

# Smith Springs Road SP

## A Preliminary Specific Plan District

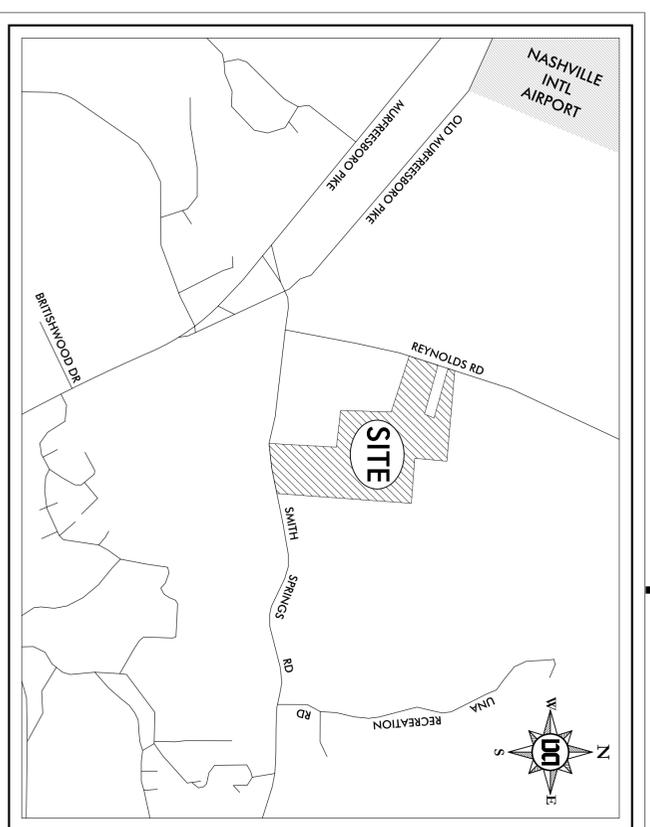
### SP # 2011SP-004-001

## Council Ordinance No BL2011-930

### Map 135; Parcels 146, 147, 148 and 163

### Nashville, Davidson County, Tennessee

## Location Map



- SP Conditions (as listed in Council Ordinance No BL2011-930)**
1. A sidewalk, meeting Public Works standards, shall be required along the frontage of the property on Smith Springs Road with the first phase of development within District A.
  2. Ground signs in District A and B shall be monument style signs with a maximum height of six feet.
  3. Buildings on lots adjacent to Smith Springs Road shall be oriented towards Smith Springs Road, with the primary pedestrian entrances facing the street.
  4. Any phase of development in District B that will include multiple stories and/or tenants shall submit an overall sign program with each final site plan.

5. Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved in the plan that is part of this ordinance.
6. For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the RM6 zoning district for District A, IVD zoning district for District B and AR2a zoning district for District C as of the date of the applicable request or application.
7. The existing cemetery shall be equipped with a 30-foot permanent buffer zone, including fencing, and shall be placed in a perpetual public access easement. The final site plan shall include a small parking area for the cemetery, as well as ingress/egress for public access to the cemetery.
8. Prior to the filing of a final site plan, a traffic impact study shall be submitted to the department of public works for review and approval. The study shall include specific requirements for all public roadways utilized for access from Smith Springs Road including, but not limited to, turn lane additions, widening of the lane widths, a traffic light, and the addition of shoulders or curb and gutters.
9. There shall be required a minimum of two points of access to public roadways for this development, both of which shall be from Smith Springs Road. Further, Smith Springs Road at the points of access shall be improved as determined by Metro Public Works to a level that will safely convey industrial traffic. Improvements shall be made at the time of connection.
10. The exterior facade of dwelling units within the residential district 'A' shall be limited masonry products or alternative architectural materials to be approved by the Planning Department staff. Vinyl and aluminum siding or similar products shall be prohibited. Eco-friendly building products and low-impact development practices shall be investigated and considered.
11. If blasting is necessary, the developer will:
  - a) Obtain all necessary permits.
  - b) Send notices to residents within 600 feet of the property, line where the blasting is to take place.
  - c) At the resident's request, pay for pre-blasting surveys up to the value of \$60,00 for residences located within 600 feet of the property line where the blasting is to take place.

**General Plan Consistency**  
Currently, 35 acres of this property falls within an Industrial Land Use, while the remaining 13 acres is classified as Neighborhood General.

Industrial (IN) Policies are typically dominated by one or more types of activities that are industrial in character. Types of uses intended for this Policy include non-hazardous manufacturing, distribution, contractor businesses, and wholesale with open spaces considered appropriate as a support activity for workers and/or patrons of the industrial businesses. Within this Specific Plan Application, only areas defined as IN Policy are proposed to be utilized for Industrial activities with large, contiguous open spaces incorporated into the plan.

Neighborhood General (NG) Policies are predominantly developed in a residential manner. Residential density within the NG Policy varies and development patterns and building placements should not be random. Small pockets of open spaces or parks are also appropriate for this policy. Under this SP Application, the area within the NG Policy is proposed to be reduced in density from a maximum of 9 multi-family units per acre to a maximum of 6 units per acre with 3 acres of open green space proposed adjacent to Smith Springs Road.

As currently proposed, this plan meets the existing land uses for the property in question and provides for a more strategic, planned vision for the development of the property than simply developing under the current base zonings.

- 1 C0.0 Cover Sheet
- 2 C1.0 Zoning and Land Use Comparisons
- 3 C2.0 Conceptual SP Development Pattern

## Sheet Schedule

**Purpose:**  
To create a Specific Plan [SP] District to organize the higher intensity, current base zonings into a strategic Master Plan and create a more specified vision for parcels with current Base Zonings of RM9, IVD & R20 shown herein.

**Notes:**

1. The Final Site Plan/Plan for the development of this project shall comply with the requirements of the adopted tree ordinance 2008-328 (Metro Code Chapter 17.24.100)
2. Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with the Storm Water Management Ordinance 78-840 and approved by the department of Metro Water Services.
3. No portion of this property is within the 100-year floodplain as shown on FEMA Map 47037C0357F, Dated April 20, 2001.

4. This drawing is for illustration purposes to indicate the basic premise of the development. The final lot count, layout, and details of the plan shall be governed by the appropriate regulations at the time of final application.

5. All sidewalks are to be constructed in accordance with the Metro Public Works design standards for sidewalk construction.

6. Wheelchair accessible curb ramps complying with applicable Metro Public Works standards shall be constructed at street crossings.

7. Building setbacks shall be defined by this Specific Plan.

8. Any approval of this project is subject to Metro Public Works approval of the construction plans. Final design and improvements may vary based on field conditions.

9. Metro Water Services shall be provided sufficient and unencumbered access in order to maintain and report utilities on this site.

10. Size driveway culverts per the design criteria set forth within the Storm Water Management Manual. The minimum driveway culvert allowed within a Metro Right-Of-Way is 15 inch CMP.

11. The final SP submittal is to be phased by lot.

**Design Standards:**

1. All plant species for landscape buffer yards to be approved by the Urban Forester.
2. Signage standards for Districts 'A' shall be limited to one 6' tall ground mounted sign with external lighting. Signage for District 'B' shall prohibit roof mounted signs and billboards. Only building signs and freestanding ground signs a maximum of 6' in height shall be permitted. All signs within District 'B' shall also be externally lit and constructed using high quality durable materials. Permanent signage for District 'C' shall be prohibited.
3. For any proposed street, the street pattern shall meet the requirements of the Subdivision Regulations
4. All requirements of the Public Works Dept. shall be met for roadway improvements, site distance, access onto Smith Springs Rd and Reynolds Rd as required by the Public Works Dept.
5. Prior to the submission of a Final SP for the first phase, a Traffic Impact Study shall be submitted for the entire development to outline offsite improvements and their timing.

## Site Data

TOTAL SITE AREA = 48.57 ACRES  
CURRENT ZONING: RM9, IVD, AND R20  
PROPOSED ZONING: SP SPECIFIC PLAN  
COUNCIL PERSON - VIVIAN WILCHOTE  
COUNCIL/MAJORITY DISTRICT - 29TH  
OWNER - STEVENSON TRUST NO. 8  
4124 FRANKLIN ROAD  
NASHVILLE, TN 37204  
PHONE: (615) 973-0174  
CONTACT PERSON - WILSON STEVENSON  
ENGINEER: DALE AND ASSOCIATES, INC.  
516 HEATHER PLACE  
NASHVILLE, TN 37204  
(615) 297-5166 x 115  
CONTACT PERSON - MICHAEL GARRIGAN, PE



**Dale & DD Associates**  
Consulting Civil Engineering  
Land Planning & Zoning  
Landscape Architecture  
Surveying

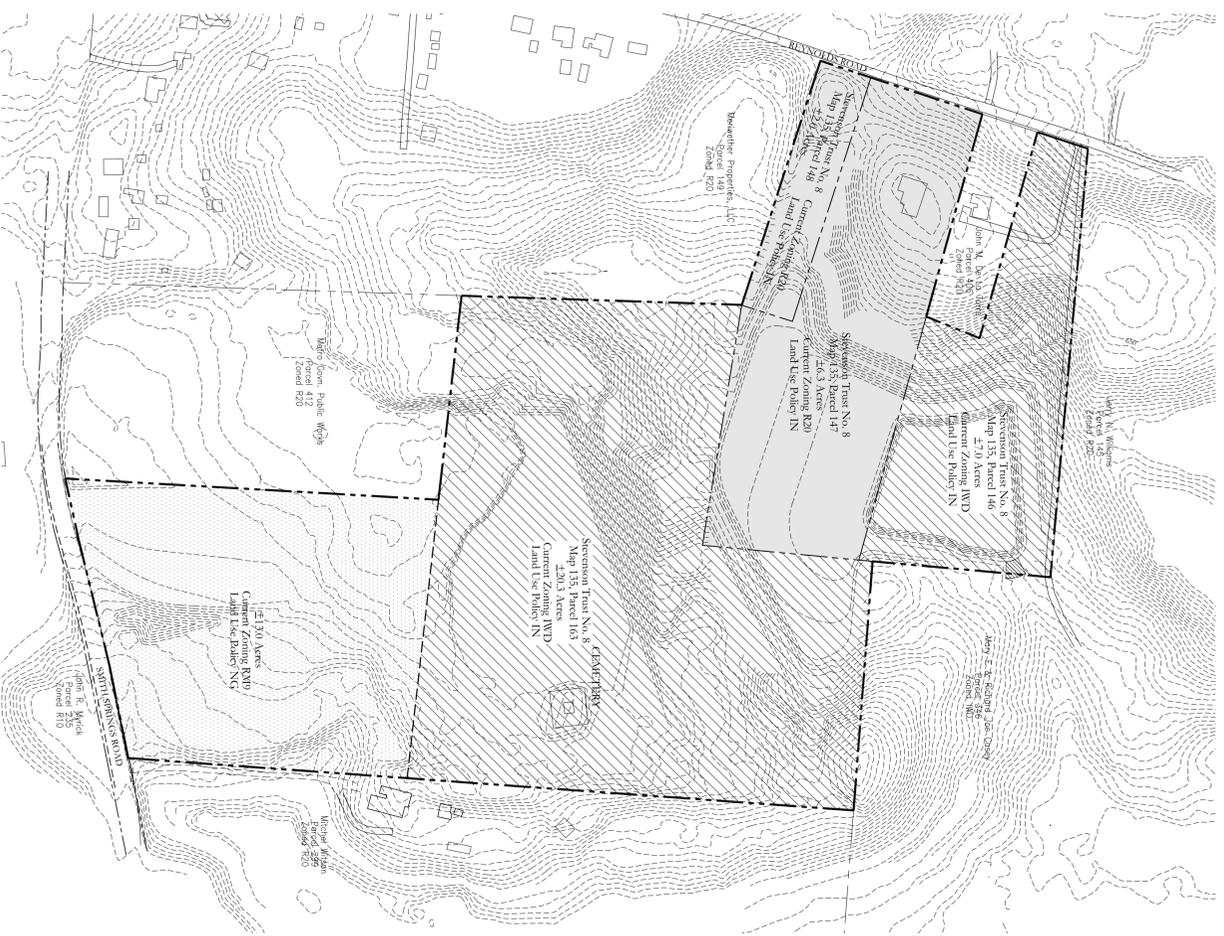
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PROJECT # 09149  
Smith Springs Road SP  
**C0.0**

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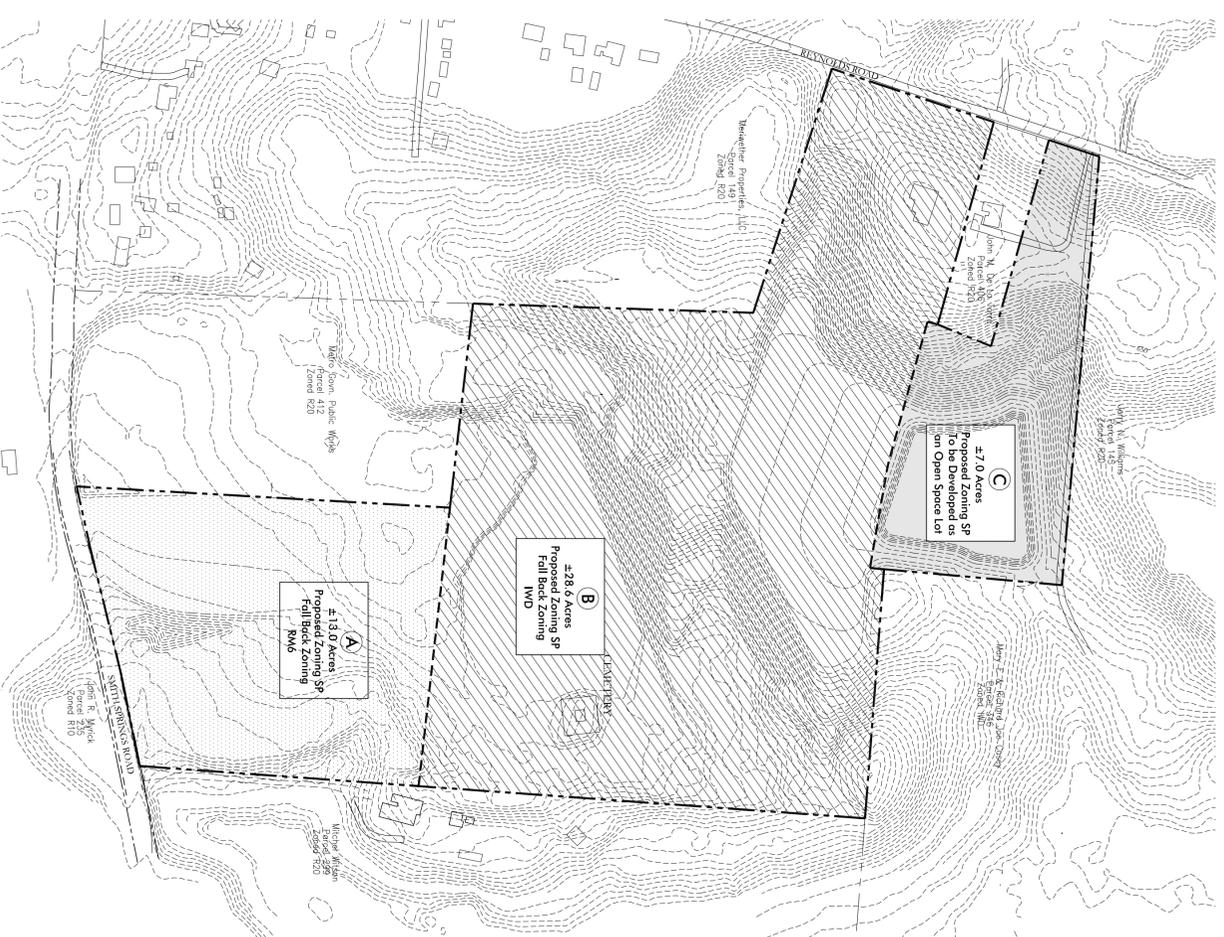
## Cover Sheet



### Existing Zoning

- Property Zoned RM9 (Multifamily, 9 Units per Acre)
  - 13.0 Acres of Land (Portion of Parcel 163)
  - Current Zoning Permits 117 Multifamily Units
- Property Zoned IWD (Industrial Warehousing/Distribution)
  - 27.3 Acres of Land (Portion of Parcel 163 & All of Parcel 146)
  - Current Zoning Permits a Floor Area Ratio of 0.80
  - Equating to Approx. 950,000 Sq Ft of Industrial Floor Area
- Property Zoned R20 (Residential, 20,000 Sq Ft Lots)
  - 8.30 Acres of Land (Parcels 147 & 148)
  - Current Zoning Permits 18 Single Family Lots

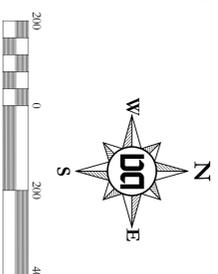
**Existing Base Zoning Summary:**  
 Under the Current Zoning Districts of RM9, IWD & R20 - A Total of 950,000 Square Feet of Industrial Floor Space & 135 Residential Units are Permitted by Right.



### Proposed SP Zoning

- District 'A'
  - 13.0 Acres of Land (Portion of Parcel 163)
  - Proposed to Permit 78 Multi-Family Units
- District 'B'
  - 28.6 Acres of Land (Portion of Parcel 163 & All of Parcel 147&148)
  - Proposed Zoning to Permit a Floor Area Ratio of 0.75
  - Equating to Approx. 950,000 Sq Ft of Industrial Floor Area
- District 'C'
  - 7.0 Acres of Land (Parcel 146)
  - Proposed Zoning would not Permit Traditional Development only Open Space uses Permitted.

**Proposed SP Zoning Summary:**  
 Based upon the Proposed Zoning Standards, the residential density currently permitted by right would be reduced by 57 units or 42% with the Industrial Floor Space remaining at its current maximum size but being more contiguously located within the property's boundaries.



Total SP Area: ±48.57 Acres

**REVISIONS:**  
 March 2011  
 MFC Comments  
 August 2011  
 Council Bill Conditions

DATE: January 2011

## Smith Springs Road SP

Map 135 & Parcels 146, 147, 148 & 163  
 Nashville, Davidson County, Tennessee

## Zoning and Land Use Comparisons

**Dale & DD Associates**  
 Consulting Civil Engineering  
 Land Planning & Zoning  
 Landscape Architecture  
 Surveying

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# Proposed SP & District Summary

## DISTRICT 'A'

District 'A' is approximately 13.0 Acres in size and is currently Zoned RM6, permitting the development of 117 multi-family residential units. District 'A' shall serve as a supplemental transition from Smith Springs Road to District 'B' and other adjacent Industrial Zonings or Land Use Policies currently in place. It is intended to be the entrance into the proposed Business or Industrial Park.

Uses within this District are intended to be residential but other uses permitted within the RM6 District. Under this Specific Plan, Residential Density within District 'A' shall be reduced to a maximum of 6 units per acre or 78 units total with a minimum of 3 acres of landscaped open space adjacent to Smith Springs Road. The 3 acre parcel shall be developed as formally landscaped open space by the developer with District 'A'. Specifically, a tree canopy consisting of a minimum of 25 tree density units (or 50 new 2" caliper trees), shall be provided with the development plan of District 'A'.

## District 'A' Bulk Standards

Maximum Density: 78 Units (based on 6 un/ac)  
 Minimum Front Building Setback: 70 feet from centerline of interior Public Roadway  
 Minimum Side Yard Setback: 10 feet from interior lot lines  
 Minimum Rear Yard Setback: 20 feet from interior lot lines / 30 feet from Boundary Lines

Maximum Building Height: 20' at Setbacks (2:1, V:H Sky Plane)  
 Maximum Floor Area Ratio: 0.60  
 Maximum Impervious Surface Ratio: 0.70

Building Materials: Building materials shall be limited to masonry products or alternative architectural materials to be approved by staff. Vinyl siding shall be prohibited.

Landscape Bufferyard: Class B Buffer Required along the East Boundary Line, adjacent to Existing R20 Zoning.

Any standards not specified in this plan shall be governed by the RM6 zoning district in place at the time of Council approval.

## DISTRICT 'B'

District 'B' is approximately 28.60 Acres in size and is currently Zoned IWD & R20, permitting the development of 18 residential lots and a total of approximately 708,000 square feet of Industrial Floor Space (based upon FAR of 0.80 currently permitted for the 20.31 acres of IWD District) and a Land Use Policy of Industrial. District 'B' is intended to be developed as an Industrial or Business Park with a maximum Floor Area equivalent to that which is currently permitted by right within the existing base Zoning of IWD.

Uses within this District shall be limited to those currently permitted under the IWD District, with the addition of Medium Manufacturing.

## District 'B' Bulk Standards

Minimum Front Building Setback: 40 feet from Right of Way of interior Public Roadway  
 Minimum Side Yard Setback: 10 feet from interior lot lines  
 Minimum Rear Yard Setback: 20 feet from interior lot lines / 30 feet from Boundary Lines

Maximum Building Height: 2 Stories  
 Maximum Floor Area Ratio: 0.75 or 950,000 Square Feet Total  
 Maximum Impervious Surface Ratio: 0.80

Building Materials: Materials used in this District shall be traditional, time and weather-tested materials. Exterior Materials shall be factory finished, stained, integrally colored, or otherwise suitably tested. Highly reflective materials such as bright aluminum or metal are not permitted as the primary building material. Permitted materials within this District may include:

- Split Face or Fluted Concrete Masonry Units (CMU)
- Factory Glazed Concrete Masonry Units (CMU)
- Face Brick
- Stone Veneer
- Insulated Glazing and Framing Systems
- Architectural Pre-Cast Concrete
- Painted or Stained Site-Cast Concrete
- Architectural Concrete
- Factory Finished, Standing-Seam Metal Roofing
- Architectural Metal

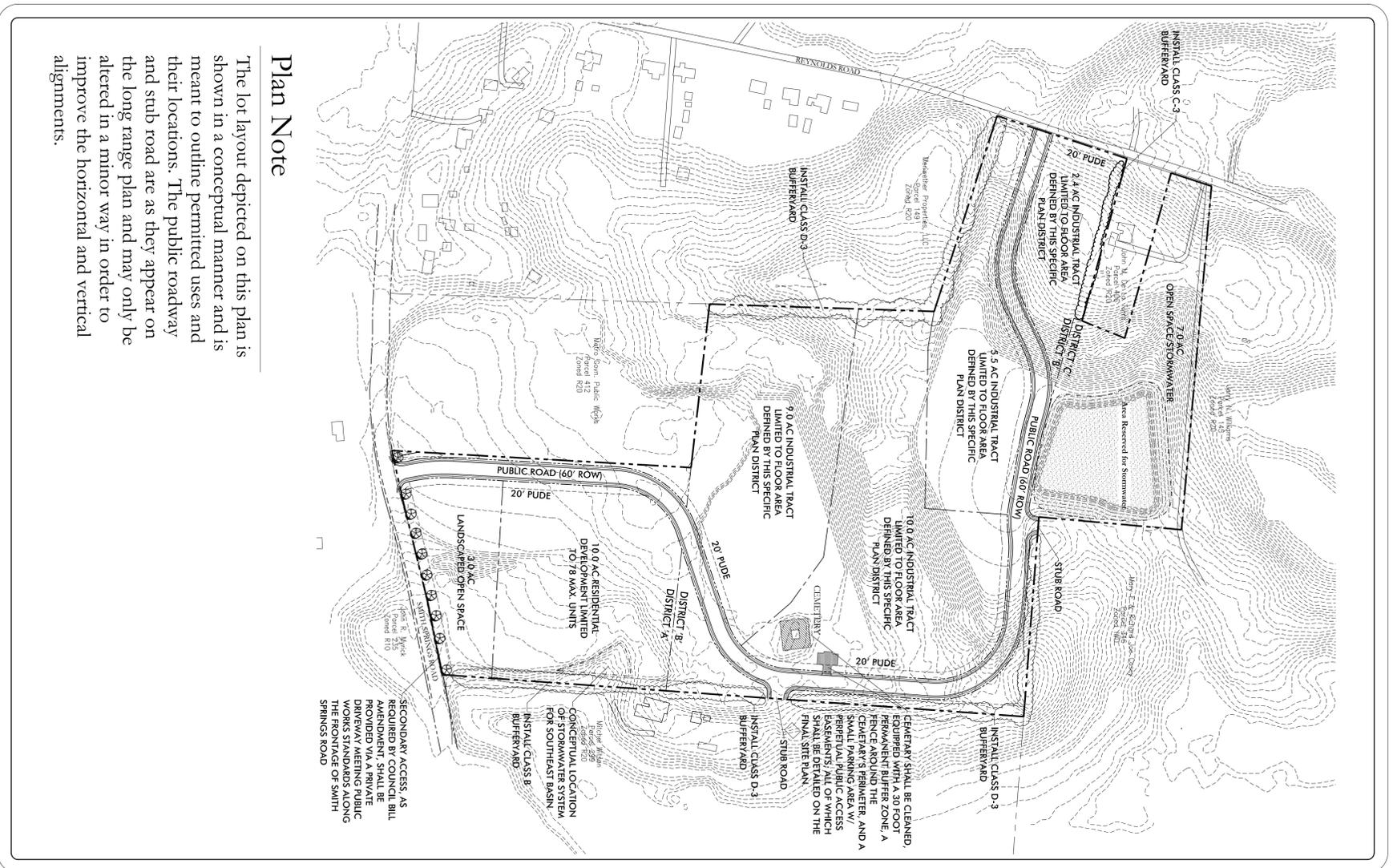
Landscape Bufferyard: 30' Class D Buffer Required along West, East and Northwest Boundary Line, adjacent to Existing R20 Zoning. No Bufferyard is necessary for Property Lines shared w/ Metro Property on Smith Springs Road.

Any standards not specified in this plan shall be governed by the IWD zoning district in place at the time of Council approval.

## DISTRICT 'C'

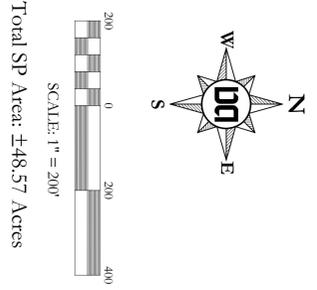
District 'C' is approximately 7.0 Acres in size and is currently Zoned IWD with a Land Use of Industrial. Current Zoning would permit the development of Industrial Use Buildings with a Maximum of 242,000 square feet of floor space.

However, this Specific Plan restricts the uses of this District to solely perpetual open space. No permanent structures shall be permitted within this District. This tract shall be located on a separate parcel and shall be owned and maintained by the Property Owners Association developed prior to the build-out of District 'B'.



## Plan Note

The lot layout depicted on this plan is shown in a conceptual manner and is meant to outline permitted uses and their locations. The public roadway and stub road are as they appear on the long range plan and may only be altered in a minor way in order to improve the horizontal and vertical alignments.



### Standard Development Notes

1. The developer's construction drawings shall comply with the design regulations established by the Department of Public Works. Final design may vary based upon field conditions.
2. Final SP plans shall show a total of 30 feet of Right of Way measured from the centerline of Smith Springs Road. If existing right of way is not sufficient, dedication shall be required.
3. A sidewalk, meeting Public Works standards shall be required along the frontage of the property on Smith Springs Road with the first phase of development within District A.
4. Final site plans and construction drawings of the proposed public roadway shall provide documentation of adequate sight distance at the new road's intersections with Smith Springs Road and Reynolds Road. Sight distance measurements and information shall be based upon information obtained from a field run survey.
5. This development shall be required a minimum of two points of access to public roadways, both shall be from Smith Springs Road. Further, Smith Springs Road at the points of access shall be improved as determined by Metro Public Works to a level that will safely convey industrial traffic. Improvements shall be made at the time of connection.
6. Private Access Drive laneage shall be determined at the time of development & shall be designed to account for large truck turning movements.
7. Prior to the submittal of the first site plan within this development, a Traffic Impact Study shall be submitted to the Department of Public Works for review and approval. The TIS shall include specific requirements to all public roadways utilized for access including but not limited to turn lane additions, widening of lane widths, and the addition of shoulders or curb & gutter.
8. Each impervious shall be directed to a regional stormwater system (geoprecipitated on this plan) or provide on-site measures. Final Site Plans shall show methods for treatment and detention to treat the requirements of the Storm Water Division at the time of their submittal.

# Conceptual SP Development Pattern



**Dale & DD Associates**  
 Consulting Civil Engineering  
 Land Planning & Zoning  
 Landscape Architecture  
 Surveying

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