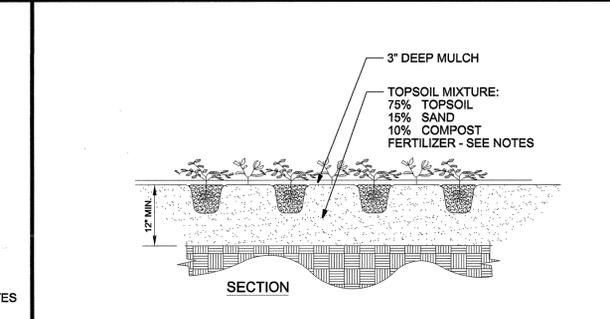
5 SHRUB PLANTING DETAIL (TYP.)
L7.01 SCALE: N.T.S.



1 TREE PLANTING DETAIL (TYP.)
L7.01 SCALE: N.T.S.



3 BED TRENCH DETAIL
L7.01 SCALE: N.T.S.

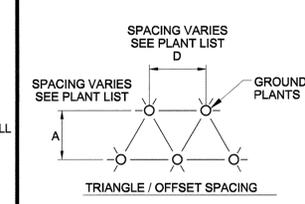


4 GROUNDCOVER PLANTING DETAIL
L7.01 SCALE: N.T.S.

PLANT SCHEDULE							
KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	HEIGHT	SIZE	REMARKS	SPACING
TREES							
AR	6	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	min. 14'	3" Cal.	Well branched single leader, matched canopy	As Shown
BN	7	<i>Betula nigra</i> 'BNM17'	Dura-Heat River Birch	min. 14'	3" Cal.	3-5 trunks, matched canopy, remove suckers	As Shown
CB	2	<i>Carpinus betulus</i> 'Fastigiata'	Columnar European Hornbeam	min. 12'	3" Cal.	Well branched, matched canopy	As Shown
CF	5	<i>Cornus florida</i> 'Cherokee Brave'	Cherokee Brave Flowering Dogwood	min. 10'	3" Cal.	3-5 trunks, matched canopy, remove suckers	As Shown
PV	6	<i>Pinus virginiana</i>	Virginia Pine	min. 10'	3" Cal.	Well branched single leader, matched canopy, foliage full to ground	As Shown
PT	9	<i>Pinus taeda</i>	Loblolly Pine	min. 10'	3" Cal.	Well branched single leader, matched canopy, foliage full to ground	As Shown
TD	2	<i>Taxodium distichum</i> 'Mickelson'	Shawnee Brave Bald Cypress	min. 14'	3" Cal.	Well branched single leader, matched canopy	As Shown
SHRUBS							
IC	64	<i>Ilex crenata</i> 'Heller'	Heller Japanese Holly	18" min.	Cont.	Container, full head, densely formed, matched	36" O.C.
IM	139	<i>Ilex x meserveae</i> 'Mesdob' & 'Mesog'	China Boy & China Girl Holly	18" min.	Cont.	Container, full head, densely formed, matched, two male/grouping	As Shown
JC	75	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	18" min.	Cont.	Container, full head, densely formed, matched	As Shown
ORNAMENTAL GRASSES & GROUNDCOVERS							
LM	84	<i>Liriope muscari</i> 'Big Blue'	Big Blue Liriope		#1 Cont.	Container	18" O.C.

6 PLANT SCHEDULE
L7.01 SCALE: N.T.S.

PLANT SPACING (D)	ROW SPACING (A)
6" O.C.	5.20'
8" O.C.	6.93'
10" O.C.	8.66'
12" O.C.	10.41'
15" O.C.	13.0'
18" O.C.	15.6"
24" O.C.	20.8"
30" O.C.	26.0"
36" O.C.	30.0"



2 GROUNDCOVER SPACING DETAIL
L7.01 SCALE: N.T.S.

BARGE WAGGONER SUMNER & CANNON, INC.
BWSC
21 Commerce Street, Suite 600 Nashville, Tennessee 37203
Phone: (615) 259-9494 Fax: (615) 259-9412

PAUL W. LOCKWOOD
LANDSCAPE ARCHITECT
Professional Seal and Stamp

LANDSCAPE NOTES, DETAILS & SCHEDULE
CARMAX - RIVERGATE ADDITION
2353 GALLATIN PIKE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
MCK	JLG	03/29/12	INITIAL SUBMITTAL
MCK	JLG	04/17/12	MFC COMMENTS
MCK	JLG	05/02/12	STORMWATER COMMENTS
JNF	JLG	05/07/12	REVISED SF SUBMITTAL
MCK	JLG	05/14/12	STORMWATER COMMENTS

L7.01
APPLICATION NUMBER: 2010SP-022-003
FILE NO. 35223-00

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