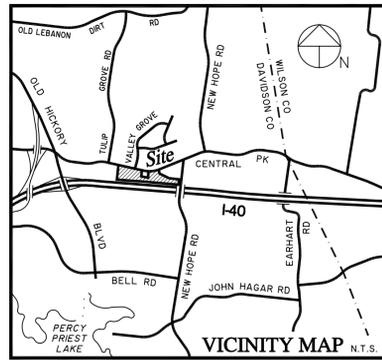
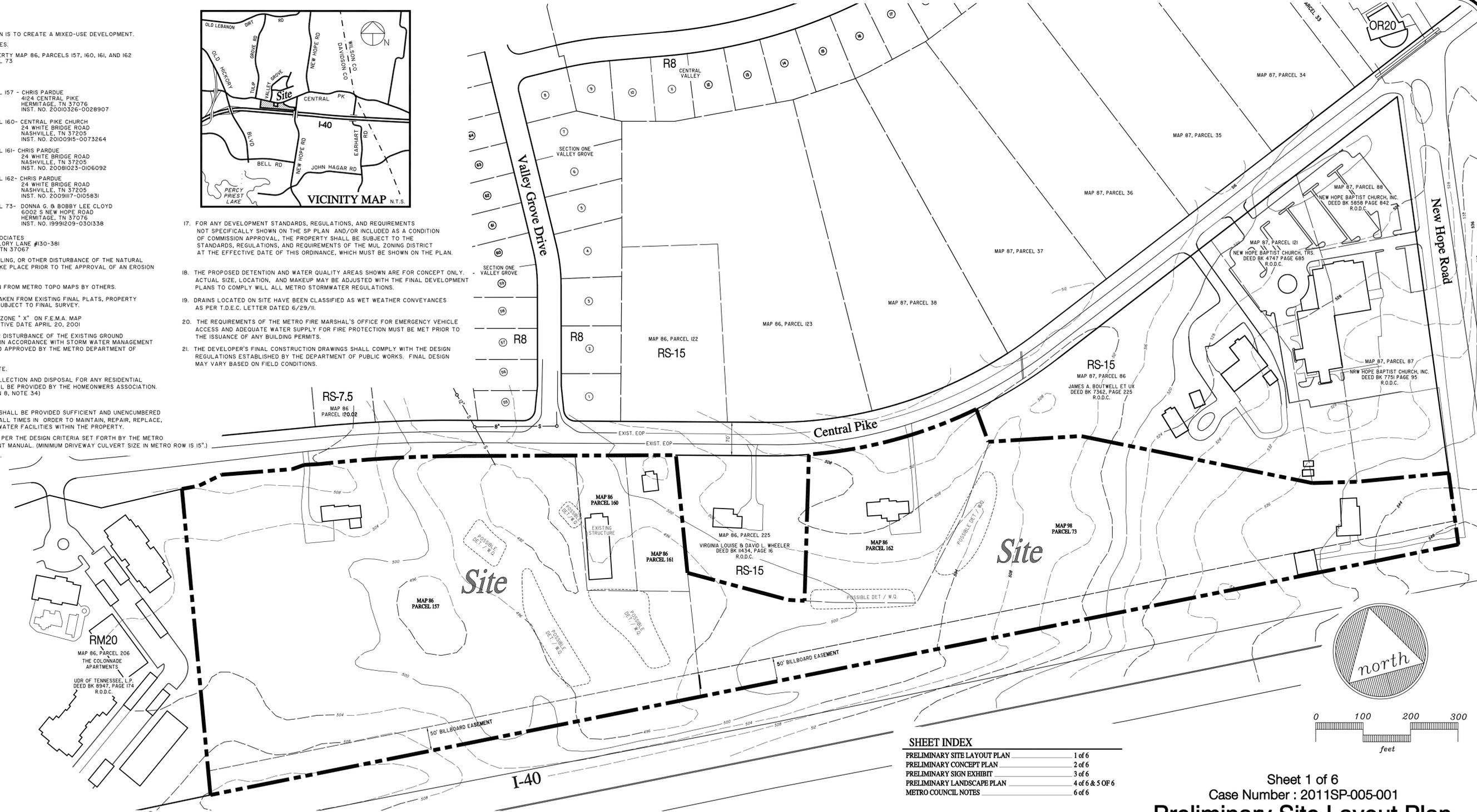


NOTES:

1. THE PURPOSE OF THIS PLAN IS TO CREATE A MIXED-USE DEVELOPMENT.
2. SITE CONTAINS 25.93± ACRES.
3. SITE IS LOCATED ON PROPERTY MAP 86, PARCELS 157, 160, 161, AND 162 PROPERTY MAP 98, PARCEL 73
4. EXISTING ZONING: RS15
5. PROPOSED ZONING: SP
6. PROPERTY OWNER: PARCEL 157 - CHRIS PARDUE
4124 CENTRAL PIKE
HERMITAGE, TN 37076
INST. NO. 20010326-0028907
7. DEVELOPER: CSP & ASSOCIATES
2000 MALLORY LANE #130-381
FRANKLIN, TN 37067
8. NO GRADING, STRIPPING, FILLING, OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE PRIOR TO THE APPROVAL OF AN EROSION CONTROL PLAN.
9. EXISTING CONTOURS TAKEN FROM METRO TOPO MAPS BY OTHERS.
10. BOUNDARY INFORMATION TAKEN FROM EXISTING FINAL PLATS, PROPERTY MAPS AND DEEDS, AND IS SUBJECT TO FINAL SURVEY.
11. PROPERTY IS LOCATED IN ZONE "X" ON F.E.M.A. MAP No. 47037C0275F, EFFECTIVE DATE APRIL 20, 2001
12. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METRO DEPARTMENT OF WATER SERVICES.
13. ALL DRIVES TO BE PRIVATE.
14. PRIVATE SOLID WASTE COLLECTION AND DISPOSAL FOR ANY RESIDENTIAL PORTION OF THE SITE WILL BE PROVIDED BY THE HOMEOWNERS ASSOCIATION. (SEE BL2011-885, SECTION 8, NOTE 34)
15. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
16. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL. (MINIMUM DRIVEWAY CULVERT SIZE IN METRO ROW IS 15")



17. FOR ANY DEVELOPMENT STANDARDS, REGULATIONS, AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS, AND REQUIREMENTS OF THE MUL ZONING DISTRICT AT THE EFFECTIVE DATE OF THIS ORDINANCE, WHICH MUST BE SHOWN ON THE PLAN.
18. THE PROPOSED DETENTION AND WATER QUALITY AREAS SHOWN ARE FOR CONCEPT ONLY. ACTUAL SIZE, LOCATION, AND MAKEUP MAY BE ADJUSTED WITH THE FINAL DEVELOPMENT PLANS TO COMPLY WILL ALL METRO STORMWATER REGULATIONS.
19. DRAINS LOCATED ON SITE HAVE BEEN CLASSIFIED AS WET WEATHER CONVEYANCES AS PER T.D.E.C. LETTER DATED 6/29/11.
20. THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
21. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.



SHEET INDEX

PRELIMINARY SITE LAYOUT PLAN	1 of 6
PRELIMINARY CONCEPT PLAN	2 of 6
PRELIMINARY SIGN EXHIBIT	3 of 6
PRELIMINARY LANDSCAPE PLAN	4 of 6 & 5 OF 6
METRO COUNCIL NOTES	6 of 6

SP Development Summary

● COUNCIL DISTRICT:	12th
● COUNCIL MEMBER:	Mr. Jim Gatto
● OWNER:	Parcel 157, 161, & 162 - Chris Pardue Parcel 160 - Central Pike Church Parcel 73 - Donna G. & Bobby Lee Cloyd Developer : CSP & Associates 2000 Mallory Lane #130-381 Franklin, TN 37067 contact : Brandon Pardue
● OVERLAY DISTRICT:	N/A
● SP NAME:	Central Pike South
● SP NUMBER:	2011SP-005-001
● PLAT PREPARATION DATE:	01-03-11
● REVISIONS:	01-31-11 NOTE 17 02-07-11 02-22-11 02-23-11 ADDED PARCEL 73 08-22-11
● SCALE:	1" = 100'
● SHEET NUMBER:	Sheet 1 of 6
● SURVEYOR:	Anderson, Delk, Epps & Associates, Inc. 618 Grassmere Park Drive, Suite 4 Nashville, TN 37211 phone : (615) 331-0809 fax : (615) 331-0810 e-mail : andersdelk@bellouth.net
● FEMA MAP NO.	47037C0275F, ZONE "X"

This drawing is for illustration purposes only to indicate the basic premise of the proposed development. The final layout, building footprints, unit count, and other details of the plan shall be governed by the overall intent and requirements set out by the approved SP documents, and the appropriate regulations at the time of its approval.

Bulk Standards Table FOR DETAILED STANDARDS & BULK STANDARDS SEE SP BOOKLET

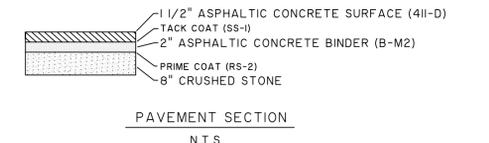
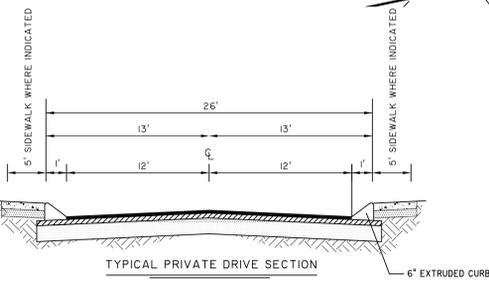
SITE AREA:	25.93± Acres
MAXIMUM BUILDING HEIGHT:	5 STORIES (COMMERCIAL, OFFICE, RESIDENTIAL) 6 STORIES (HOTEL) 3 STORIES (ALONG CENTRAL PIKE)
MAXIMUM FAR:	1.00
MAXIMUM ISR:	0.80
MAXIMUM DENSITY:	40 UNITS/AC.
MINIMUM REAR SETBACK:	20 FT
SETBACK FROM CENTRAL PIKE:	5' TO 68' BULD TO LINE

Building Materials

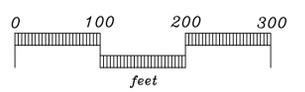
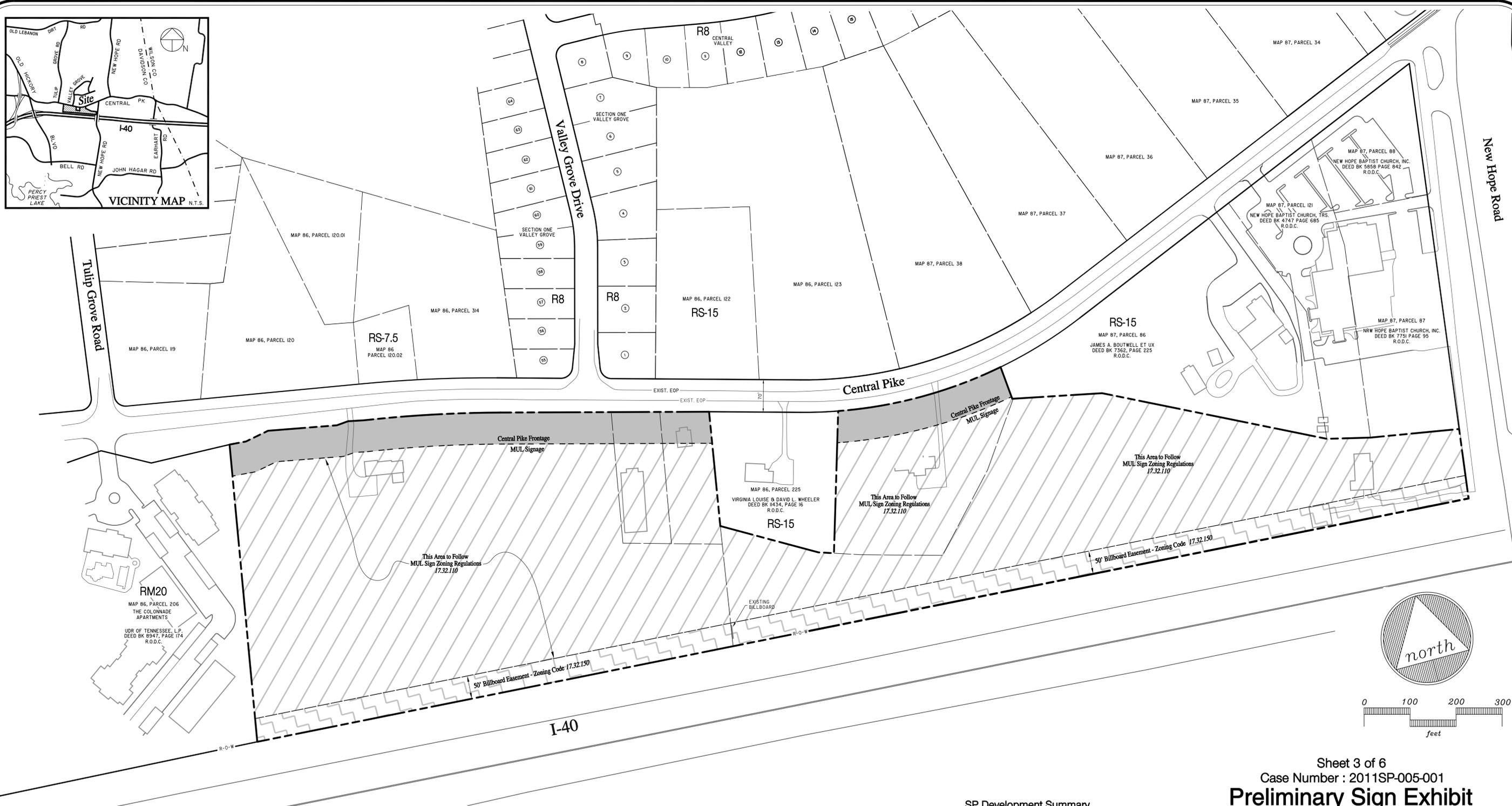
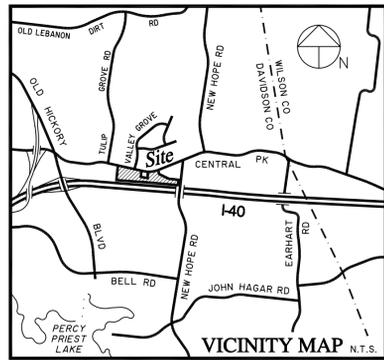
OUTSIDE WALLS : BRICK, STONE, SPLIT FACED BLOCK, AND MASONRY SIDING
 ROOFS : COMMERCIAL GRADE RUBBER ROOFS. VISIBLE PARTS OF ROOF MAY BE CLAD IN ASPHALT SHINGLES, GALVANIZED OR PAINTED STEEL, OR COPPER
 TRIM : COMMERCIAL GRADE ALUMINUM OR VINYL
 AWNINGS : FABRIC, BRUSHED ALUMINUM, STAINLESS OR PAINTED METAL

Parking & Access

PARKING REQUIRED: AS APPLICABLE USE SET FORTH IN METRO ZONING CODE 17.20
 PARKING LOCATION: PARKING MAY BE LOCATED IN FRONT, BEHIND, BESIDE, OR BENEATH THE PROPOSED BUILDINGS. GARAGES ARE ALSO PERMITTED. PARKING IN FRONT OF THE BUILDINGS ALONG CENTRAL PIKE IS LIMITED TO A SINGLE ROW OF PARKING
 ACCESS: THERE SHALL BE A MINIMUM OF THREE ACCESS POINTS TO CENTRAL PIKE, WITH NO DIRECT PARKING LOT ACCESS TO CENTRAL PIKE. PARKING LOT ACCESS WILL BE FROM A PRIVATE DRIVE.



Sheet 1 of 6
 Case Number : 2011SP-005-001
Preliminary Site Layout Plan
Central Pike South Property
 Proposed SP Development
 12th Councilmanic District
 Nashville, Davidson County, Tennessee
 developer
CSP & Associates
 2000 Mallory Lane #130-381
 Franklin, TN 37067
 Date: 01-03-11 Scale : 1" = 100'
Anderson, Delk, Epps & Associates Inc.
 618 Grassmere Park Drive, Suite 4
 Nashville, Tennessee 37211
 (615) 331-0809



Signage

ALONG CENTRAL PIKE: SIGNAGE ALONG CENTRAL PIKE SHALL BE SUCH THAT IT ALERTS MOTORISTS, PEDESTRIANS, AND CYCLIST TO THEIR LOCATION AND ASSISTS IN FINDING A DESTINATION. IT SHALL BE DESIGNED SO THAT IT IS NOT DISTRACTING OR OVERWHELMING TO THE CENTER OR THE STREETSCAPE. SIGNAGE SHALL BE SCALED FOR VEHICLES ALONG CENTRAL PIKE. MONUMENT SIGNS ARE APPROPRIATE AND APPROPRIATE SIGNAGE SCALED FOR PEDESTRIANS INCLUDES BUILDING MOUNTED SIGNS, PROJECTING SIGNS, OR AWNING SIGNS.

MONUMENT SIGNS SHALL HAVE A MAXIMUM HEIGHT OF 8 FEET AND PILLAR SIGNS A MAXIMUM HEIGHT OF 15 FEET. A MONUMENT SIGN SHALL HAVE A CONSISTENT BASE THAT IS AT LEAST AS LONG AS THE BACKGROUND AREA OF THE SIGN. A PILLAR SIGN SHALL BE SUPPORTED BY TWO MASONRY PILLARS AT THE HORIZONTAL EDGES OF THE SIGN BACKGROUND AREA.

ON-PREMISES SIGNS: SHALL BE AS REQUIRED BY METRO ZONING CODE 17.32.110 FOR MUL ZONING.

BILLBOARDS: BILLBOARDS SHALL BE PERMITTED ALONG INTERSTATE 40 FRONTAGE AND SHALL BE AS REQUIRED UNDER METRO ZONING CODE 17.32.150

Legend

-  Central Pike Frontage Signage
-  MUL Zoning Signage (17.32.110)
-  Billboard Signage (17.32.150)

This drawing is for illustration purposes only to indicate the basic premise of the proposed development. The final layout, building footprints, unit count, and other details of the plan shall be governed by the overall intent and requirements set out by the approved SP documents, and the appropriate regulations at the time of its approval.

SP Development Summary

● COUNCIL DISTRICT:	i2th
● COUNCIL MEMBER:	Mr. Jim Gatta
● OWNER:	Parcel 157, 161, & 162 - Chris Pardue Parcel 160 - Central Pike Church Parcel 73 - Donna G. & Bobby Lee Cloyd Developer : CSP & Associates 2000 Mallory Lane #130-381 Franklin, TN 37067 contact : Brandon Pardue
● OVERLAY DISTRICT:	N/A
● SP NAME:	Central Pike South
● SP NUMBER:	2011SP-005-001
● PLAT PREPARATION DATE:	01-03-11
REVISIONS:	02-07-11 02-22-11 02-23-11 ADDED PARCEL 73 08-22-11
● SCALE:	1" = 100'
● SHEET NUMBER:	Sheet 3 of 6
● SURVEYOR:	Anderson, Delk, Epps & Associates, Inc. 618 Grassmere Park Drive, Suite 4 Nashville, TN 37211 phone : (615) 331-0809 fax : (615) 331-0100 e-mail : andersondelk@bellsouth.net
● FEMA MAP NO.	47037C0275F, ZONE "X"

Sheet 3 of 6
Case Number : 2011SP-005-001

Preliminary Sign Exhibit

Central Pike South Property

Proposed SP Development
12th Councilmanic District
Nashville, Davidson County, Tennessee

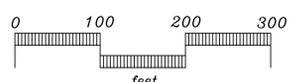
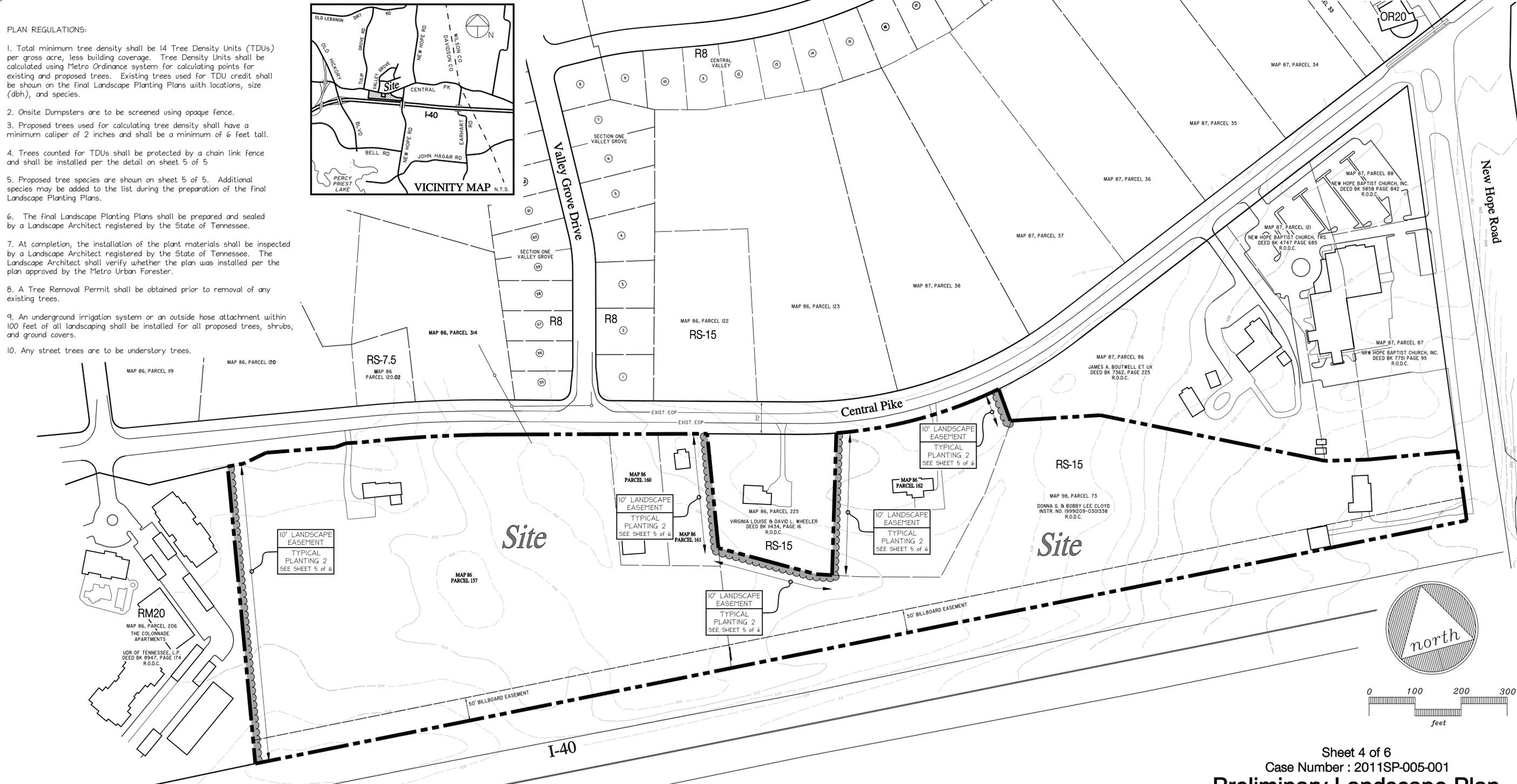
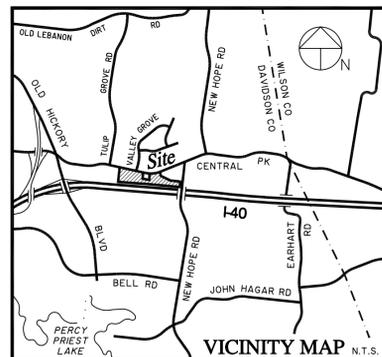
developer
CSP & Associates
2000 Mallory Lane #130-381
Franklin, TN 37067

Date: 01-03-11 Scale : 1" = 100'

Anderson, Delk, Epps & Associates Inc.
618 Grassmere Park Drive, Suite 4
Nashville, Tennessee 37211
(615) 331-0809

PLAN REGULATIONS:

- Total minimum tree density shall be 14 Tree Density Units (TDUs) per gross acre, less building coverage. Tree Density Units shall be calculated using Metro Ordinance system for calculating points for existing and proposed trees. Existing trees used for TDU credit shall be shown on the final Landscape Planting Plans with locations, size (dbh), and species.
- Onsite Dumpsters are to be screened using opaque fence.
- Proposed trees used for calculating tree density shall have a minimum caliper of 2 inches and shall be a minimum of 6 feet tall.
- Trees counted for TDUs shall be protected by a chain link fence and shall be installed per the detail on sheet 5 of 5
- Proposed tree species are shown on sheet 5 of 5. Additional species may be added to the list during the preparation of the final Landscape Planting Plans.
- The final Landscape Planting Plans shall be prepared and sealed by a Landscape Architect registered by the State of Tennessee.
- At completion, the installation of the plant materials shall be inspected by a Landscape Architect registered by the State of Tennessee. The Landscape Architect shall verify whether the plan was installed per the plan approved by the Metro Urban Forester.
- A Tree Removal Permit shall be obtained prior to removal of any existing trees.
- An underground irrigation system or an outside hose attachment within 100 feet of all landscaping shall be installed for all proposed trees, shrubs, and ground covers.
- Any street trees are to be understory trees.



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SP Development Summary

● COUNCIL DISTRICT:	12th
● COUNCIL MEMBER:	Mr. Jim Gatto
● OWNER:	Parcel 157, 161, & 162 - Chris Purdue Parcel 160- Central Pike Church Parcel 73- Donna G. & Bobby Lee Cloyd Developer : CSP & Associates 2000 Mallory Lane #130-381 Franklin, TN 37067 contact : Brandon Purdue
● OVERLAY DISTRICT:	N/A
● SP NAME:	Central Pike South
● SP NUMBER:	2011SP-005-001
● PLAT PREPARATION DATE:	01-03-11
REVISIONS:	02-22-11 02-23-11 ADDED PARCEL 73 08-22-11
● SCALE:	1" = 100'
● SHEET NUMBER:	Sheet 4 of 6
● SURVEYOR:	Anderson, Delk, Epps & Associates, Inc. 618 Grassmere Park Drive, Suite 4 Nashville, TN 37211 phone : (615) 331-0809 fax : (615) 331-0100 e-mail : andersondelk@bellsouth.net
● FEMA MAP NO.	47037C0275F, ZONE "X"

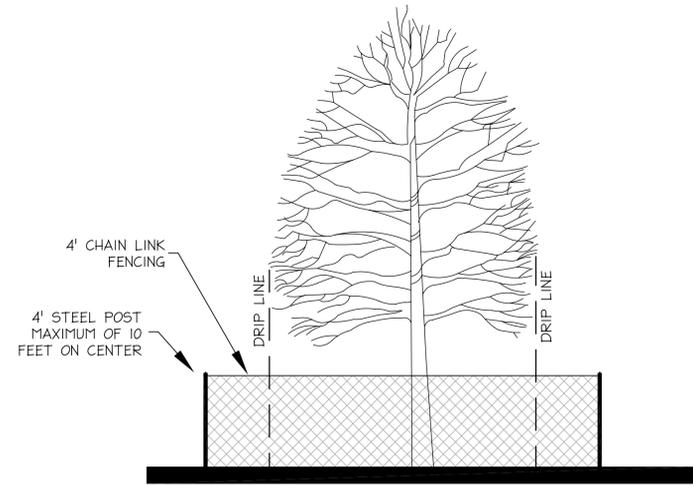
Sheet 4 of 6
Case Number : 2011SP-005-001
Preliminary Landscape Plan
Central Pike South Property

Proposed SP Development
12th Councilmanic District
Nashville, Davidson County, Tennessee
developer
CSP & Associates
2000 Mallory Lane #130-381
Franklin, TN 37067

Date: 01-03-11 Scale : 1" = 100'

Anderson, Delk, Epps & Associates Inc.

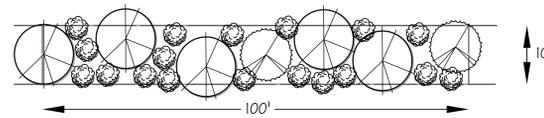
618 Grassmere Park Drive, Suite 4
Nashville, Tennessee 37211
(615) 331-0809



PLACE POSTS AND FENCING 5 FEET BEYOND DRIP LINE OF TREES, NOT MORE THAN 10 FEET ON CENTER

TREE PROTECTION DETAIL

n.t.s.



TYPICAL PLANTING 2 REQUIREMENTS PER 100 FEET

4.5 Canopy Tree -- 50% or more must be Evergreen
 1.8 Understory Tree -- 50% or more must be Evergreen
 18 Shrubs -- 50% or more must be Evergreen

TYPICAL PLANTING 2

n.t.s.

Existing Trees 4 inches in caliper DBH and greater shall count for the trees required above provided that they are in healthy condition at the time of inspection at completion of the project by the Landscape Architect. If there are not 2 existing trees that remain per 100' after construction a Canopy Tree and an Understory Tree must be installed for each 100 linear feet (e.g. 1 existing tree remains, so no Canopy Trees and 1 Understory Tree must be installed.) Trees must be relatively uniformly distributed. (e.g. for 300 feet of Typical Planting Area there are only 6 trees clustered within a 50 foot area. Those trees will count for a 100 foot area. The other 200 feet of Typical Planting Area must have 1 Canopy Tree and 1 Understory Tree installed as required above.) If the area is heavily forested and planting shrubs is not feasible, then it is possible that a lesser number or no shrubs may be installed.

LEGEND FOR TYPICAL PLANTINGS

- PROPOSED CANOPY TREES
- PROPOSED UNDERSTORY TREES
- PROPOSED SHRUBS

LIST OF POTENTIAL TREE SPECIES

CANOPY TREES:

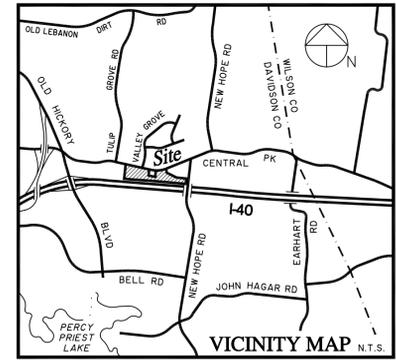
- Acer rubrum 'Red Sunset' -- Red Sunset Red Maple
- Acer saccharum -- Sugar Maple
- Liriodendron tulipifera -- Tuliptree
- Magnolia grandiflora -- Southern Magnolia
- Magnolia grandiflora 'Alta' -- Alta Magnolia
- Pinus strobus -- White Pine
- Pinus taeda -- Loblolly Pine
- Platanus acerifolia -- London Planetree
- Quercus nuttalli -- Nuttall Oak
- Quercus phellos -- Willow Oak
- Quercus palustris -- Pin Oak
- Quercus rubra -- Red Oak
- Salix babylonica -- Weeping Willow
- Taxiodum distichum -- Common Bald Cypress
- Ulmus parvifolia 'Alee' -- Alee Chinese Elm

UNDERSTORY TREES:

- Acer campestre -- Hedge Maple
- Cercis canadensis -- Eastern Redbud
- Cornus florida -- Flowering Dogwood
- Cornus kousa chinensis -- Chinese Kousa Dogwood
- Ilex attenuata 'Fosteri' -- Foster Holly
- Lagerstroemia indica -- Grape Myrtle
- Magnolia grandiflora 'Little Gem' -- Little Gem Magnolia
- Magnolia virginiana -- Sweetbay Magnolia
- Prunus cerasifera 'Thundercloud' -- Thundercloud Purpleleaf Plum

EVERGREEN SCREENING:

- Cupressocyparis leylandii -- Leyland Cypress
- Juniperus virginiana -- Eastern Red Cedar
- Magnolia grandiflora -- Southern Magnolia
- Pinus strobus -- White Pine
- Pinus taeda -- Loblolly Pine



SP Development Summary

● COUNCIL DISTRICT:	12th
● COUNCIL MEMBER:	Mr. Jim Getto
● OWNER:	Parcel 157, 161, & 162 - Chris Pardue Parcel 160- Central Pike Church Parcel 73- Donna G. & Bobby Lee Clayd Developer : CSP & Associates 2000 Mallory Lane #130-381 Franklin, TN 37067 contact : Brandon Pardue
● OVERLAY DISTRICT:	N/A
● SP NAME:	Central Pike South
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● PLAT PREPARATION DATE:	01-03-11
REVISIONS:	02-23-11 ADDED PARCEL 73 08-22-11
● SCALE:	1" = 100'
● SHEET NUMBER:	Sheet 5 of 6
● SURVEYOR:	Anderson, Delk, Epps & Associates, Inc. 618 Grassmere Park Drive, Suite 4 Nashville, TN 37211 phone : (615) 331-0809 fax : (615) 331-0810 e-mail : andersondelk@bellsouth.net
● FEMA MAP NO.	47037C0275F, ZONE "X"

Sheet 5 of 6
 Case Number : 2011SP-005-001
Preliminary Landscape Plan
Central Pike South Property

Proposed SP Development
 12th Councilmanic District
 Nashville, Davidson County, Tennessee

developer
CSP & Associates
 2000 Mallory Lane #130-381
 Franklin, TN 37067

Date: 01-03-11 Scale : 1" = 100'

Anderson, Delk, Epps & Associates Inc.

618 Grassmere Park Drive, Suite 4
 Nashville, Tennessee 37211
 (615) 331-0809

ORDINANCE NO. BL2011-885

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County by changing from RS15 to SP zoning for properties located at 4124, 4140, 4144 and 4156 Central Pike and at 6002 S. New Hope Road, approximately 1,200 feet west of S. New Hope Road (25.93 acres), to permit a mixed-use development consisting of office, retail, commercial, restaurant, multi-family and live/work uses, all of which is described herein. (Proposal No. 2011 SP-005-001)

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from RS15 to SP zoning for properties located at 4124, 4140, 4144 and 4156 Central Pike and at 6002 S. New Hope Road, approximately 1,200 feet west of S. New Hope Road (25.93 acres), to permit a mixed-use development consisting of office, retail, commercial, restaurant, multi-family and live/work uses, being Property Parcel Nos. 157, 160, 161, 162 as designated on Map 086-00 and Property Parcel No. 073 as designated on Map 098-00 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the attached sketch, which is attached to and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Maps 086 and 098 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to those shown on the plan.

Section 4. Be it further enacted, that a maximum of one ground sign per driveway entrance along the Central Pike frontage shall be permitted within the SP.

Section 5. Be it further enacted, that driveway access points to the site shall be limited to the number and general location as shown in the preliminary site plan.

Section 6. Be it further enacted, that the parking standards shall be revised to require non-UZO parking standards of the Metro Zoning Code for allowed uses.

Section 7. Be it further enacted that the following shall be included on the corrected copy of the SP Plan: The ground sign standards proposed within the SP for the Central Pike frontage shall apply throughout the entire site. The plan shall be revised to eliminate the on-premises sign standards on page 3 of the SP drawing set. All other signage shall follow the standards of the MUL zoning district. Billboard standards shall apply as stated within the SP."

Section 8. Be it further enacted, that the following conditions shall be completed banded or satisfied as specifically required:

1. A minimum of 50 percent of the SP frontage along Central Pike for each lot within the SP shall be occupied by building frontage. Building frontage is defined as a building facade that:
 - a. Faces onto Central Pike.
 - b. Is located within the required build-to zone.
 - c. Has a minimum length along Central Pike that is longer than the depth of the same building.
 - d. Provides primary pedestrian access to the building.

2. A maximum of one row of parking shall be permitted in front of buildings constructed within the Central Pike build-to zone.

3. A phasing plan for the SP boundary shall be submitted prior to any future final SP approvals.

4. A site plan illustrating the intended street/driveway pattern for each phase shall be submitted prior to any final SP approvals within that phase.

5. Future development of the SP shall include vehicular cross-connectivity throughout the SP via private streets/driveways that provide continuous sidewalk connectivity and landscaping (including street trees) along their edges.

6. Future development shall provide strong pedestrian frontage, including the provision of primary building entrances and walkway connections, to a primary internal street/driveway with a sidewalk. A maximum of two rows of parking may separate a building frontage from any private street/driveway.

7. All requirements of Chapter 17.24 (Landscaping, buffering and tree replacement) of the Metro Zoning Code for MUL zoning shall be met with any final site plan within the SP.

8. Driveway ramps per Metro ST-324 shall be constructed.

9. Although the proposed SP bulk requirements permit a more intense development, the traffic impact study and associated conditions are based on the following land-use development figures: 61,035 square feet of retail, 122,367 square feet of office and 680 multi-family residential units as stipulated in the traffic study. Any development intensity beyond these figures shall require additional traffic analysis and may require additional mitigations.

10. With the submittal of each final SP plan, the developer shall analyze the anticipated impact at the intersection of Central Pike and Old Hickory Boulevard. Construction of a double left turn lane on the westbound approach of Central Pike or other mitigations may be required as determined by the analysis as directed by the Metro traffic engineer. Modification to the existing traffic signal shall be required if the construction of a double left turn lane is recommended.

11. Developer shall conduct an intersection capacity and signal warrant analysis at the intersection of Central Pike and South New Hope Road at 4,500 SP generated daily trips or as directed by the Metro traffic engineer. Upon approval by the Traffic and Parking Commission, the developer shall design and install the traffic signal as approved by Public Works. The signal plan may include the installation of pedestrian signals and signal interconnect cable with other traffic signals in the vicinity.

12. With the approval and installation of a traffic signal at the intersection of Central Pike and South New Hope Road, a westbound left turn lane on Central Pike shall be constructed with tapers per MUTCD and AASHTO standards. The storage length shall be determined of the time construction plans are developed. Additional improvements to New Hope Road may be required as determined by the intersection analysis.

13. The dedicated westbound left turn lanes of all four proposed driveway connections recommended by the traffic impact study shall be constructed with a minimum of 100 feet of storage and tapers per MUTCD and AASHTO standards. Because of the close proximity of each proposed driveway connection to the Tulip Grove intersection and to one another, the Central Pike improvements may require the construction of a continuous two-way left turn lane between the intersection of Tulip Grove and each of the proposed driveways.

14. Access drive A shall be constructed with a minimum of 1 entering lane and 2 exiting lanes marked for separate left and right turn lanes.

15. At access drive A, a westbound left turn lane on Central Pike with a minimum of 100 feet of storage and tapers per MUTCD and AASHTO standards shall be constructed.

16. At access drive A, an eastbound right turn lane on Central Pike with a minimum of 100 feet of storage and 180 feet taper per MUTCD and AASHTO standards shall be constructed.

17. At access drive A, adequate sight distance shall be provided. Any landscaping, grading, or signage/structure shall not be placed within the intersection sight triangles per AASHTO standards.

18. Access drive B shall align with Valley Grove Drive and shall be constructed with a minimum of 1 entering lane and 3 exiting lanes marked for separate left, thru and right turn lanes. Storage lengths shall be determined at the time construction plans are developed.

19. At access drive B, a westbound left turn lane on Central Pike with a minimum of 100 ft of storage and tapers per MUTCD and AASHTO standards shall be constructed. As part of this improvement, an eastbound left turn lane with a minimum of 50 ft of storage and tapers per MUTCD and AASHTO standards shall be constructed.

20. At access drive B, an eastbound right turn lane on Central Pike with a minimum of 100 feet of storage and 180 feet of taper per MUTCD and AASHTO standards shall be constructed.

21. At access drive B, adequate sight distance shall be provided. Any landscaping, grading, or signage/structure shall not be placed within the intersection sight triangles per AASHTO standards.

22. A signal warrant analysis at the intersection of Central Pike and access drive Valley Grove Drive shall be conducted at 6,000 SP generated daily trips or as directed by Metro traffic engineer. Upon approval by the Traffic and Parking Commission, the traffic signal as approved by Public Works shall be designed and installed. The signal plan may include the installation of pedestrian signals and signal interconnect cable with other traffic signals in vicinity.

23. Access drive C shall be constructed with a minimum of 1 entering lane and 2 exiting lanes marked for separate left and right turn lanes.

24. At access drive C, a westbound left turn lane on Central Pike with a minimum of 100 feet of storage and tapers per MUTCD and AASHTO standards shall be constructed.

25. At access drive C, an eastbound right turn lane on Central Pike with a minimum of 100 feet of storage and 180 feet of taper per MUTCD and AASHTO standards shall be constructed.

26. At access drive C, adequate sight distance shall be provided. Any landscaping, grading, or signage structure shall not be placed within the intersection sight triangles per AASHTO standards.

27. Access drive D shall be constructed with a minimum of 1 entering lane and 2 exiting lanes marked for separate left and right turn lanes.

28. At access drive D, a westbound left turn lane on Central Pike with a minimum of 100 ft of storage and tapers per MUTCD and AASHTO standards shall be constructed.

29. At access drive D, an eastbound right turn lane on Central Pike at access drive A with a minimum of 100 feet of storage and 180 feet of taper per MUTCD and AASHTO standards shall be constructed.

30. At access drive D, adequate sight distance shall be provided. Any landscaping, grading, or signage structure shall not be placed within the intersection sight triangles per AASHTO standards.

31. Cross access to adjacent properties and parcels within and adjacent to the proposed SP shall be provided.

32. Any future connection of SP to South New Hope Road may require road improvements to New Hope Road.

33. The site shall be evaluated and facilities provided to accommodate future transit bus service.

34. Although this request is within the General Services District and is not currently serviced by Metro garbage pickup, a solid waste collection and disposal plan must be approved by the Waste Management Division of Public Works. As proposed, the SP calls for trash pick-up/collection that is not consistent with Metro standards. Prior to final SP plan approval, the trash collection plan must be approved by the Waste Management Division of Public Works. If the proposed trash pick-up/collection plan is not approved then the plan shall be revised to accommodate Metro trash pick-up/collection requirements, and could result in the reduction of the total number of units. Any changes that are not consistent with the concept of the original plan shall require approval from the Metro Council. The proposed solid waste collection and disposal plan shall be reviewed and coordinated with the Department of Public Works Solid Waste Division.

35. All parking, utilities, meter boxes, back flow preventers, heating and cooling units and other mechanical systems shall be screened to a minimum height of 3 feet, or located away from public view 36. The minimum finished square footage of the living area of townhomes, condos or apartments shall be 550 square feet.

37. Townhomes, condominiums or apartments shall be limited to a maximum of 40% one bedroom units.

38. A minimum of 5 acres of the total site shall be non-residential. (Not to include inter-connective driveways internal to the site.)

39. The minimum finished square footage of the living area of single family homes shall be 1,600 square feet.

40. The exterior of all buildings shall be brick, natural stone, manmade stone, hard coat stucco, cement, fiber board, split face block or fiber cement siding/shingles.

41. Vinyl siding is permitted only on soffits, trim, windows, and second story dormers.

42. No fences will be allowed from the front facade of any structure to the street.

43. Residential side yard and rear yard fences shall be constructed of masonry, vinyl, aluminum, wood, ornamental iron, or equivalent products.

44. Fences for commercial uses shall also permit chain link in clad form.

45. The development shall comply with the lighting and noise standards of Article II of Chapter 17.28 of the Metropolitan Zoning Code, Operational Performance Standards.

Section 9. Be it further enacted, that prior to the recording of final plat if the development warrants dedication of a school site based on the number of students projected, a school site in compliance with the standards of Section 17.6.040 as determined by the Metro School Board shall be offered for dedication. Such site shall be in accordance with the site condition and location criteria of the Metropolitan Board of Education and shall be within the McGavock High School cluster. The Board of Education may decline such dedication if it finds that a site is not needed or desired. Failure of the Board of Education to act prior to final plat consideration and approval by the Metropolitan Planning Commission in accordance with its schedule and requirements shall constitute a waiver of this requirement by the Board of Education.

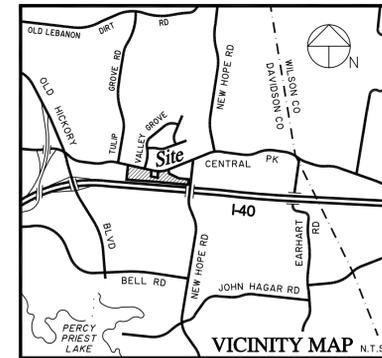
Section 10. Be it further enacted that prior to the issuance of a building permit on a lot, the arterial sidewalk as required by Metro, paved shoulder and curb and gutter per Metro standards, shall be constructed along the front side of the building lot.

Section 11. Be it further enacted, that a corrected copy of the preliminary SP plan incorporating the conditions of approval by the Planning Commission and Council shall be provided to the Planning Department prior to the filing of any additional development applications for this property, and in any event no later than 120 days after the effective date of the enacting ordinance. The corrected copy provided to the Planning Department shall include printed copy of the preliminary SP plan and a single PDF that contains the plan and all related SP documents. If a corrected copy of the SP plan incorporating the conditions thereis is not provided to the Planning Department within 120 days of the effective date of the enacting ordinance, then the corrected copy of the SP plan shall be presented to the Metro Council as an amendment to this SP ordinance prior to approval of any grading, clearing, grubbing, final site plan, or any other development application for the property.

Section 12. Be it further enacted, that minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved in the plan that is part of this ordinance.

Section 13. Be it further enacted, that for any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the MUL zoning district as of the date of the applicable request or application.

Section 14. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.



List of Permitted Land Uses
Central Pike South SP - Ordinance No. BL2011-885

Exhibit A

RESIDENTIAL	COMMERCIAL USES	Legend
Single Family P	ATM PC	P=Permitted
Two Family P	Automobile Convenience PC	P= Perm itted
Multi Family P	Automobile Parking P	With Conditions
Consignment Sale P	Automobile Service P	A=Accessory Use
Garage Sale P	Bed and Breakfast Inn P	
garage Sale A	Business Service P	
Home Occupation P	Donation Drop Off PC	
	Funeral Home P	
INSTITUTIONAL USES	Furniture Store P	
Cultural Center P	Home Improvement Sales PC	
Day Care Center PC	Hotel/Motel P	
Day Care Home PC	Inventory Stock A	
Day Care-Parent's Day Out A	Mobile Storage Unit PC	
School Day Care A	Personal Care Services P	
Monastery or Convent P	Restaurant-Fast Food P	
Orphanage P	Restaurant-Full Service P	
Religious Institution P	Restaurant-Take Out P	
	Retail P	
EDUCATIONAL USES	COMMUNICATION USES	
Business School P	Amateur Radio Antenna P	
Community Education P	Audio/Video Tape Transfer P	
Dormitory P	Multi-Media Production P	
Personal Instruction P	Radio/TV Satellite Tower SE	
Vocational School PC	Satellite Dish P	
	Telephone Services PC	
OFFICE USES	TRANSPORTATION USES	
Financial Institution P	Bus Transfer Station SE	
General Office P	Commuter Rail SE	
Leasing/Sales Office P		
MEDICAL USES	RECREATION AND ENTERTAINMENT USES	
Assisted Care Living P	Club P	
Hospice P	Commercial Amusement (Inside) P	
Medical Appliance Sales P	Driving Range PC	
Medical Office P	Golf Course P	
Medical or Scientific Lab P	Greenway P	
Nursing Home P	Park P	
Outpatient Clinic P	Recreation Center P	
	Rehearsal Hall P	
	Temporary Festival SE	
	Theater P	
Rehabilitation Services P		
Residence for Handicapped P		
Veterinarian PC		
	OTHER USES	
	Pond/Lake P	

Limited to physical
Rehabilitation
services only

Sheet 6 of 6
Case Number : 2011SP-005-001

Central Pike South Property

Proposed SP Development
12th Councilmanic District
Nashville, Davidson County, Tennessee

developer
CSP & Associates
2000 Mallory Lane #130-381
Franklin, TN 37067

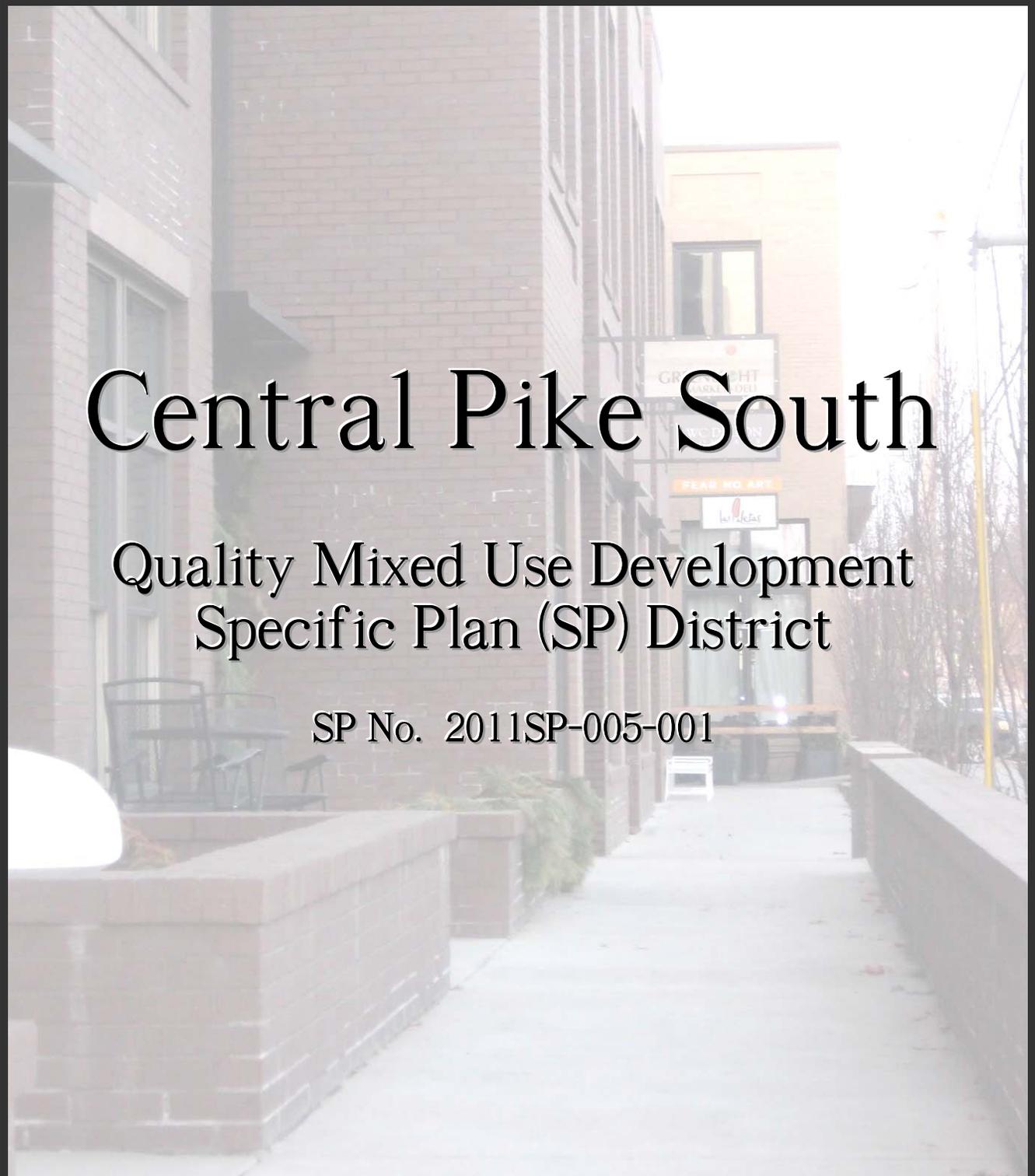
Date: 08-22-11 Scale : 1" = 100'

Anderson, Delk, Epps & Associates Inc.

618 Grassmere Park Drive, Suite 4
Nashville, Tennessee 37211
(615) 331-0809

SP Development Summary

● COUNCIL DISTRICT:	12th
● COUNCIL MEMBER:	Mr. Jim Getto
● OWNER:	Parcel 157, 161, & 162 - Chris Pardue Parcel 160 - Central Pike Church Parcel 73- Donna G. & Bobby Lee Cloyd Developer : CSP & Associates 2000 Mallory Lane #130-381 Franklin, TN 37067 contact : Brandon Pardue
● OVERLAY DISTRICT:	N/A
● SP NAME:	Central Pike South
● SP NUMBER:	2011SP-005-001
● PLAT PREPARATION DATE:	08-22-11
REVISIONS:	
● SCALE:	1" = 100'
● SHEET NUMBER:	Sheet 6 of 6
● SURVEYOR:	Anderson, Delk, Epps & Associates, Inc. 618 Grassmere Park Drive, Suite 4 Nashville, TN 37211 phone : (615) 331-0809 fax : (615) 331-0810 e-mail : andersondelk@bellsouth.net
● FEMA MAP NO.	47037C0275F, ZONE "X"



Central Pike South

Quality Mixed Use Development Specific Plan (SP) District

SP No. 2011SP-005-001

Developer:
CSP & ASSOCIATES

By:

Preliminary SP
as per
Metro Council Bill
BL2011-885



Anderson, Delk, Epps & Associates Inc.

ENGINEERING / PLANNING / SURVEYING
618 Grassmere Park Drive - Suite 4
Nashville, Tennessee 37211

Central Pike South- SP District

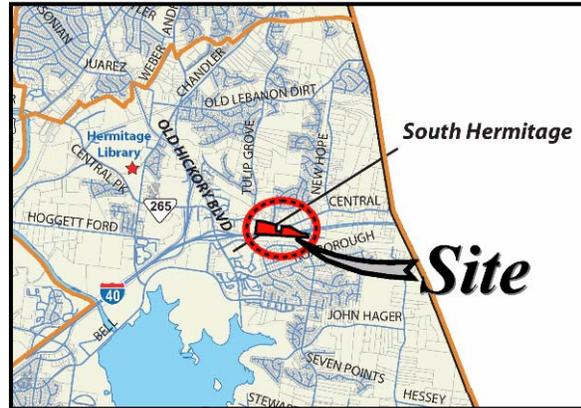
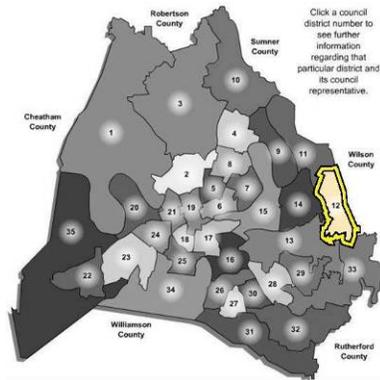
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CENTRAL PIKE SOUTH SPECIFIC PLAN ZONING DISTRICT

Application #: 2011SP-005-001

Council District: 12



Council Member :



Mr. Jim Gotto

Parcel ID #: Map 86, Parcels 157, 160, 161, and 162
Map 98, Parcels 73

Submittal Date: January 27, 2011

Developer: CSP & Associates
2000 Mallory Lane #130-381
Franklin, TN 37067

Submitted by: Anderson, Delk, Epps & Associates, Inc.
618 Grassmere Park Drive, Suite 4
Nashville, Tennessee 37211

PURPOSE AND INTENT OF THE PROPOSED SP DISTRICT:

The purpose of the proposed Specific Plan (SP) District is to allow for the development of a T3 Suburban Community Center that may include a mixture of multifamily residential buildings as well as possible retail, restaurants, office, and other commercial uses. At the Pre-Application Conference with Metro Planning, the staff suggested that the Developer use the SP District due to the site constraints. These constraints consist of the size, shape and location of the property, minimum building setbacks, roadway right-of-ways, etc. Due to all the existing restrictions on the property, the SP District gives the required flexibility to develop the tract of land. The Councilman and Developer believe the SP District will allow the property to be developed in a way that will meet the neighborhood's concerns and market demands and be suitable to the site and surroundings.

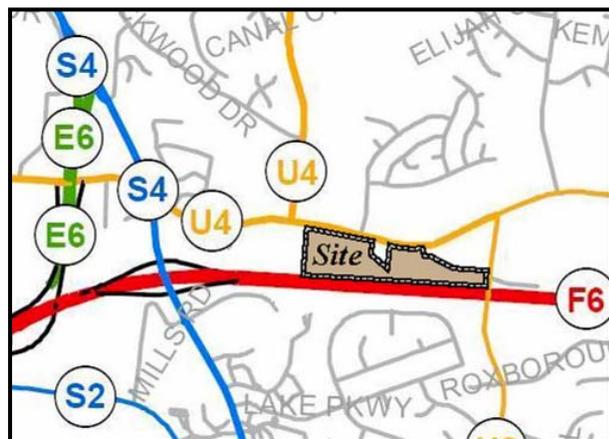
PROPOSED PLANS CONSISTENCY WITH THE GOALS/OBJECTIVES OF THE GENERAL PLAN:

When the Developer met with the Planning Staff at the Pre-Application Conference, they indicated the proposed SP District would not conform to the General Plan and Land Use Policy and would require a policy change. The current Land Use Policy is Corridor General, which is intended for areas of mixed housing, live/work, and public benefit uses along a major street.

The proposed plan would meet the goals of the Transect Category as set forth in *The Community Character Manual 2008*. The manual places a T3 Suburban Transect Category on the property. The T3 Suburban Community Center category supports the proposed development uses.

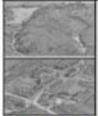
PROPOSED SP DEVELOPMENT FOR T3 SUBURBAN COMMUNITY CENTER TRANSECT CATEGORY WOULD HAVE THE FOLLOWING CHARACTERISTICS:

- The development has good regional accessibility. The proposed development is located along Central Pike, which is an existing major roadway, as well as being located in close proximity to several other major roads. Old Hickory Boulevard and an interstate interchange are a short distance to the west, Tulip Grove Road is near the northwest corner of the site, and S. New Hope Road is directly to the east.



PROPOSED SP DEVELOPMENT FOR T3 SUBURBAN TRANSECT CATEGORY WOULD HAVE THE FOLLOWING CHARACTERISTICS (CON'T) :

- The development will provide future roadway and pedestrian connectivity with the adjacent properties.
- The development would interface well with existing and proposed developments in the surrounding area and provide a smooth transition from one area to another.
- The proposed development is located near the “Civic Heart of Hermitage” as discussed in the *Hermitage Detailed Neighborhood Design Plan*.

Transect	Elements	Intent	Policy
	Open space	Preserve & Enhance	T3 Suburban Open Space
		Neighborhoods	Preserve
		Create	T3 Suburban Neighborhood Evolving
	Centers	Enhance & Create	T3 Suburban Neighborhood Center
		Enhance	T3 Suburban Community Center
	Corridors	Preserve, Enhance, & Create	T3 Suburban Residential Corridor
		Enhance	T3 Suburban Mixed Use Corridor

- The proposed development will provide uses and jobs for area residents. The Community has indicated the need for quality residential development, office space, improved shopping, new restaurants, hotels, etc.
- Non-residential buildings will be limited to 70,000 square feet or less of individual first floor tenant space. Additional square footage of individual first floor tenant space may be considered as per the community character manual.
- Future connections to adjacent undeveloped properties are provided. These access points will allow the surrounding properties along Central Pike to consolidate their access points and allow the properties to function as a whole.
- Parking will be located on site, and will not access directly from Central Pike. Surface lots shall provide the parking and will be accessed through private drives that connect to the corridor. One row of parking is allowed between all buildings (including any outparcels) and the street

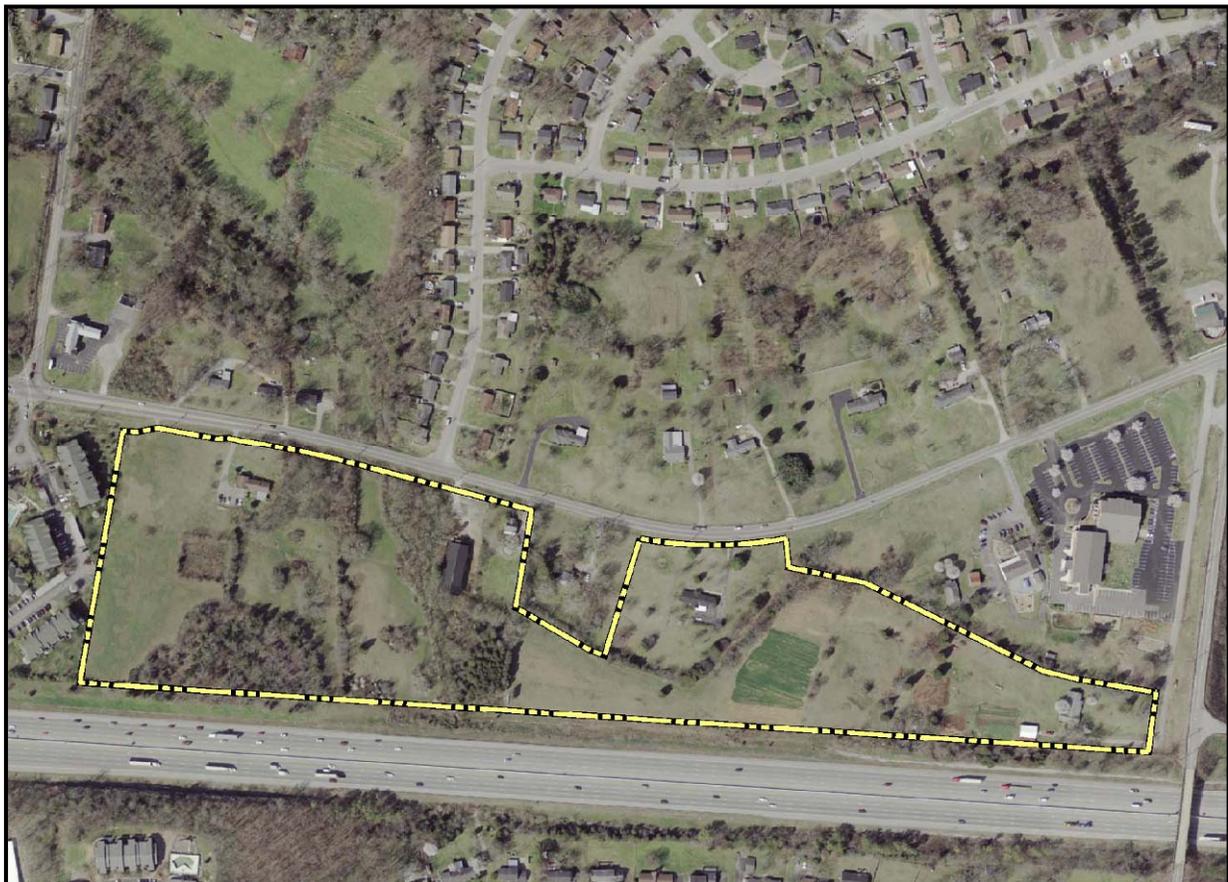
EXISTING CONDITIONS ON THE SITE:

The site consists of five parcels which includes four existing houses and a newly constructed building. It is bounded on the north by Central Pike, the south by Interstate 40, the west by an existing RM20 multifamily development, and the east by parcels zoned RS15. The site vegetation consists of grass, weeds, brush, shrubs, and small to large trees.

The site is currently zoned RS15

The existing Land Use Policy for the area is CG – Corridor General. Corridor General is intended to apply to established areas of mixed housing, live/work, and public benefit uses along major streets. It is also intended for emerging and new areas planned for such uses. Multifamily development may work best on such busy corridors.

The current Transect Category as designated in *The Community Character Manual 2008* is T3 Suburban. The T3 Suburban Transect Category is the bridge between rural and urban transect areas with the purpose of thoughtfully transitioning from the least dense natural and rural environment to the denser urban environment. The proposed development would be classified in the T3 Suburban Community Center Transect Category, which supports the proposed uses of this SP plan that are consistent with the MUL zoning district.



BULK PROVISIONS :

Site Area : 25.93 Ac.±

Maximum Building Height: 5 Stories (Commercial, Office, and Residential)

6 Stories (Hotel)

3 Stories (Along Central Pike)

- 5 and 6 Story Buildings shall be a minimum of 60 feet from the West Property Line (Colonnade Apartments Property Line).
- 5 and 6 Story Buildings shall be within 400 feet of the interstate right-of-way and a minimum of 150 feet from Central Pike right-of-way.

Building Frontage: For buildings along Central Pike, 30% of the frontage may be occupied by one story buildings. The remaining buildings may be 2 stories, 3 stories, or one story with a false 2nd story. A minimum of 50% of the buildable frontage along Central Pike shall be occupied by front building facades located as required by the build-to-zone.

Maximum FAR: 1.00

Maximum ISR: 0.80

Maximum Density: 40 Units/Ac.

Minimum Rear Setback: 20 feet

Setback from Central Pike: 5' to 68' build to line (see exhibit page 7)

Building Size: Non-residential buildings will be limited to 70,000 square feet or less of individual first floor tenant space. Additional square footage of individual first floor tenant space may be considered as per the community character manual.

Parking Required: As applicable use set forth in Metro Zoning Code 17.20 .

Parking Location: Parking may be located in front, behind, beside, or beneath the proposed buildings. Parking in front of the buildings along Central Pike is limited to a single row of parking.

BULK PROVISIONS (CON'T):

Access: There shall be a minimum of three access points to Central Pike with no direct parking lot access to Central Pike. Parking lot access will be from a private drive. Several possible future connections to adjacent properties are provided. Sidewalks and pedestrian entrances to live/work units shall be available along Central Pike. The site shall also provide vehicular cross-connectivity within the SP area and provide cross-connectivity among all lots within the SP boundary.

Parking Landscaping: Parking lot landscaping within the site will be in accordance with *Metro Zoning Code 17.24 Article III Parking Area Screening and Landscaping*.

Signage: Signage along Central Pike shall be such that it alerts motorist, pedestrians, and cyclist to their location and assists in finding a destination while not being distracting or overwhelming to the center or the streetscape. The design and location of the signage should complement and contribute to the overall character of the center. Signage shall be scaled for vehicles along Central Pike. Monument signs are appropriate and shall be consolidated to the greatest extent possible. Appropriate signage scaled for pedestrians includes building mounted signs, projecting signs, or awning signs.



BULK PROVISIONS (CON'T):

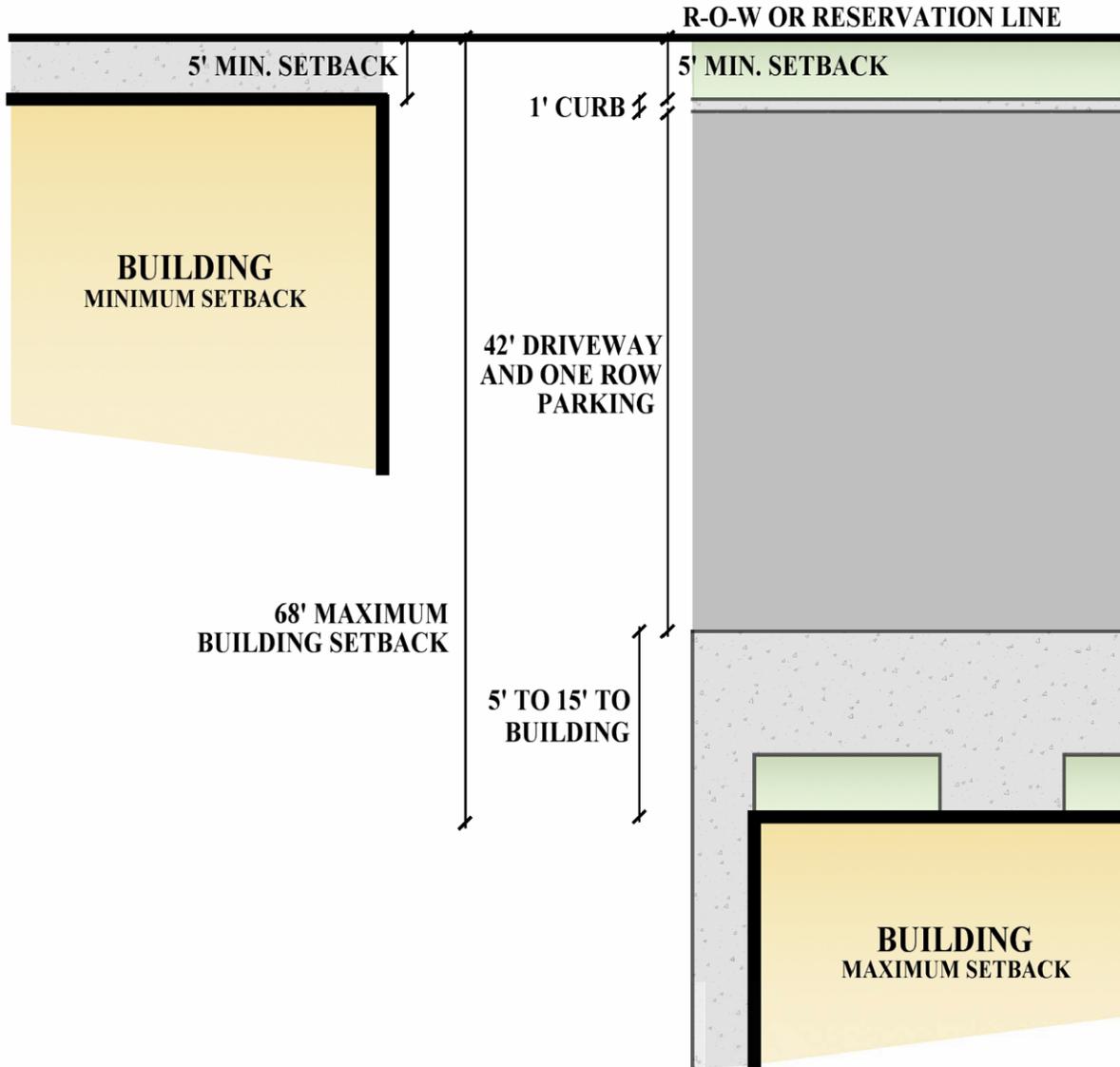
Signage (con't): Monument signs shall have a maximum height of 8 feet and a consistent base at least as long as the background area of the sign. Pillar signs shall have a maximum height of 15 feet and be supported by two masonry pillars at the horizontal edges of the sign background area.

Signage interior to the site shall be as required by *Metro Zoning Code 17.32.110 On Premises Signs* for MUL Zoning (See Preliminary Sign Exhibit)



Billboards shall be permitted along Interstate 40 frontage. These billboards shall be as required under *Metro Zoning Code 17.32.150 Billboards*.

CENTRAL PIKE



A minimum of 50% of the buildable frontage along Central Pike shall be occupied by front building facades located as required by the build-to-zone.

PERMITTED USES:

Exhibit A

Central Pike South SP – Ordinance No. BL2011-885

List of Permitted Land Uses

RESIDENTIAL

Single Family P
Two Family P
Multi Family P
Consignment Sale P
Garage Sale P
garage Sale A
Home Occupation P

INSTITUTIONAL USES

Cultural Center P
Day Care Center PC
Day Care Home PC
Day Care-Parent's Day Out A
School Day Care A
Monastery or Convent P
Orphanage P
Religious Institution P

EDUCATIONAL USES

Business School P
Community Education P
Dormitory P
Personal Instruction P
Vocational School PC

OFFICE USES

Financial Institution P
General Office P
Leasing/Sales Office P

MEDICAL USES

Assisted Care Living P
Hospice P
Medical Appliance Sales P
Medical Office P
Medical or Scientific Lab P
Nursing Home P
Outpatient Clinic P
Rehabilitation Services P
- Limited to physical
Rehabilitation services only
Residence for Handicapped P
Veterinarian PC

TRANSPORTATION USES

Bus Transfer Station SE
Commuter Rail SE

COMMUNICATION USES

Amateur Radio Antenna P
Audio/Video Tape Transfer P
Multi-Media Production P
Radio/TV Satellite Tower SE
Satellite Dish P
Telephone Services PC

COMMERCIAL USES

ATM PC
Automobile Convenience PC
Automobile Parking P
Automobile Service P
Bed and Breakfast Inn P
Business Service P
Donation Drop Off PC
Funeral Home P
Furniture Store P
Home Improvement Sales PC
Hotel/Motel P
Inventory Stock A
Mobile Storage Unit PC
Personal Care Services P
Restaurant-Fast Food P
Restaurant-Full Service P
Restaurant-Take Out P
Retail P

RECREATION AND ENTERTAINMENT USES

Club P
Commercial Amusement (Inside) P
Driving Range PC
Golf Course P
Greenway P
Park P
Recreation Center P
Rehearsal Hall P
Temporary Festival SE
Theater P

OTHER USES

Pond/Lake P

Legend

P=Permitted
PC= Permitted With Conditions
A=Accessory Use

ARCHITECTURAL STANDARDS:

General:

1. Rhythm of ground floor architectural features shall harmonize with rhythm of upper stories.
2. Long, uninterrupted wall planes on public streets or paths shall be avoided.
3. Buildings shall have relatively flat fronts.
4. Outdoor equipment such as HVAC equipment, meters, and panels shall be placed to the side, rear, or on top of the building or otherwise screened from streets.
5. Buildings on corner lots shall address both streets with architectural elements.

Walls:

1. Building walls may be finished in brick, stone, split face block, masonry siding products, or fiber cement siding/shingles.
2. Retaining walls shall be concrete, brick, stone, masonry or masonry veneer.

Trim:

1. Trim shall be commercial grade and may consist of Vinyl or Aluminum Trim.

Attachments:

1. Piers and arches may be finished in masonry or stucco.
2. Porches may be enclosed with glass or screens; however, glass enclosures are not permitted on the principal front façade.
3. Awnings shall be fabric, brushed aluminum, stainless or painted metal.
4. Awnings shall not be translucent or backlit.
5. All awnings on a single business shall be of the same material.
6. Quarter-round awnings shall not be used.



Roofs:

1. Commercial grade rubber roof. Visible portion of roofs shall be clad in asphalt shingles, galvanized or painted steel, or copper.

EXAMPLES OF BUILDING MATERIALS:



**Siding with Brick Accent Walls - Asphalt Shingle Roof
Multifamily Flat with Mail Kiosk**



**Siding with Stone Accent Walls - Asphalt Shingle Roof
Multifamily Flat**

EXAMPLES OF BUILDING MATERIALS (CON'T) :



**Siding with Brick Accent Walls - Asphalt Shingle Roof
Multifamily Flat**



Split-Face Block

EXAMPLES OF BUILDING MATERIALS (CON'T) :



**Brick with Metal Roof
Central Pike and On-Premises Building Mounted Signs**



Stone with Combination Asphalt Shingle and Metal Roof

EXAMPLES OF BUILDING MATERIALS (CON'T) :



**Brick
Live/Work**



**Brick and Siding
Live/Work**

EXAMPLES OF BUILDING MATERIALS (CON'T) :



Monument Sign



Building Mounted Sign



Monument and Building Mounted Sign



Monument Sign



**Streetscape with One and Two Story Buildings
One Row of Parking in Front of Building**

Pictures this page taken from *the Community Character Manual 2008*

METRO GIS PROPERTY INFORMATION – MAP 86, PARCEL 157 :



800 2nd Ave S
Nashville, TN 37210
www.nashville.gov/mpc

Parcel ID: 08600015700
Property Address: 4124 CENTRAL PIKE
HERMITAGE, TN 37076
Owner Information: PARDUE, CHRIS
4124 CENTRAL PIKE
HERMITAGE, TN 37076
Date Acquired: 3/20/2001
Document: DB-20010326
0028907

General Information: Census Tract: 15609
Council District: 12
Land Use: 011, SINGLE
FAMILY DWELLING



Property Information: Description: S SIDE CENTRAL PK E OF OLD HICKORY BLVD
Acreage: 13.25
Dimensions: 0X0
Document: DB-00008579 0000773

Zoning:
Zoning: RS15, SINGLE
FAMILY 15,000 SQUARE
FOOT LOT
Date Effective: 1/1/1998
Case Number:
Bill Number: O96-555

Overlays:

Assessment Information: Sale Price: \$500,000.00
Date Assessed: 1/1/2009
Classes: R
Land Appraised Value: \$150,200.00
Improvement Appraised Value: \$170,200.00
Total Appraised Value: \$320,400.00
USD/GSD: GENERAL SERVICES DISTRICT
Service Area/Field Book: 04D 10970

Created: 1/6/2011 10:48:17 AM

METRO GIS PROPERTY INFORMATION – MAP 86, PARCEL 160 :



800 2nd Ave S
Nashville, TN 37210
www.nashville.gov/mpc

Parcel ID: 08600016000
Property Address: 4140 CENTRAL PIKE
HERMITAGE, TN 37076
Owner Information: CENTRAL PIKE CHURCH
24 WHITE BRIDGE RD
NASHVILLE, TN 37205
Date Acquired: 4/30/2010
Document: QC-20100915
0073264

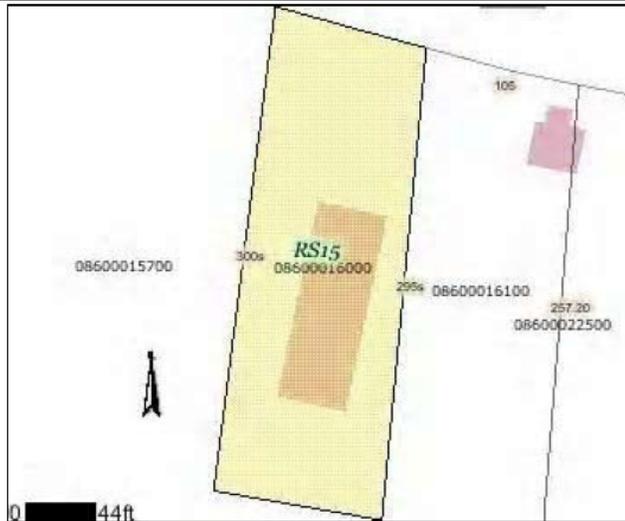
General Information: Census Tract: 15609
Council District: 12
Land Use: 091, CHURCH

Property Information: Description: S SIDE CENTRAL PK E OF OLD HICKORY BLVD
Acreage: .69
Dimensions: 105X300
Document: BD-00003642 0000617

Zoning:
Zoning: RS15, SINGLE
FAMILY 15,000 SQUARE
FOOT LOT
Date Effective: 1/1/1998
Case Number:
Bill Number: O96-555

Overlays:

Assessment Information: Sale Price: \$0.00
Date Assessed: 1/1/2009
Classes: C
Land Appraised Value: \$34,000.00
Improvement Appraised Value: \$428,200.00
Total Appraised Value: \$462,200.00
USD/GSD: GENERAL SERVICES DISTRICT
Service Area/Field Book: 04D 11110



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METRO GIS PROPERTY INFORMATION – MAP 86, PARCEL 161 :



800 2nd Ave S
Nashville, TN 37210
www.nashville.gov/mpc

Parcel ID: 08600016100
Property Address: 4144 CENTRAL PIKE
HERMITAGE, TN 37076
Owner Information: PARDUE, CHRIS
24 WHITE BRIDGE RD
NASHVILLE, TN 37205
Date Acquired:
10/15/2008
Document: DB-20081023
0106092

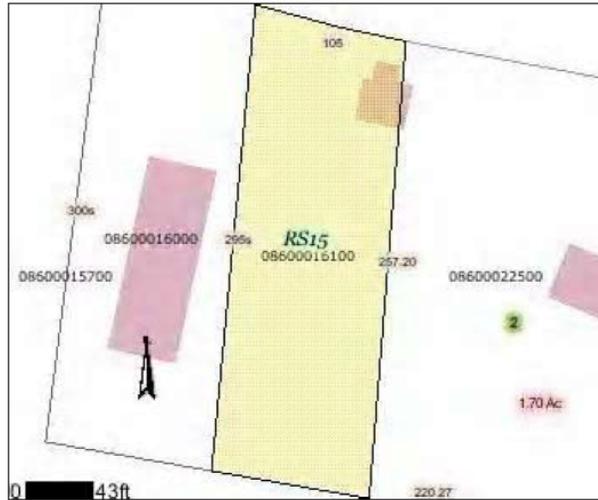
General Information: Census Tract: 15609
Council District: 12
Land Use: 011, SINGLE
FAMILY DWELLING

Property Information: Description: S SIDE CENTRAL PK E OF OLD HICKORY BLVD
Acreage: .68
Dimensions: 105X295
Document: DB-00004875 0000366

Zoning: Zoning: RS15, SINGLE
FAMILY 15,000 SQUARE
FOOT LOT
Date Effective: 1/1/1998
Case Number:
Bill Number: O96-555

Overlays:

Assessment Information: Sale Price: \$112,500.00
Date Assessed: 1/1/2009
Classes: R
Land Appraised Value: \$34,000.00
Improvement Appraised Value: \$59,200.00
Total Appraised Value: \$93,200.00
USD/GSD: GENERAL SERVICES DISTRICT
Service Area/Field Book: 04D 11120



Created: 1/6/2011 10:48:58 AM

METRO GIS PROPERTY INFORMATION – MAP 86, PARCEL 162 :



800 2nd Ave S
Nashville, TN 37210
www.nashville.gov/mpc

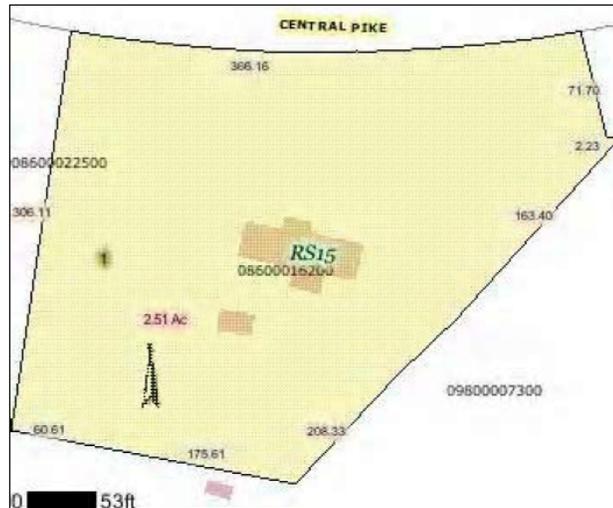
Parcel ID: 08600016200
Property Address: 4156 CENTRAL PIKE
HERMITAGE, TN 37076
Owner Information: PARDUE, CHRIS
24 WHITE BRIDGE RD
NASHVILLE, TN 37205
Date Acquired: 7/1/2009
Document: QC-20091117
0105831

General Information: Census Tract: 15609
Council District: 12
Land Use: 011, SINGLE
FAMILY DWELLING

Property Information: Description: LOT 1 CASTLEMAN ESTATE
Acreage: 2.51
Dimensions: 366X306
Document: PL-00008250 0000983

Zoning: Zoning: RS15, SINGLE
FAMILY 15,000 SQUARE
FOOT LOT
Date Effective: 1/1/1998
Case Number:
Bill Number: 096-555

Assessment Information: Sale Price: \$0.00
Date Assessed: 1/1/2009
Classes: R
Land Appraised Value: \$60,000.00
Improvement Appraised Value: \$139,900.00
Total Appraised Value: \$199,900.00
USD/GSD: GENERAL SERVICES DISTRICT
Service Area/Field Book: 04D 11135



Created: 1/6/2011 10:50:38 AM

METRO GIS PROPERTY INFORMATION – MAP 98, PARCEL 73 :



800 2nd Ave S
Nashville, TN 37210
www.nashville.gov/mpc

Parcel ID: 09800007300
Property Address: 6002 S NEW HOPE RD
HERMITAGE, TN 37076
Owner Information: CLOYD, DONNA G. &
BOBBY LEE
6002 S NEW HOPE RD
HERMITAGE, TN 37076
Date Acquired: 12/8/1999
Document: QC-19991209
0301338

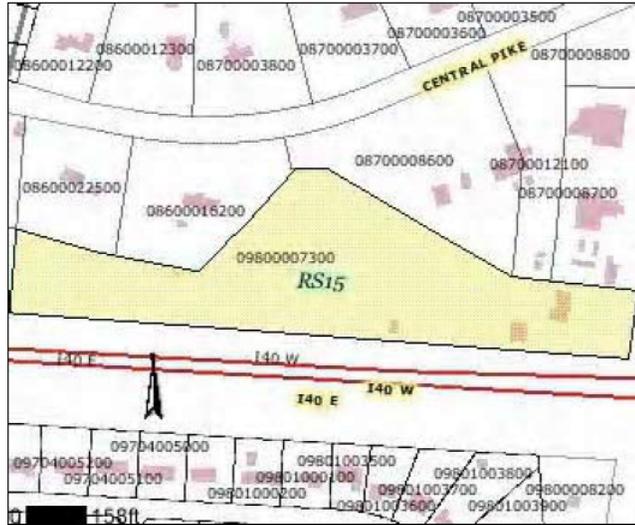
General Information: Census Tract: 15609
Council District: 12
Land Use: 011, SINGLE
FAMILY DWELLING

Property Information: Description: N/W CORNER I-40 & SOUTH NEW HOPE RD
Acreage: 8.8
Dimensions: 0X0
Document: SV-00000000 0000000

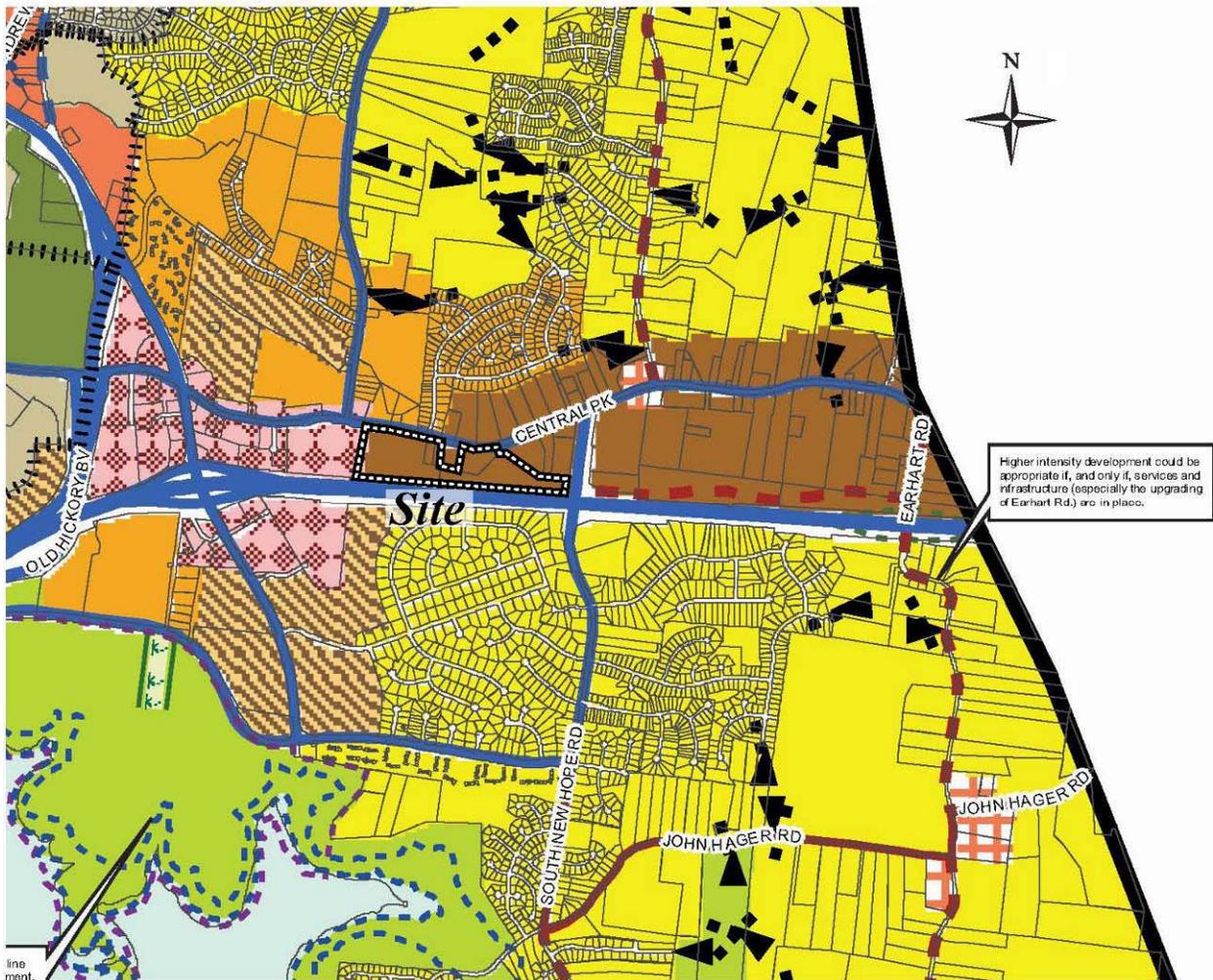
Zoning: Zoning: RS15, SINGLE
FAMILY 15,000 SQUARE
FOOT LOT
Date Effective: 1/1/1998
Case Number:
Bill Number: O96-555

Overlays:

Assessment Information: Sale Price: \$6,400.00
Date Assessed: 1/1/2009
Classes: R
Land Appraised Value: \$110,200.00
Improvement Appraised Value: \$144,700.00
Total Appraised Value: \$254,900.00
USD/GSD: GENERAL SERVICES DISTRICT
Service Area/Field Book: 04D 17183



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LAND USE POLICY LEGEND

- RLM Residential Low-Medium Density
- RM Residential Medium Density
- RMH Residential Medium High Density
- RH Residential High Density
- CAE Commercial Arterial Existing
- RCC Retail Concentration Community
- CMC Commercial Mixed Concentration
- Water
- OS Open Space
- NG Neighborhood General
- N C Neighborhood Center
- CG Corridor General
- C C Community Center
- MI Major Institutional

STREET PLANS

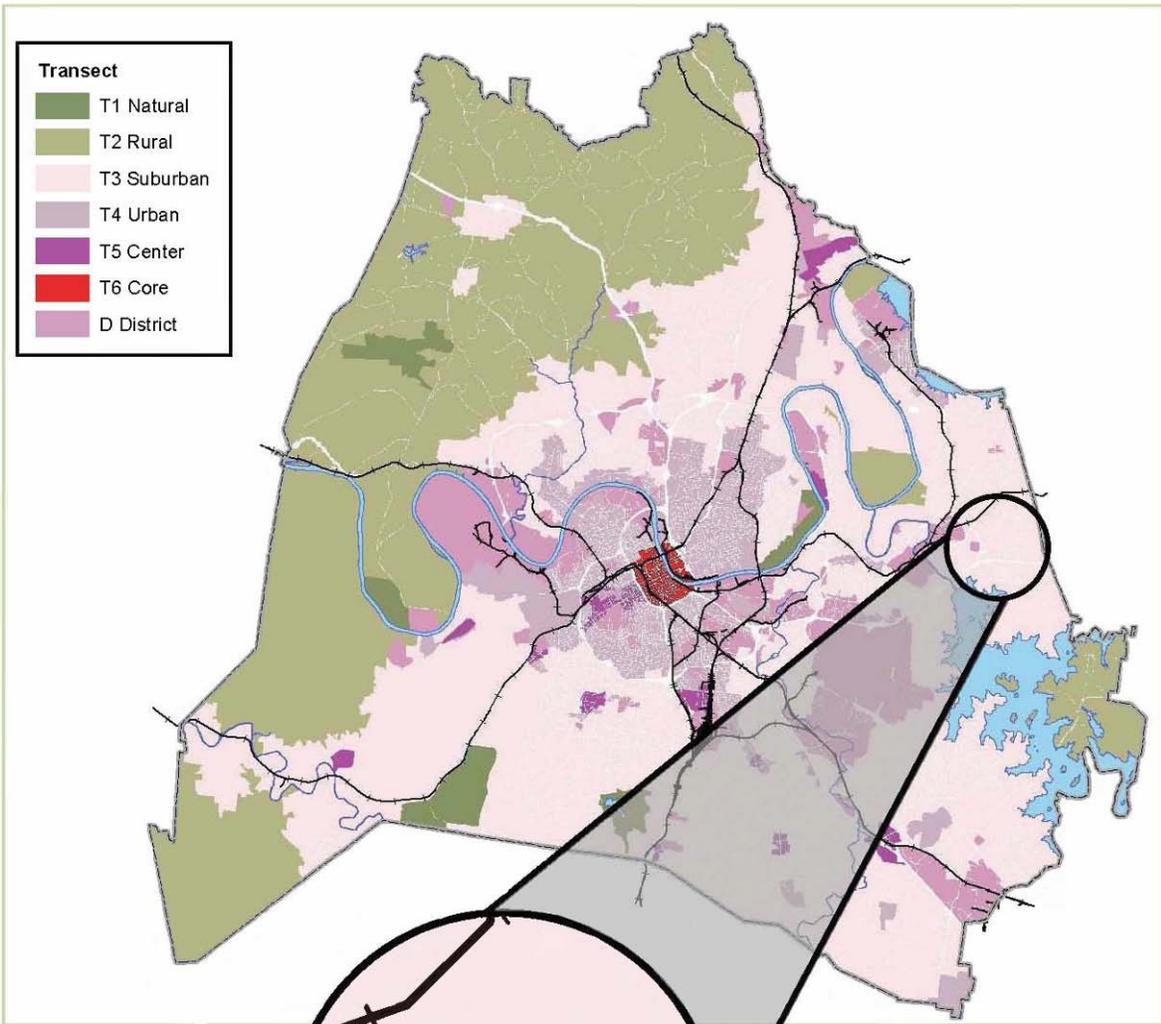
- Major - Existing
- Major - Proposed
- Collector - Existing
- Collector - Proposed
- Required Street Connection
- Railroad
- Adopted Community Plan Greenway

Flood Plain and Floodway

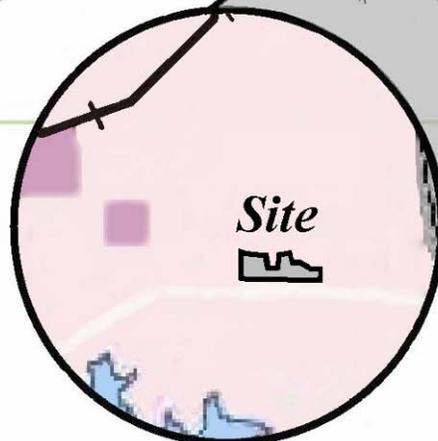
- Flood Plain
- Floodway

Structure Plan

Donelson - Hermitage - Old Hickory
Community Plan - 2004 Update



Suburban 13



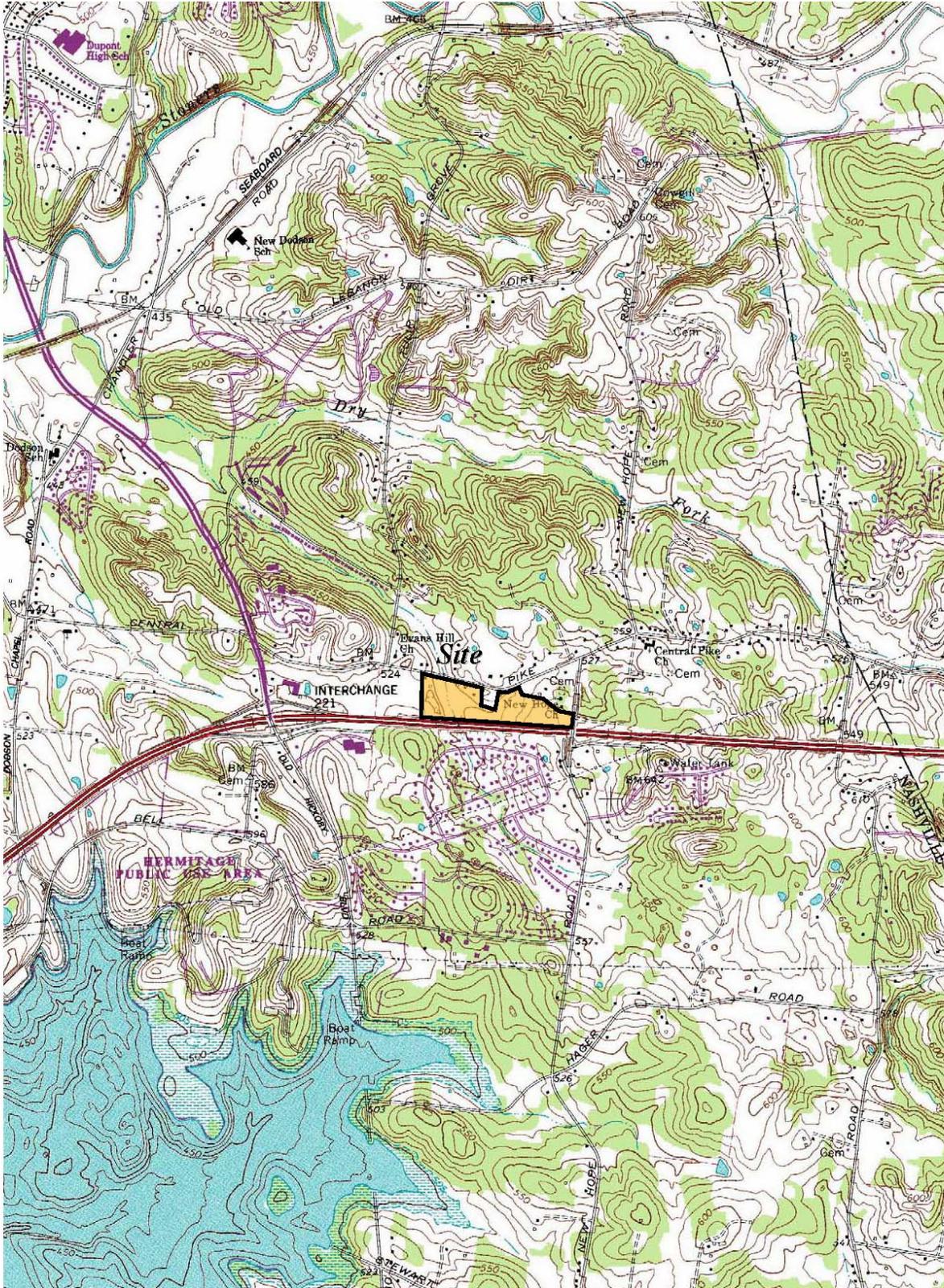
Transect Category

The Community Character Manual 2008

The T3 Suburban Transect Category is the bridge between rural and urban transect areas; development within the T3 Suburban Transect Category is designed to thoughtfully transition from the least dense natural and rural environment to the denser urban environment. The T3 Suburban Transect Category, although moderately developed, is the Transect Category where nature is strategically incorporated into the site design. Existing vegetation is preserved to define curvilinear streets, and parks, and the green space associate with civic and public benefit uses, are part of the neighborhood's design. In the T3 Suburban Transect Category, the balance of nature and buildings tips toward nature with more open space and vegetation framing the street than buildings.

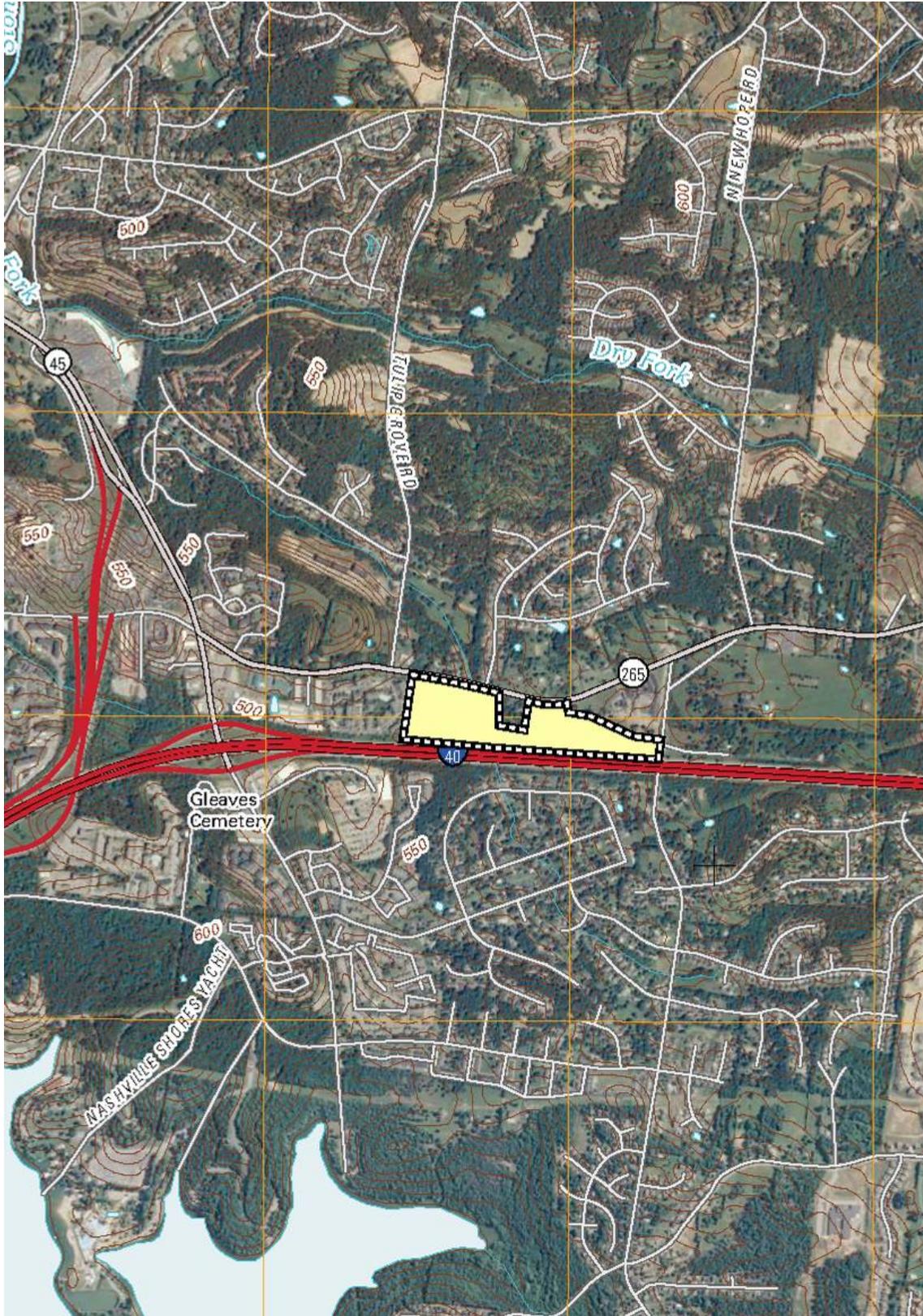
The Community Character Manual, Page 81

USGS QUAD MAP - HERMITAGE :



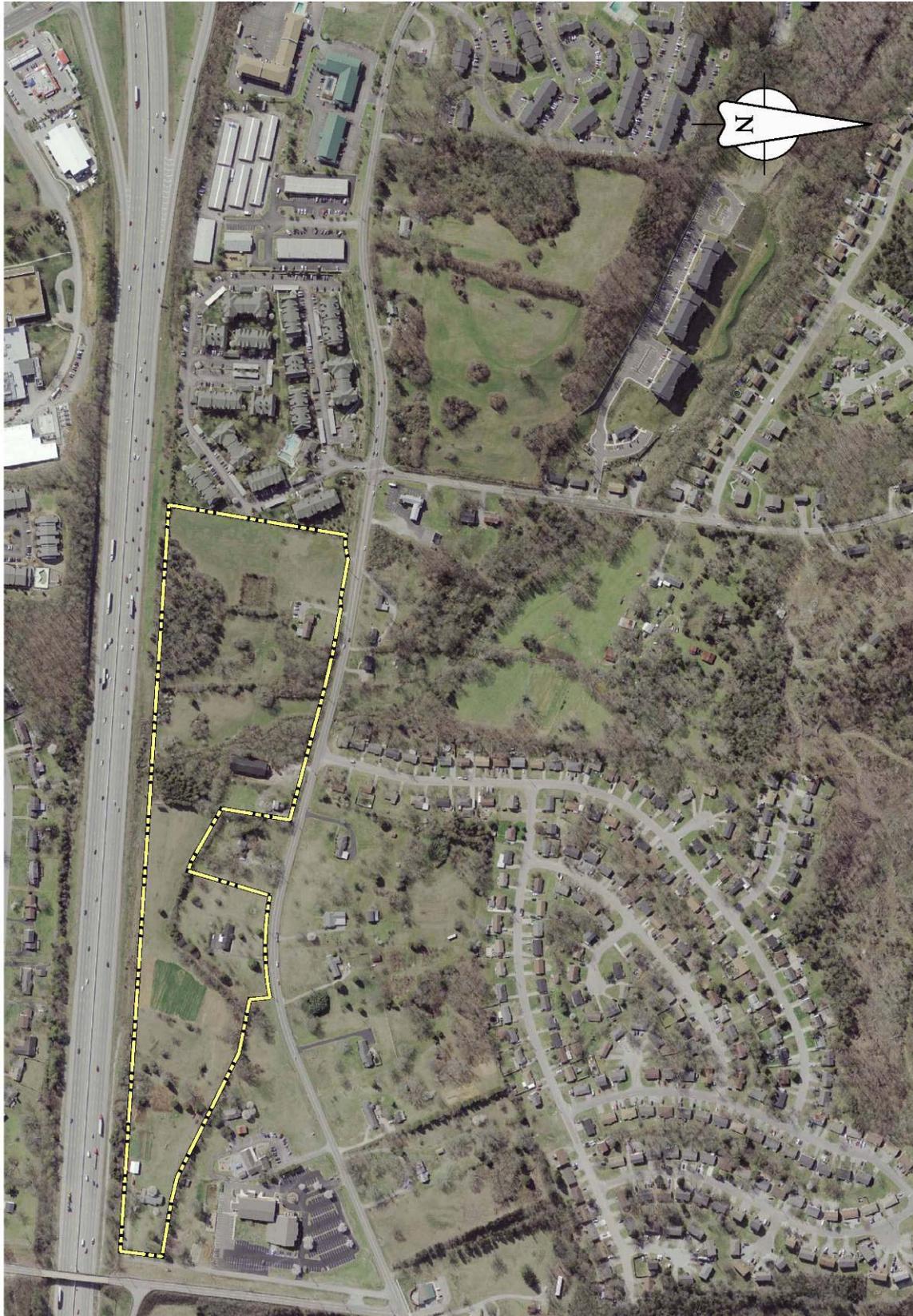
Not to Scale

USGS TOPO MAP WITH AERIAL – HERMITAGE :



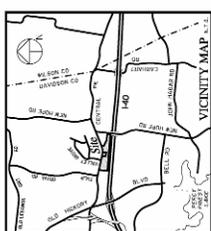
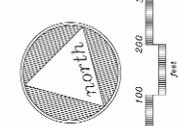
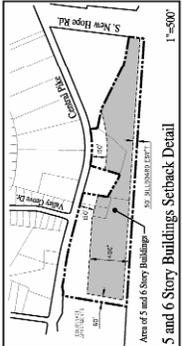
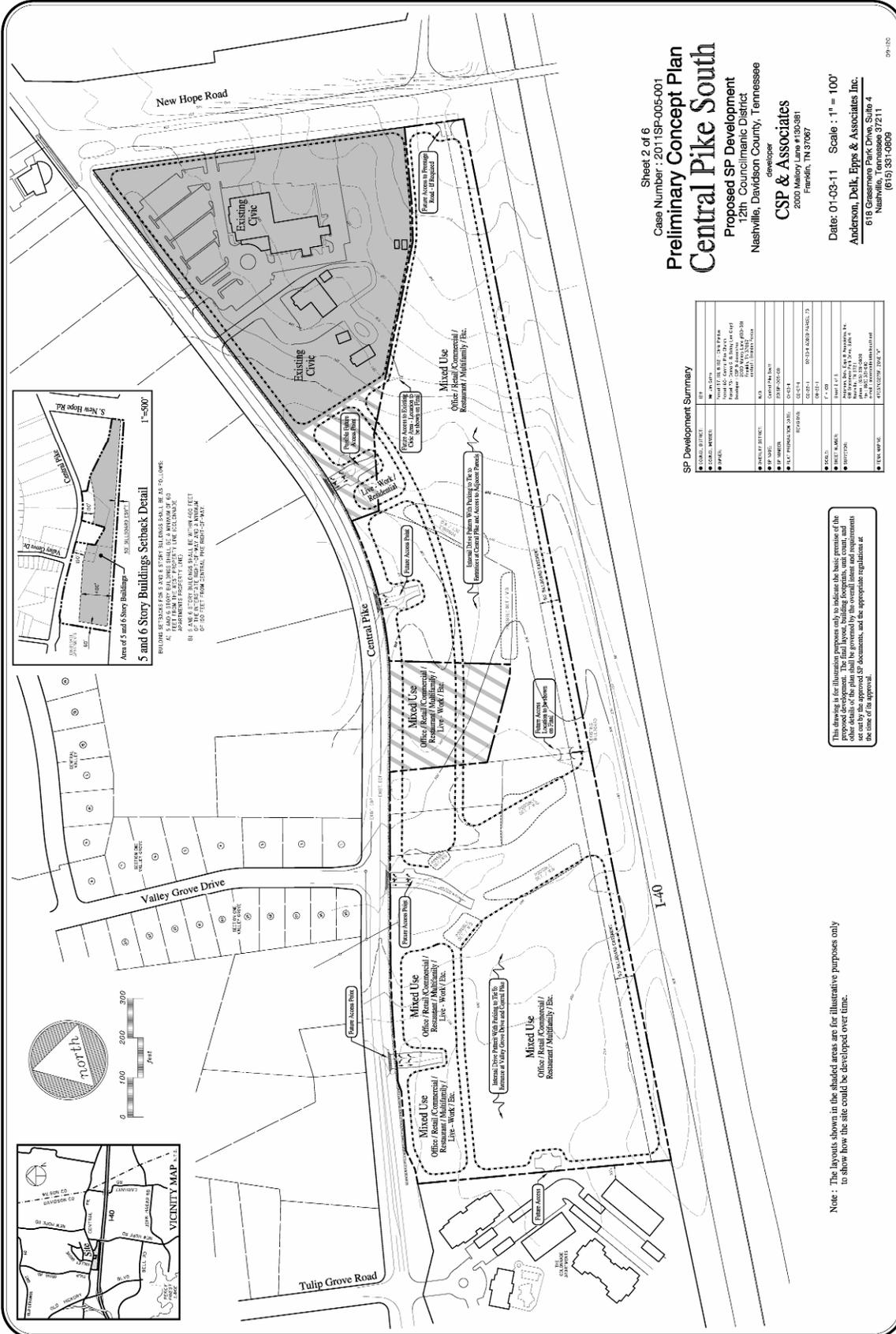
Not to Scale

SITE - AERIAL PHOTO :



Not to Scale

PRELIMINARY SP PLAN - 2 OF 6 :



Sheet 2 of 6
 Case Number : 2011SP-005-001
Preliminary Concept Plan
Central Pike South
 Proposed SP Development
 12th Councilmanic District
 Nashville, Davidson County, Tennessee
 developer
CSP & Associates
 2000 Malloy Lane #150-381
 Franklin, TN 37067
 Date: 01-03-11 Scale : 1" = 100'
 Anderson, Dell, Epps & Associates Inc.
 618 Grassmore Park Drive, Suite 4
 Nashville, Tennessee 37211
 (615) 551-0859

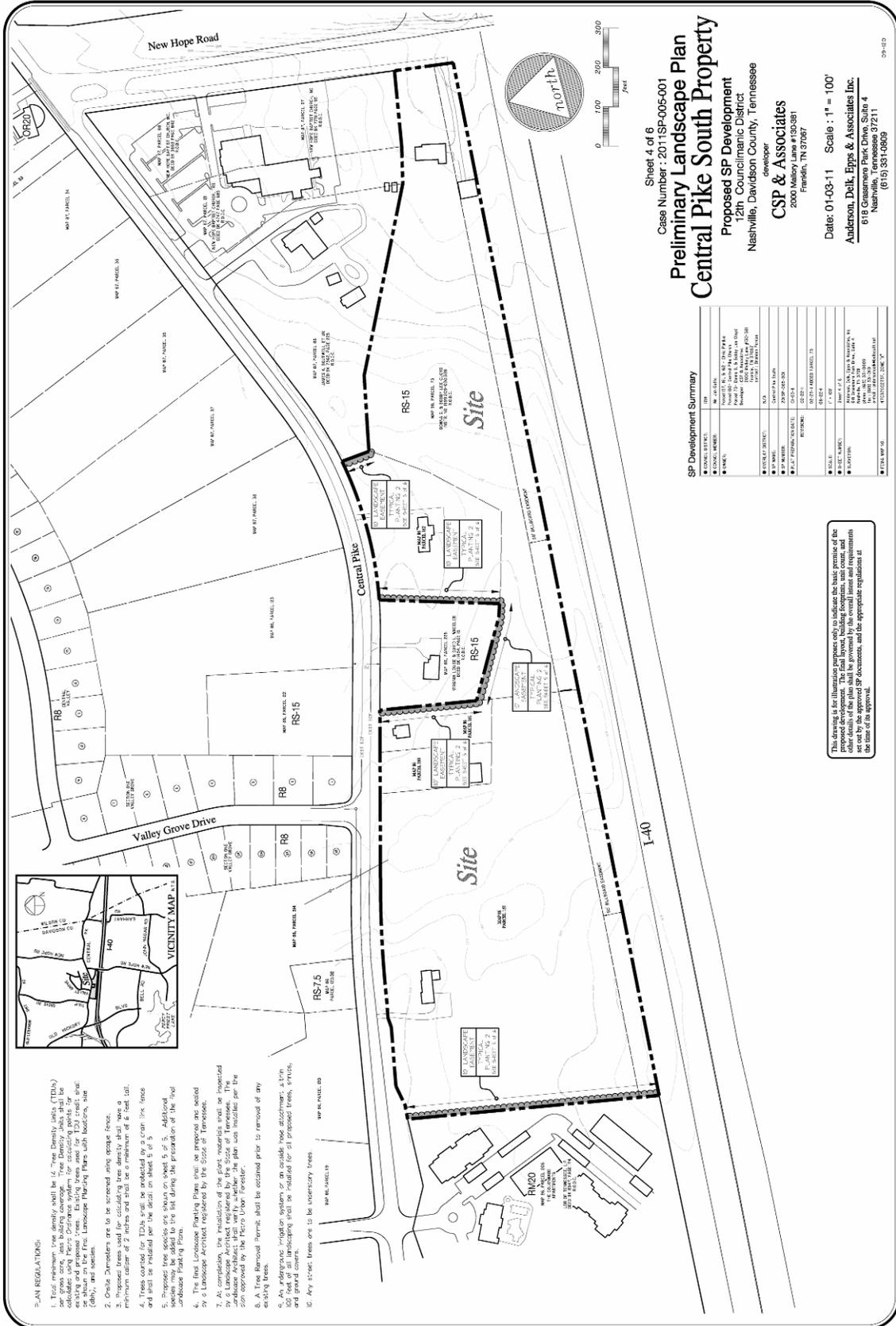
SP Development Summary

NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (ACRES)
1	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
2	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
3	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
4	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
5	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
6	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
7	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
8	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
9	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
10	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
11	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
12	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
13	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
14	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
15	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
16	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
17	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
18	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
19	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
20	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
21	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
22	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
23	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
24	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
25	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
26	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
27	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
28	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
29	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
30	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
31	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
32	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
33	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
34	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
35	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
36	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
37	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
38	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
39	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
40	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
41	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
42	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
43	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
44	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
45	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
46	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
47	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
48	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
49	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47
50	Office / Retail Commercial / Restaurant / Multi-Family / Etc.	1,200,000	27.47

This drawing is for illustrative purposes only to indicate the basic premise of the proposed development. The final layout, building footprint, unit count, and other details shall be determined by the final SP Plan and shall be subject to the review and approval of the City of Nashville, Tennessee. The final SP Plan shall be set out by the approved SP documents, and the appropriate regulations at the time of its approval.

Note : The layouts shown in the shaded areas are for illustrative purposes only to show how the site could be developed over time.

PRELIMINARY SP PLAN - 4 OF 6 :



- PLAN REGULATIONS:**
- Total minimum tree density shall be (4) Tree Density Units (TDUs) per gross acre, net building coverage. Tree Density Units shall be calculated as follows: $TDU = \frac{\text{Number of trees} \times \text{Species Value}}{\text{Total Area}}$. Existing and proposed trees. Existing trees used for TDUs credit shall be shown on the Final Landscape Planting Plans with location, size (DBH), and species.
 - Grade dimensions are to be measured along slope faces.
 - Minimum tree size shall be 2 inches and shall be a minimum of 4 feet tall.
 - Tree canopy for TDUs shall be indicated by a crown line trace and shall be installed per the detail on sheet 5 of 5.
 - Proposed tree species are shown on sheet 5 of 5. Additional species may be added to the list during the preparation of the final landscape plan.
 - The final Landscape Planting Plans shall be prepared and sealed by a Landscape Architect registered by the State of Tennessee.
 - As a condition, the installation of the plant materials shall be inspected by a Landscape Architect registered by the State of Tennessee. The final Landscape Plan shall be submitted to the Planning Department for review and approval by the City Urban Forester.
 - A Tree Removal Permit shall be obtained prior to removal of any existing trees.
 - An underground irrigation system or an outside tree attachment, a 100-500 feet of an landscaping shall be installed for all proposed trees, shrubs, and ground covers.
 - Any 12" or less trees are to be extraordinary trees.

Sheet 4 of 6
 Case Number: 2011 SP-005-001
Preliminary Landscape Plan
Central Pike South Property
 Proposed SP Development
 12th Councilmatic District
 Nashville, Davidson County, Tennessee
 Developer:
CSP & Associates
 2000 Melroy Lane #100-881
 Franklin, TN 37067
 Date: 01-03-11 Scale: 1" = 100'
 Anderson, Dalk, Eggs & Associates, Inc.
 618 Greenway Park Drive, Suite 4
 Nashville, Tennessee 37211
 (615) 331-0809

SP Development Summary

NO.	DESCRIPTION	DATE
1	PRELIMINARY SP PLAN	01/03/11
2	FINAL SP PLAN	01/03/11
3	FINAL SP PLAN	01/03/11
4	FINAL SP PLAN	01/03/11
5	FINAL SP PLAN	01/03/11
6	FINAL SP PLAN	01/03/11
7	FINAL SP PLAN	01/03/11
8	FINAL SP PLAN	01/03/11
9	FINAL SP PLAN	01/03/11
10	FINAL SP PLAN	01/03/11
11	FINAL SP PLAN	01/03/11
12	FINAL SP PLAN	01/03/11
13	FINAL SP PLAN	01/03/11
14	FINAL SP PLAN	01/03/11
15	FINAL SP PLAN	01/03/11
16	FINAL SP PLAN	01/03/11
17	FINAL SP PLAN	01/03/11
18	FINAL SP PLAN	01/03/11
19	FINAL SP PLAN	01/03/11
20	FINAL SP PLAN	01/03/11

This drawing is for illustration purposes only to indicate the basic premise of the proposed development. It is not intended to be a final plan. All details of the plan shall be approved by the second phase and final documents set out by the approved SP documents, and due appropriate regulations at the time of its approval.

WATER AVAILABILITY LETTER :

KARL F. DEAN
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

March 2, 2011

DEPARTMENT OF WATER AND SEWERAGE SERVICES
1600 SECOND AVENUE, NORTH
NASHVILLE, TENNESSEE 37208-2206

Mr. Eric Olsen
Anderson, Delk, Epps and Associates, Inc.
618 Grassmere Park Drive, Suite 4
Nashville, TN 37211

Re: Sewer/Water Capacity Requirements, Central Pike North and South SP's, Proposed 153 Multifamily or Live/Work Units and Proposed Commercial/Unknown Use and Residential Units, Central Pike, Map 86, Parcels 157, 160-162, Map 87, Parcels 34 and 38 and Map 98, Parcel 73, (32.61 Acres) This letter voids and supersedes the Capacity Fee Letter dated January 24, 2011. 1st Update

Dear Mr. Olsen:

Water and sanitary sewer service will be available as requested on March 1, 2011, upon payment of capacity charges based on the projected 53,900 gallons per day average daily flow. A public water main extension and public sewer line extension will be required to serve this proposed development. Easement acquisitions are the developer's responsibility and at developer expense. Pressure regulating devices will be required when pressures exceed 100 psi. The engineer must contact the Fire Marshal's Office regarding adequate fire protection.

Service can be made available by payment of the charges as follows:

<u>Commitment</u>	<u>Water Capacity Charge</u>	<u>Sewer Capacity Charge</u>	<u>Total Capacity Charge</u>
1 Year	\$11,750.00 (30%)	\$35,250.00 (30%)	\$47,000.00 (30%)
2 Years	\$21,250.00 (55%)	\$63,750.00 (55%)	\$85,000.00 (55%)
Perpetuity	\$38,500.00 (100%)	\$115,500.00 (100%)	\$154,000.00 (100%)

These non-refundable charges must be paid within 90 days of this letter to Metro Water Services, Permits Office, Metro Office Building, P.O. Box 196300, Nashville, TN 37219-6300. Upon receipt of these fees, we will issue the formal availability letter. Our Department must receive the entire capacity fee prior to issuing water/sewer connection permits.

If you have any questions, please contact Ms. Diane Martindale by phone at (615) 862-4598 and select Option 1 or by email at diane.martindale@nashville.gov.

Sincerely,

Alan W. Hand, P.E.
Engineer 2

cc: Mr. Michael D. Morris, P.E., Engineer 3
Ms. Mary Ellen Jackson, Customer Service Assistant Manager-Permits
Mr. Robby Ervin, System Services Assistant Manager
Mr. Bruce Stanley, Council District 14



If you need assistance or accommodations, please contact Metro Water Services,
Mr. Joseph A. Estes, Sr., at (615) 862-4862, 1600 Second Avenue North, Nashville, TN 37208.

printed on recycled paper



**TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION
NASHVILLE ENVIRONMENTAL FIELD OFFICE
711 R. S. GASS BOULEVARD
NASHVILLE, TENNESSEE 37243
PHONE (615) 687-7000 STATEWIDE 1-888-891-8332 FAX (615) 687-7078**

June 29, 2011

Mr. Chris Pardue
6203 Belle Rive Drive
Brentwood, Tennessee 37027

Re: Hydrologic Determination
4124 Central Pike, Davidson County
Unnamed tributary to Dry Fork

Dear Mr. Pardue,

On June 3, 2011, Bill Duffle and I, both with the TDEC Division of Water Pollution Control, met with your consultant Richard Young on-site at your property located at 4124 Central Pike, in Davidson County. The purpose of this visit was to determine the hydrologic status of a watercourse that runs through the site. The property is within the Dry Fork watershed, a tributary to the Stones River, and lies within the Hermitage USGS 7.5 minute topographic quad map. A modified version of this map is attached with this letter.

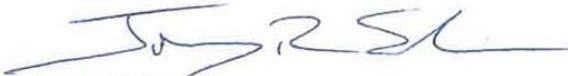
The site is relatively flat, and most of it is currently an overgrown fallow field. A relatively newly constructed church occupies the northeast corner near Central Pike. The watercourse in question enters the property from the south through a culvert running under I-40 (Lat. 36.17025 / Long. -86.59153), and exits the property at a culvert running under Central Pike to the north (Lat. 36.17197 / Long. -86.59209). The hydrology and morphology of this channel has most likely been altered in the past as the area has become more urbanized.

Based on my observations, the TDEC Rules and Guidance governing hydrologic determinations, and the information provided by Mr. Young, the Division determines that the part of this watercourse running through your property is a wet weather conveyance; from the culvert under I-40 to the culvert at Central Pike (see attached map).

Typically, alterations to wet weather conveyances (WWCs) may be performed without application or notification to the Division, as long as they conform to the provisions of the *General Aquatic Resource Alteration Permit for the Alteration of Wet Weather Conveyances*. The permit and its provisions are available on-line at www.tn.gov/environment/permits/arap.shtml.

I appreciate the opportunity to assess the site prior to site plan finalization and initiation of any construction activities. Because natural variation and human activities can alter hydrologic conditions, the Division reserves the right to reassess the status of this watercourse in the future. If you have any questions concerning this letter, or need further information, please contact me at 615-687-7122.

Sincerely,



Jimmy R. Smith
Division of Water Pollution Control

cc: Richard Young
TDEC WPC -- Natural Resources Section
Metro Water Services, Stormwater Division

4124 Central Pike property channel location - Davidson County
Modified USGS Topo Map - J.R. Smith, 6/29/2011

