

# SP (SPECIFIC PLAN) FINAL DEVELOPMENT PLAN

FOR

## DOLLAR GENERAL

MADISON, TN

MAP 043-09, PARCEL 2.00

### CONTACTS

#### OWNER/DEVELOPER:

TURNER AND ASSOCIATES REALTY INC.  
MONTE TURNER  
P.O. BOX 150326  
NASHVILLE, TN 37215  
P (615) 383-7878 - F (615) 383-9878  
TURNERANDASSOCIATES@COMCAST.NET

#### ARCHITECT:

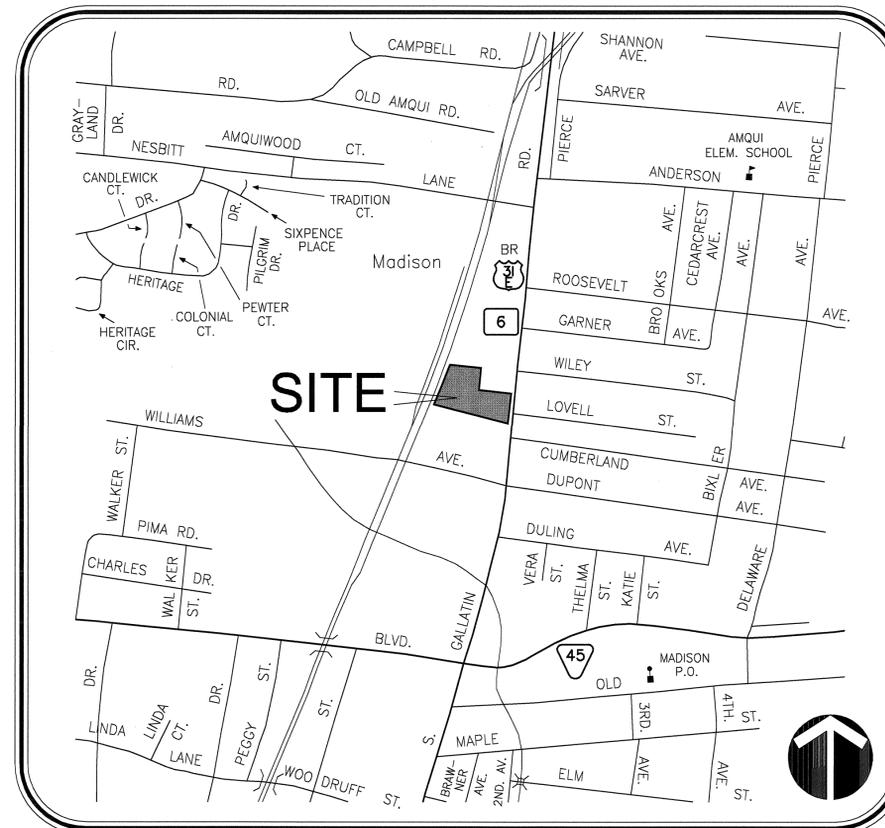
DAVID R. BARLEW ARCHITECTS INC.  
DAVID R. BARLEW, JR.  
714 CHERRY STREET  
CHATTANOOGA, TENNESSEE 37402  
P (423) 755-7577 - F(423) 755-7578  
DAVID.BARLEW.JR@GMAIL.COM

#### CIVIL ENGINEER:

RAGAN SMITH ASSOCIATES, INC.  
CHARLES D. LOWE, P.E.  
315 WOODLAND STREET  
NASHVILLE, TN 37206  
(615) 244-8591  
CLOWE@RAGANSMITH.COM

#### LANDSCAPE ARCHITECT:

RAGAN SMITH ASSOCIATES, INC.  
SCOTTY BERNICK  
315 WOODLAND STREET  
NASHVILLE, TN 37206  
(615) 244-8591  
SBERNICK@RAGANSMITH.COM



VICINITY MAP  
NOT TO SCALE

### INDEX OF SHEETS

#### SHEET DESCRIPTION

##### CONSTRUCTION PLANS

- CVR COVER SHEET
- C1.0 EXISTING CONDITIONS PLAN
- C2.1 DEMOLITION PLAN
- C3.1 SITE LAYOUT PLAN
- C4.1 INITIAL EROSION CONTROL PLAN
- C4.2 EROSION PROTECTION/SILTATION CONTROL PLAN
- C5.1 SITE GRADING AND DRAINAGE PLAN
- C6.1 UTILITY PLAN
- C6.2 SANITARY SEWER PLAN & PROFILE - LINE "A"
- C7.1 CONSTRUCTION DETAILS
- C7.2 CONSTRUCTION DETAILS
- C7.3 WATER QUALITY NOTES AND DETAILS

##### LANDSCAPE PLANS

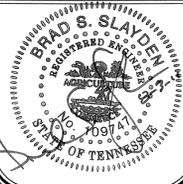
- L1.1 LANDSCAPE PLAN
- L2.1 LANDSCAPE NOTES AND DETAILS

##### ARCHITECTURAL PLANS

- A-4 ELEVATIONS

601 GALLATIN PIKE  
4th COUNCILMANIC DISTRICT  
MADISON, DAVIDSON COUNTY, TENNESSEE

**RAGAN SMITH**  
LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS  
RAGAN SMITH ASSOCIATES, INC.  
315 WOODLAND ST. P.O. BOX 6070 NASHVILLE, TN 37206  
(615) 244-8591 FAX (615) 244-6738 WWW.RAGANSMITH.COM



MADISON, TN.  
**DOLLAR GENERAL**  
TURNER AND ASSOCIATES REALTY INC.  
4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

DATE:	April 12, 2011
DESIGNED:	B. Slayden
DRAWN:	B. Shrum
SCALE:	N/A
JOB NO.	11-004
WK. ORDER	9272

COVER SHEET  
**CVR**



**SLOPE AND SOIL ANALYSIS & NOTES**

Slope Range (%)	Plan Area (sq ft)	% of Total Area
15.00 - 20.00	1,320 S.F.	2.5%
20.00 - 25.00	1,170 S.F.	2.2%
25.00 - VERT	1,560 S.F.	3.0%
<b>Totals</b>	<b>4,050 S.F.</b>	<b>7.7%</b>

CURVE DATA					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	TANGENT
C1	7348.58'	158.81'	158.81'	N21'48'47"E	79.41'

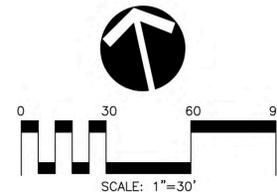
SOILS: SOILS FOR THE ENTIRE SITE ARE COMPRISED OF THE MIMOSA-URBAN LAND COMPLEX. MIMOSA SOILS ARE MEDIUM ACIDIC TO VERY STRONGLY ACIDIC, EXCEPT AREAS THAT ARE JUST ABOVE THE LIMESTONE. PHOSPHOROUS IS MEDIUM TO HIGH. NATURAL FERTILITY IS MEDIUM. SOILS ARE WELL DRAINED AND HAVE A MODERATE AVAILABLE WATER CAPACITY (ABOUT 7.4%). CAPACITY OF THE MOST LIMITING SOILS LAYER TO TRANSMIT WATER HAS A MODERATE LOW TO MODERATE HIGH INFILTRATION RATE (0.06-0.20 IN/HR).

\*SPECIES WITHIN EXISTING TREE MASSES INCLUDE HACKBERRY, MAPLE, ASH, CEDAR & MIMOSA.

A SOIL RESOURCE REPORT WAS CREATED USING THE USDA - NATURAL RESOURCES CONSERVATION SERVICE ONLINE SOFTWARE ON JANUARY 20, 2011. NO ON-SITE SOIL REPORT/ANALYSIS HAS BEEN CONDUCTED ON THIS PROPERTY. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.



IF YOU DIG TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW



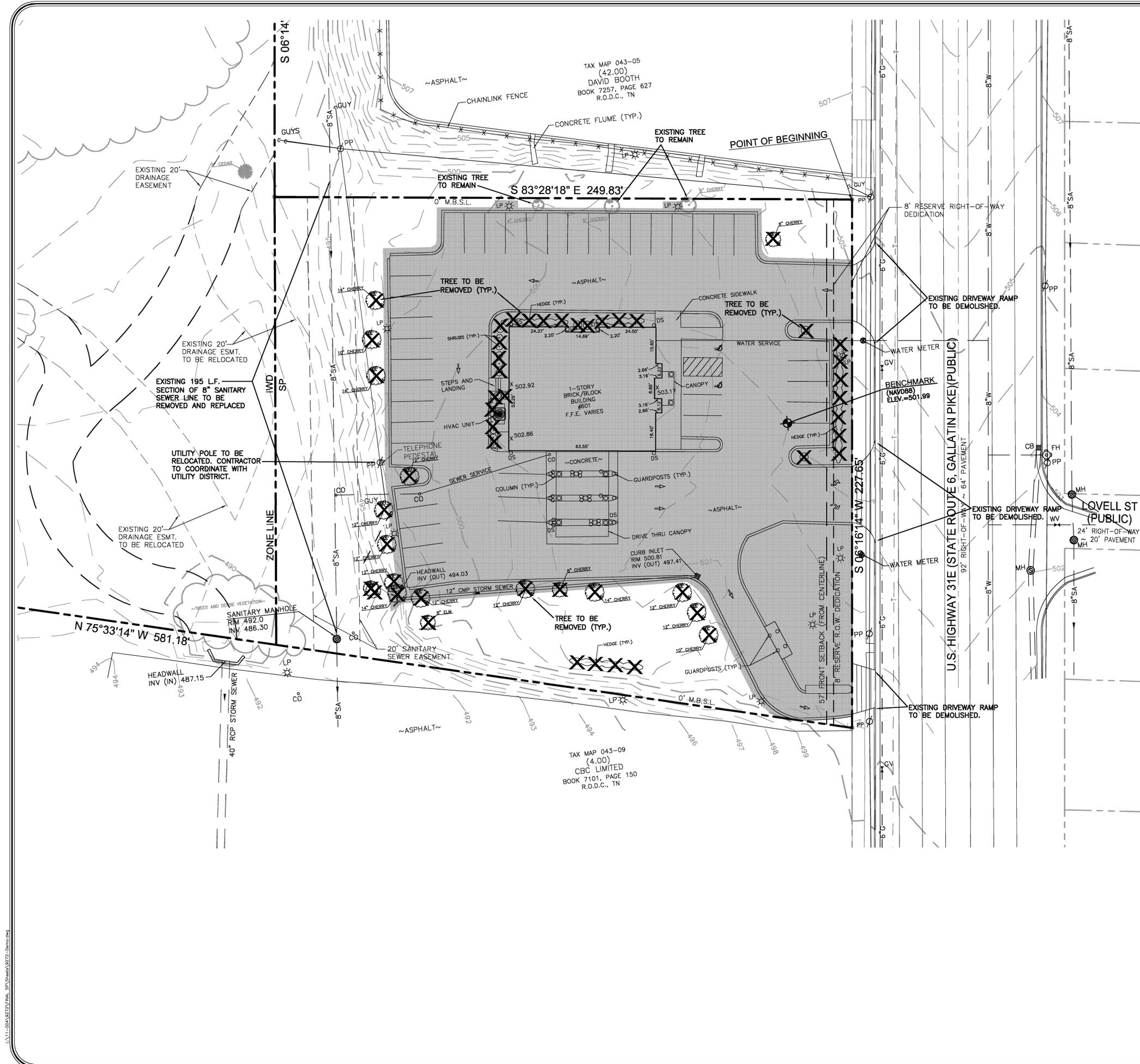
**RAGAN SMITH**  
LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS  
RAGAN SMITH ASSOCIATES, INC.  
315 WOODLAND ST., P.O. BOX 60070 NASHVILLE, TN 37206  
(615) 244-8591 FAX (615) 244-8739 WWW.RAGANSMITH.COM



MADISON, TN.  
**DOLLAR GENERAL**  
TURNER AND ASSOCIATES REALTY INC.  
4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

DATE:	April 12, 2011
DESIGNED:	S. Bemick
DRAWN:	D. Kirsham
SCALE:	1"=30'
JOB NO.	WK ORDER 11-004
REVISIONS	9272

EXISTING  
CONDITIONS PLAN  
**C1.0**



SHADING DEPICTS AREA WHERE ALL, BUILDINGS, ASPHALT AND CONCRETE PAVEMENT, CURBING, FENCING, SIGNS AND TREES ARE TO BE REMOVED. IN ADDITION ALL UTILITIES INCLUDING STORM DRAINAGE SHALL BE REMOVED OR RELOCATED, UNLESS INDICATED OTHERWISE (SEE DEMOLITION NOTE #4)

**DEMOLITION NOTES:**

1. THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL EXCAVATED MATERIALS AND SUCH ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ALL ITEMS SHALL BE PROPERLY DISPOSED OF AT AN OFF-SITE LOCATION. THE CONTRACTOR SHALL OUTLINE ANY AND ALL POSSIBLE HAUL ROUTES AND SHALL BE PREPARED TO SUBMIT SUCH TO THE METRO DEPT. OF PUBLIC WORKS, THE CIVIL ENGINEER AND OTHER AUTHORITIES FOR APPROVAL.
2. IF, AT ANY TIME, PRIOR TO OR DURING THE DEMOLITION WORK, HAZARDOUS MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER.
3. THE CONTRACTOR SHALL NOTIFY ADJACENT OWNERS OF WORK WHICH MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE OR DISRUPTION. SUCH OPERATIONS SHALL BE CONDUCTED BY THE CONTRACTOR WITH MINIMUM INTERFERENCE TO ADJACENT OWNERS. ADJACENT EGRESS AND ACCESS SHALL BE PROPERLY MAINTAINED AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ANY ROADWAYS, PARKING OR SIDEWALKS WITHOUT PERMISSION FROM THE ADJACENT OWNERS OR METRO PUBLIC WORKS DEPARTMENT.
4. PRIOR TO THE COMMENCEMENT OF DEMOLITION/GRADING OPERATIONS, ALL OVERHEAD AND UNDERGROUND UTILITIES SHALL BE LOCATED. ALL REMOVAL AND/OR RELOCATION OF UTILITIES SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
5. ALL UTILITIES, UTILITY POLES, AND TRAFFIC SIGNALS WITHIN PUBLIC R.O.W. SHALL REMAIN.

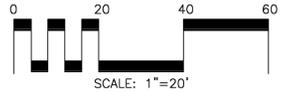
**UTILITY NOTES:**

1. UNLESS OTHERWISE NOTED, ALL UTILITY ADJUSTMENTS WILL BE PERFORMED BY THE UTILITY PROVIDER OR ITS REPRESENTATIVE. THE CONTRACTOR AND UTILITY OWNERS WILL BE REQUIRED TO COOPERATE WITH EACH OTHER TO EXPEDITE THE WORK REQUIRED BY THIS CONTRACT.
2. THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER OR AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT. THE COST OF PROTECTING UTILITIES FROM DAMAGE AND FURNISHING SPECIAL EQUIPMENT WILL BE INCLUDED IN THE BID PRICE FOR OTHER ITEMS OF CONSTRUCTION.
3. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING ALL AFFECTED UTILITIES PRIOR TO SUBMITTING HIS BID TO DETERMINE THE EXTENT TO WHICH UTILITY DISCONNECTIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF THE WORK FOR THE PROJECT. SOME UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS, WHILE SOME WORK MAY BE REQUIRED 'AROUND' UTILITY FACILITIES THAT WILL REMAIN IN PLACE. IT IS UNDERSTOOD AND AGREED THAT THE CONTRACTOR WILL RECEIVE NO ADDITIONAL COMPENSATION FOR DELAYS OR INCONVENIENCE CAUSED BY THE UTILITY ADJUSTMENT.
4. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATIONS IN THE AREA OF THE UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND.

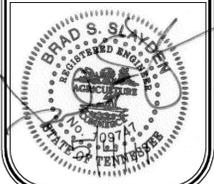
**UTILITY CONTACTS:**

SEWER	METRO WATER AND SEWERAGE SERVICES (615) 862-4505
WATER	MADISON SUBURBAN UTILITY DISTRICT (615) 868-3201
PUBLIC WORKS	METRO PUBLIC WORKS (615) 862-8700 PERMITS
ELECTRIC	NASHVILLE ELECTRIC SERVICE (615) 747-3945 MARTY ROCHELLE
GAS	PIEDMONT NATURAL GAS (615) 734-1753 LAMAR MORGAN
TELEPHONE	AT&T (615) 214-7337 DON CROHAN
CABLE	COMCAST (615) 244-5900

IF YOU DIG TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW

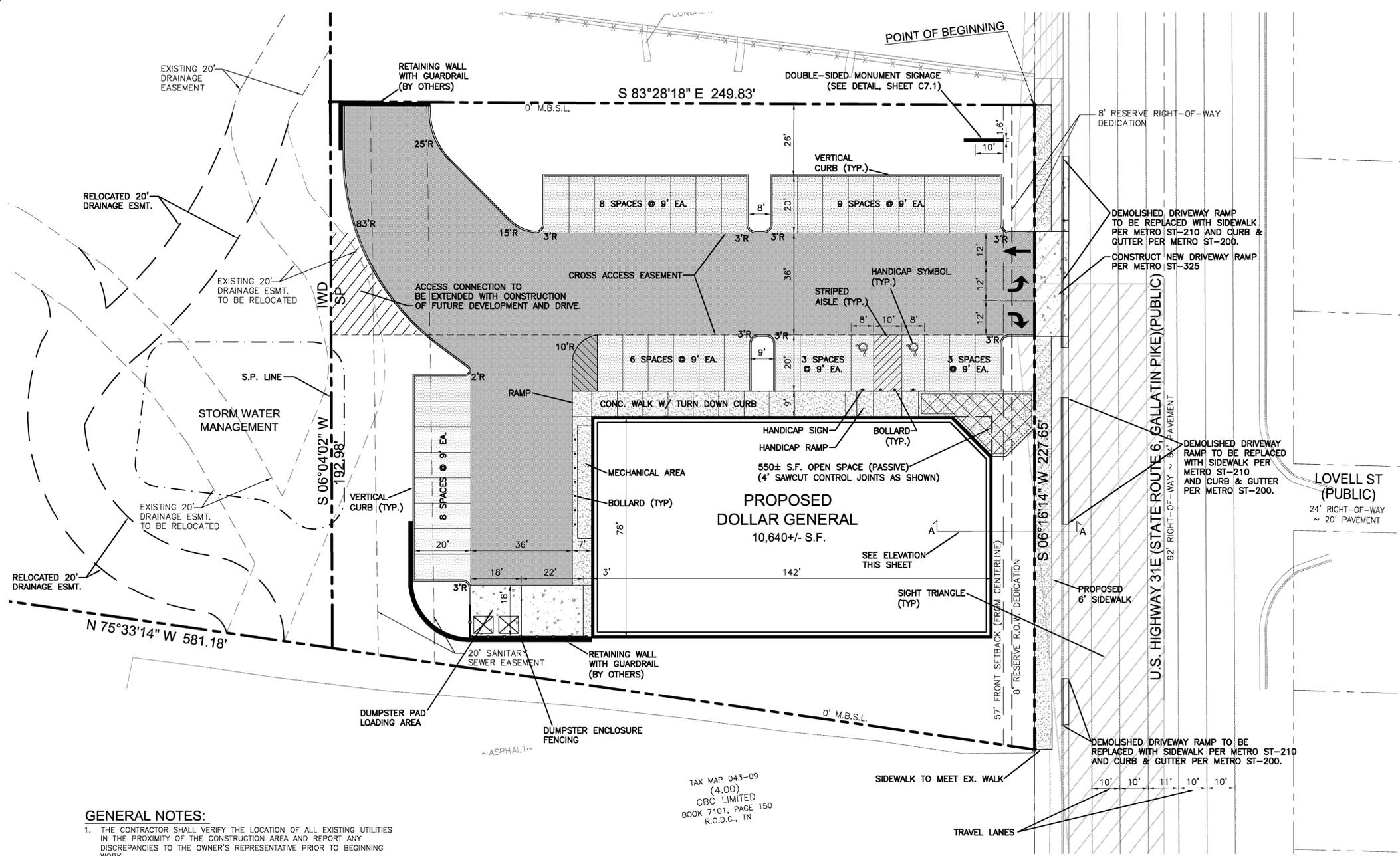


**RAGAN SMITH**  
LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS  
RAGAN SMITH ASSOCIATES, INC.  
316 WOODLAND ST. P.O. BOX 60070 NASHVILLE, TN 37206  
(615) 244-4891 FAX (615) 244-6759 WWW.RAGANSMITH.COM



MADISON, TN.  
**DOLLAR GENERAL**  
TURNER AND ASSOCIATES REALTY INC.  
4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

DATE: April 14, 2011  
DESIGNED: B. Slayden  
DRAWN: B. Shrum  
SCALE: 1" = 20'  
JOB NO. WK. ORDER  
11-004 9272  
REVISIONS  
DEMOLITION PLAN  
**C2.1**



**SITE DATA:**

**PROPERTY INFORMATION:**  
 SITE APPLICATION NUMBER: 2011SP-007-002  
 COUNCIL DISTRICT NUMBER: 4th  
 DISTRICT COUNCIL MEMBER: MICHAEL CRADDOCK  
 SP NAME: DOLLAR GENERAL  
 PLAN PREPARATION DATE: April 14, 2011  
 PARCEL/S ACREAGE: 3.40 AC.± (147,908 S.F.)  
 EX. BUILDING S.F. / USE: 3,505 S.F.± / BANK  
 TAX MAP: 043-09  
 PARCELS: 2.00  
 STREET ADDRESS: 601 GALLATIN PIKE N., MADISON, TN 37115

**OWNER/DEVELOPER:** TURNER & ASSOCIATES REALTY INC.  
 MONTE TURNER  
 P.O. BOX 150326  
 NASHVILLE, TN 37215  
 (615) 383-7878  
 (615) 383-9878 FAX

**PROJECT ENGINEER:** MR. CHARLES D. LOWE, P.E.  
 RAGAN-SMITH-ASSOCIATES, INC.  
 315 WOODLAND STREET  
 NASHVILLE, TN 37206  
 (615) 244-8591  
 (615) 244-8739 FAX

**ZONING INFORMATION:**  
 ZONING CLASSIFICATION: 1.21 Ac. SP-C & 2.19 Ac. INDUSTRIAL WAREHOUSING/DISTRIBUTION (IWD)

**PROPOSED SITE:** (1 LOT: 1.21-AC. SP & EX. 2.19-AC. IWD)  
 PROP. COMMERCIAL LAND USES: RETAIL, RESTAURANT & GENERAL OFFICE USE  
 TOTAL BUILDING S.F.: 10,640 S.F. ±  
 MAX BUILDING HEIGHT: 18' + SECURITY LIGHTING (SINGLE STORY)  
 PARKING SUMMARY:  
 PARKING REQUIREMENT: 1 SPACE/200 S.F.\*  
 TOTAL PARKING PROVIDED: 39 SPACES (1 SPACE/272 S.F.)  
 EFFECTIVE ISR ALLOWED: .87 (3 x ADJ. FACTORS) \*CRITICAL LOT  
 ISR PROVIDED: .66 (BLDG.: .20/ WALKS: .04/ DRIVE: .42)  
 (PERVIOUS: 17,509 S.F./ IMPERVIOUS: 35,012 S.F.)  
 550± S.F. (PASSIVE)  
 FAR: .20 (10,640± S.F./52,521± S.F.)

**OPEN SPACE:** 550± S.F. (PASSIVE)  
**FAR:** .20 (10,640± S.F./52,521± S.F.)

**BUILDING SETBACKS:**  
 FRONT: 11' FROM GALLATIN PIKE R.O.W. (AS SHOWN)  
 REAR: 3' FROM GALLATIN PIKE R.O.W. RESERVATION  
 SIDES: 0'  
 DEVELOPMENT SCHEDULE: TO BE COMPLETED IN ONE PHASE  
 START: AUGUST 2011  
 END: DECEMBER 2011

**SURVEY INFORMATION:**  
 BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM RECORDED AN ALTA OF LOT 1 DATED JAN. 31, 2011 BY BLUE RIDGE SURVEYING, INC. (615) 451-6739. TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM METRO AERIAL TOPOGRAPHIC MAP 043-09.

**FLOOD INFORMATION:**  
 FEMA MAP #: 47037C0139 F  
 EFFECTIVE DATE: APRIL 20, 2001  
 BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONES "X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47037C0139 F, WITH AN EFFECTIVE DATE OF APRIL 20, 2001, WHICH MAKE UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT: COMMUNITY NO. 47037, PANEL NO. 0139, SUFFIX F, WHICH ARE THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.

**GEOTECHNICAL INFORMATION:**  
 NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

**PURPOSE NOTE:**  
 THE APPLICANT HAS OBTAINED A CHANGE IN ZONING OF CS & IWD TO SP (SEE PLAN FOR SP AREA ONLY). THIS WAS NECESSARY FOR THE IMPLEMENTATION OF A SINGLE STORY BUILDING WITH SPECIFIC SETBACKS TO BE CONSISTENT WITH THE MADISON COMMUNITY PLAN, ADOPTED APRIL 14, 2009. THE SP ZONING CREATED A SITE OF APPROPRIATE USE WITH PARKING PROVISIONS THAT MEET THE DEMAND OF THE TENANT.

**GENERAL PLAN CONSISTENCY:**  
 THE EXISTING CONDITIONS OF THIS SITE REFLECTS A SINGLE STORY COMMERCIAL SERVICE USE WITH ALL ABOVE GRADE PARKING AND TWO ACCESS POINTS. AS REFLECTED IN THE MADISON COMMUNITY PLAN, ADOPTED APRIL 14, 2009, THE SP IS BELIEVED TO BE CONSISTENT WITH THE GOALS AND OBJECTIVES OF THIS PLAN. THIS SP PROPOSES A SINGLE STORY STRUCTURE WITH SHALLOW SETBACKS FROM THE GALLATIN PIKE R.O.W.

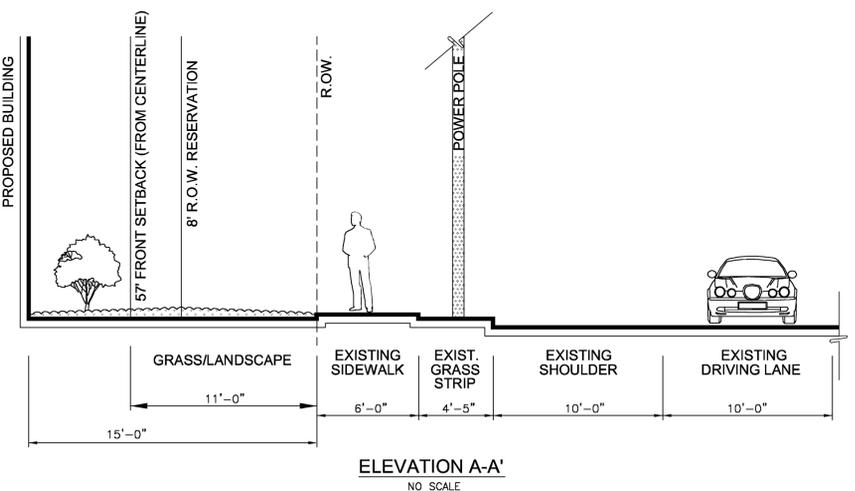
**SPECIAL NOTE:**  
 FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND APPLICABLE REQUIREMENTS OF THE CL ZONING DISTRICT AS OF THE DATE OF THE REQUEST OR APPLICATION.

**NOTES:**

- PROPOSED ROADWAYS AND SERVICE LANES WITHIN THIS PROJECT'S PROPERTY BOUNDARIES ARE PRIVATE.
- LOT IS TO BE SERVED WITH PUBLIC WATER AND SANITARY SEWER.
- SITE, OPEN SPACES, WATER QUALITY & DETENTION FACILITIES TO BE MAINTAINED BY PROPERTY OWNER OR PROPERTY OWNER'S ASSOCIATION.
- STORM WATER WILL BE ROUTED THROUGH A STORMWATER QUALITY MANAGEMENT SYSTEM, SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL.
- SCREENING FOR DUMPSTERS AND OTHER TRASH RECEPTACLES SHALL COMPLY WITH THE PROVISIONS OF SECTION 17.24.060 OF THE METRO ZONING CODE.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPT. OF WATER SERVICES.
- PRELIMINARY DRAWING NOTE: THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- FIRE DEPT. NOTE: FIRE-FLOW SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE - 2006 EDITION - B105.1, T.B.D. BY FIRE CHIEF.
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- ACCESS NOTE: METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- DRIVEWAY CULVERTS SHALL BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MIN 15" CMP).
- SIGNAGE SHALL BE CONSISTENT WITH THE SIGN STANDARDS FOUND IN THE METRO ZONING ORDINANCE.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT. ADA: [HTTP://WWW.ADA.GOV](http://www.ada.gov)  
 U.S. JUSTICE DEPT: [HTTP://WWW.JUSTICE.GOV/CRT/HOUSE/FAIRHOUSING/ABOUT\\_FAIRHOUSINGACT.HTM](http://www.justice.gov/crt/HOUSE/FAIRHOUSING/ABOUT_FAIRHOUSINGACT.HTM)
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS. PRIOR TO FINAL SP APPROVAL, DOCUMENTATION SHALL BE PROVIDED TO PUBLIC WORKS THAT ADEQUATE PARKING IS PROVIDED.

- GENERAL NOTES:**
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE PROXIMITY OF THE CONSTRUCTION AREA AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
  - THE CONTRACTOR SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
  - THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
  - DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF CONCRETE AND FACE OF BUILDING, UNLESS NOTED OTHERWISE.
  - PROPOSED BUILDING FOOTPRINT IS FOR GRAPHIC PURPOSES ONLY. CONTRACTOR SHALL USE THE CURRENT ARCHITECTURAL DRAWINGS FOR BUILDING STAKEOUT AND VERIFY THAT THERE ARE NO DISCREPANCIES WITH THESE PLANS.
  - ALL TRAFFIC MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICE (MUTCD).
  - ALL HANDICAP RAMPS, PARKING SPACES AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE CURRENT ADA REQUIREMENTS.
  - EXTERIOR DOOR LANDINGS SHALL BE PROVIDED PER THE LOCAL BUILDING CODE. CONTRACTOR SHALL COORDINATE DOOR LOCATIONS AND ADJACENT SIDEWALK/LANDING GRADES WITH THESE PLANS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.

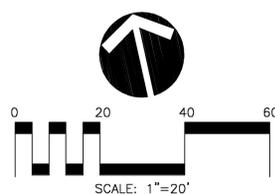
- PLANNING COMMISSION CONDITIONS OF APPROVAL:**
- This SP is limited to retail, restaurant, and general office uses.
  - For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the CL zoning district as of the date of the applicable request or application.
  - A corrected copy of the SP final site plan incorporating the conditions of approval by the Planning Department shall be provided to the Planning Department prior to the issuance of any permit for this property, and in any event no later than 120 days after consideration by Planning Commission. If a corrected copy of the SP final site plan incorporating the conditions therein is not provided to the Planning Department within 120 days after the date of conditional approval by the Planning Commission, then the corrected copy of the SP final site plan shall be presented to the Metro Council as an amendment to this SP ordinance prior to approval of any grading, clearing, grubbing, or any other development application for the property.
  - The SP final site plan as approved by the Planning Commission will be used to determine compliance, both in the issuance of permits for construction and field inspection. While minor changes may be allowed, significant deviation from the approved site plans may require reapproval by the Planning Commission and/or Metro Council.



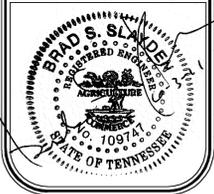
**PAVEMENT LEGEND**

- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- CONCRETE PAVEMENT
- CONCRETE WALK

**IF YOU DIG TENNESSEE... CALL US FIRST!**  
 1-800-351-1111  
 1-615-366-1987  
 TENNESSEE ONE CALL IT'S THE LAW



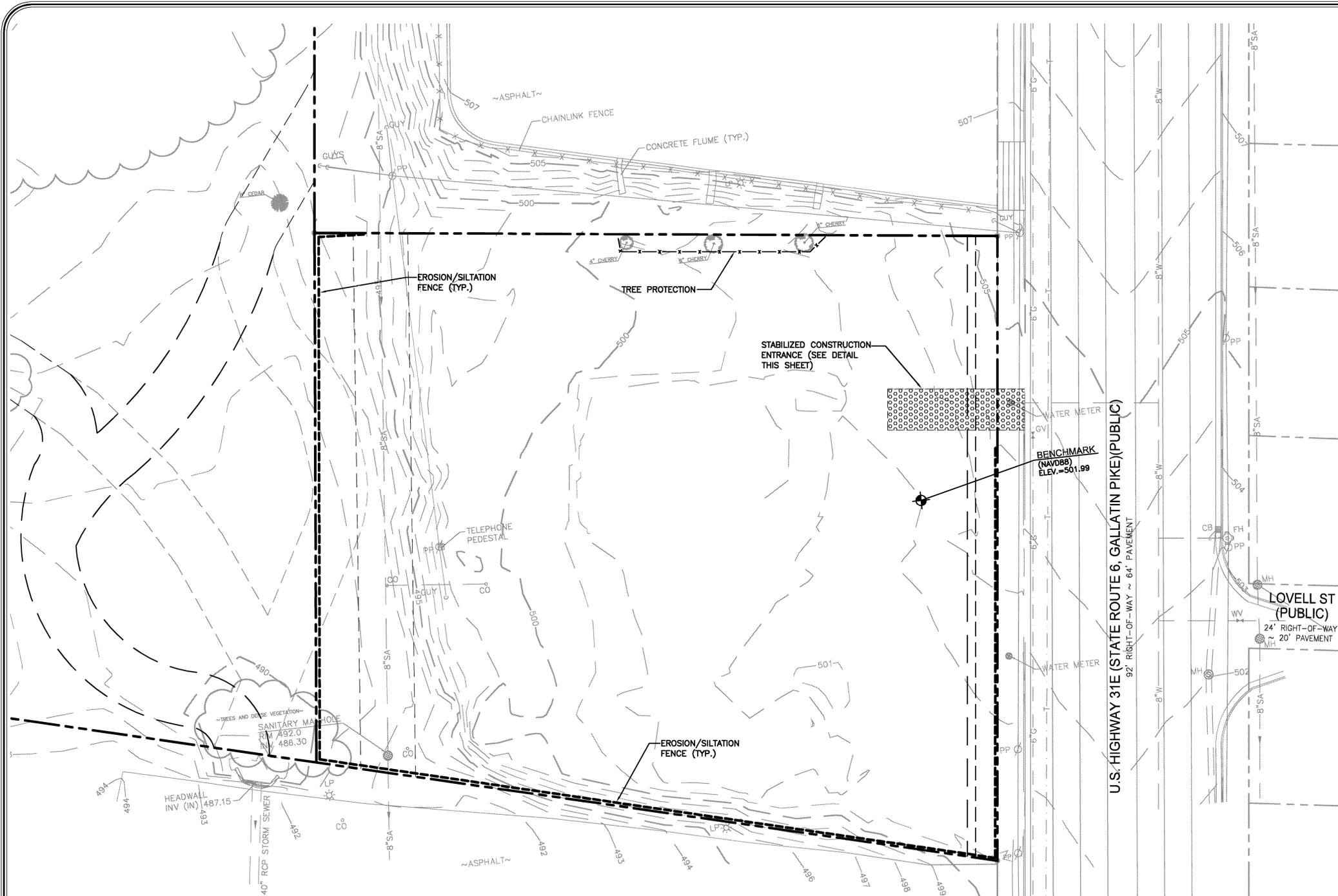
**RAGAN-SMITH**  
 LAND PLANNERS • CIVIL ENGINEERS  
 LANDSCAPE ARCHITECTS • SURVEYORS  
 RAGAN-SMITH • ASSOCIATES, INC.  
 315 WOODLAND ST. P.O. BOX 60070 NASHVILLE, TN 37206  
 (615) 244-8591 FAX (615) 244-8739 WWW.RAGANSMITH.COM



MADISON, TN.  
**DOLLAR GENERAL**  
 TURNER AND ASSOCIATES REALTY INC.  
 4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

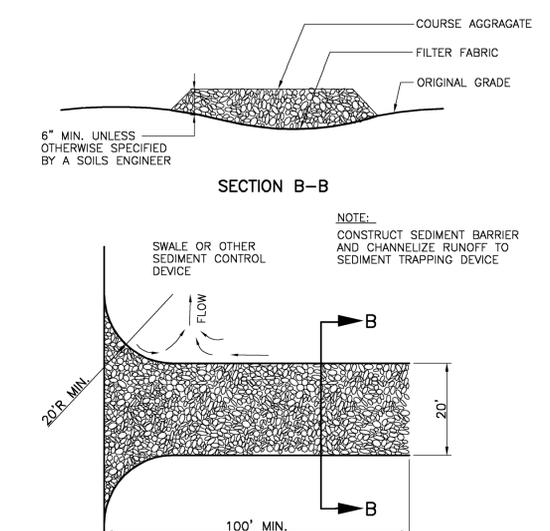
DATE:	April 12, 2011
DESIGNED:	B. Slayden
DRAWN:	B. Strum
SCALE:	1"=20'
JOB NO.	11-004
WK. ORDER	9272

**SITE LAYOUT PLAN**  
**C3.1**

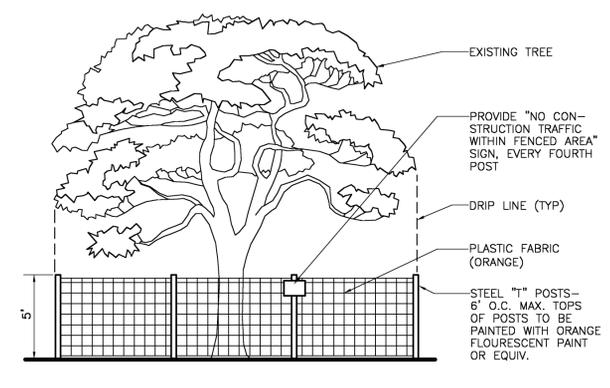


- EROSION/SILTATION CONTROL NOTES:**
- AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS.
  - KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
  - USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
  - NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
  - SILT FENCE SHOWN THUS IS TO BE USED AS TEMPORARY SEDIMENT BARRIERS.
  - IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
  - DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
  - ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET) EXCEPT AS OTHERWISE DETERMINED BY PLAN.
  - UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSSED AREAS OF THE PROJECT.
  - A STONE ACCESS RAMP IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. RAMP IS TO BE BASED WITH 6 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION.
  - PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION/SILTATION CONTROL MEASUREMENTS INDICATED ON THE PLANS SHALL BE INSTALLED.
  - CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASHDOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH Metro CP-10 and CP-13, RESPECTIVELY. CONTRACTOR MUST COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING.

- SILT FENCE BARRIER MAINTENANCE:**
- SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
  - CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE, END RUNS AND UNDERCUTTING BENEATH SILT FENCE.
  - NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCE SHALL BE ACCOMPLISHED PROMPTLY.
  - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
  - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

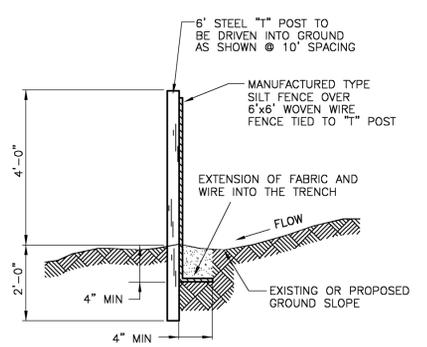


**SECTION B-B**  
 NOTE: CONSTRUCT SEDIMENT BARRIER AND CHANNELIZE RUNOFF TO SEDIMENT TRAPPING DEVICE.  
**PLAN**  
**STABILIZED CONSTRUCTION ENTRANCE**  
 NOT TO SCALE  
 METRO FIGURE TCP-03-1



**TREE PROTECTION DETAIL**  
 NOT TO SCALE

**NOTE:**  
 ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT.



**EROSION/SILTATION FENCE**  
 NOT TO SCALE  
 METRO BMP TCP-13

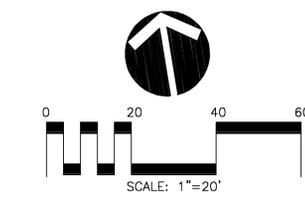
TO BE INSTALLED AS NOTED ON PLAN BEFORE COMMENCING GRADING OPERATION AND LEFT IN PLACE UNTIL A GOOD STAND OF GRASS IS ESTABLISHED OVER ALL DISTURBED AREAS.

I, \_\_\_\_\_, CERTIFIED EROSION CONTROL SPECIALIST HAVE REVIEWED THE PLAN FOR SUFFICIENT ONSITE TEMPORARY EROSION AND SEDIMENT CONTROL PROVISIONS.

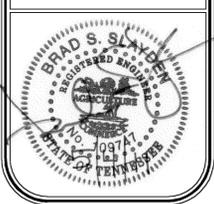
\_\_\_\_\_  
 SIGNATURE

\_\_\_\_\_  
 DATE

**IF YOU DIG TENNESSEE... CALL US FIRST!**  
 1-800-351-1111  
 1-615-366-1987  
 TENNESSEE ONE CALL IT'S THE LAW



**RAGAN SMITH**  
 LAND PLANNERS • CIVIL ENGINEERS  
 LANDSCAPE ARCHITECTS • SURVEYORS  
 RAGAN SMITH ASSOCIATES, INC.  
 316 WOODLAND ST. P.O. BOX 60070 NASHVILLE, TN 37206  
 (615) 244-4891 FAX (615) 244-4759 WWW.RAGANSMITH.COM

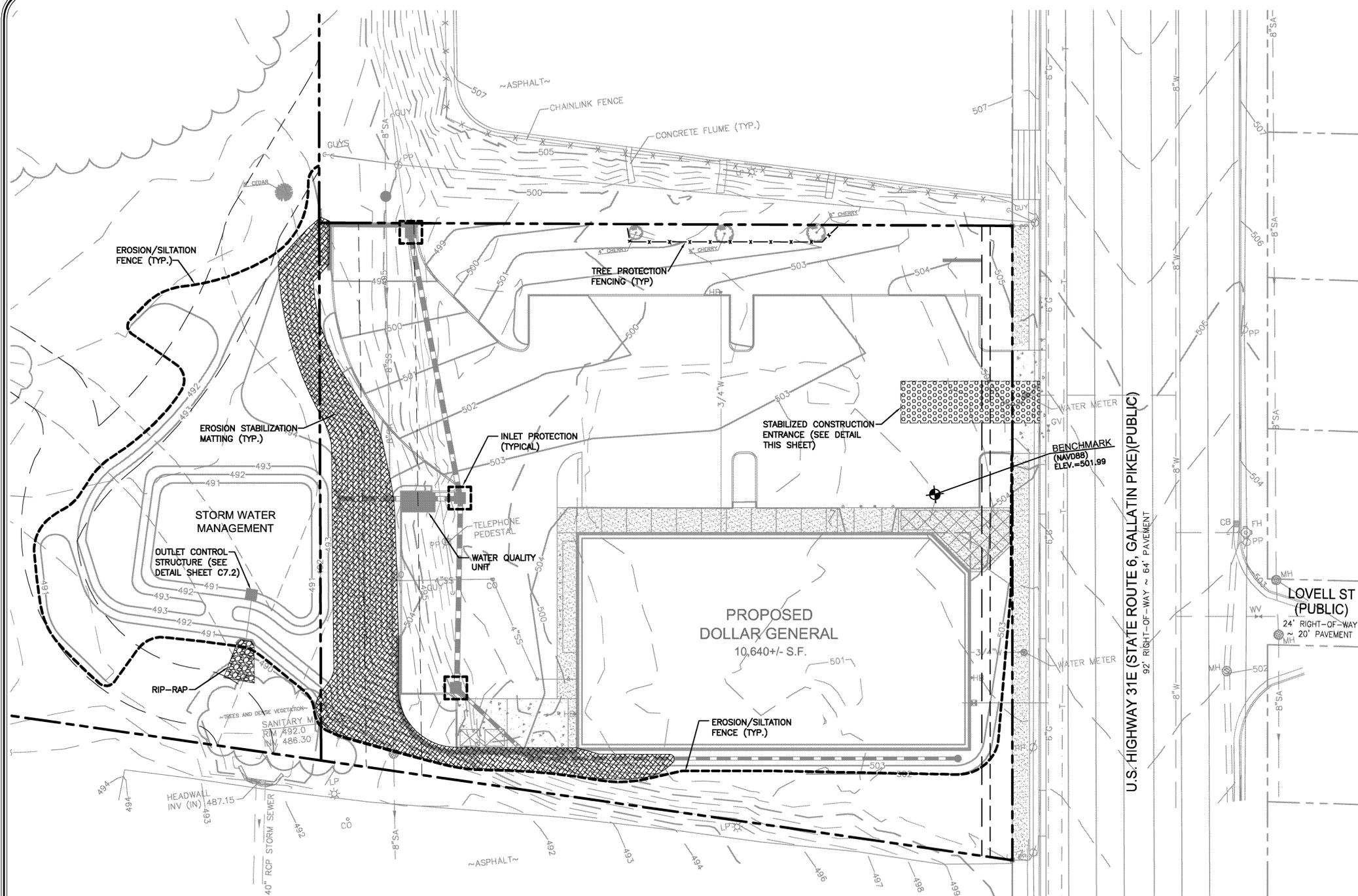


MADISON, TN.  
**DOLLAR GENERAL**  
 TURNER AND ASSOCIATES REALTY INC.  
 4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

DATE: April 12, 2011  
 DESIGNED: B. Slayden  
 DRAWN: B. Shrum  
 SCALE: 1" = 20'  
 JOB NO. 11-004  
 WK. ORDER 9272  
 REVISIONS

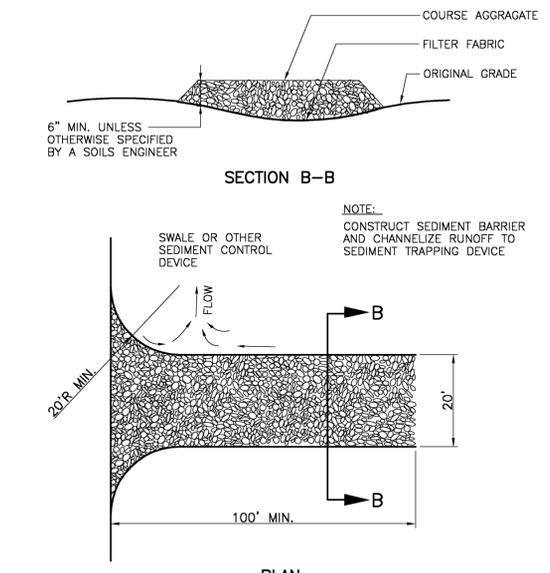
**INITIAL EROSION CONTROL PLAN**

**C4.1**

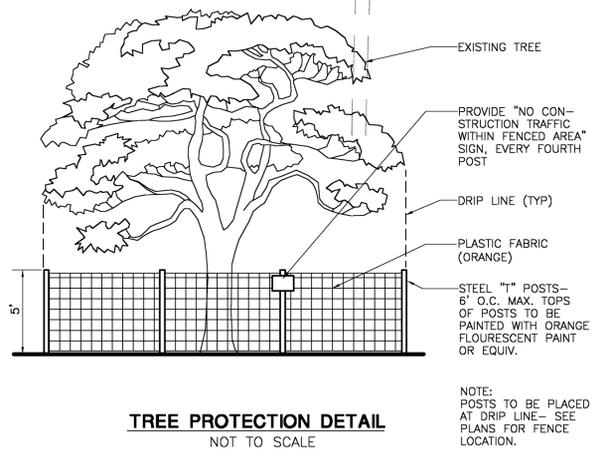


- EROSION/SILTATION CONTROL NOTES:**
- AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS.
  - KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
  - USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
  - NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
  - SILT FENCE SHOWN THUS IS TO BE USED AS TEMPORARY SEDIMENT BARRIERS.
  - IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
  - DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
  - ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET) EXCEPT AS OTHERWISE DETERMINED BY PLAN.
  - UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSED AREAS OF THE PROJECT.
  - A STONE ACCESS RAMP IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. RAMP IS TO BE BASED WITH 6 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION.
  - PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION/SILTATION CONTROL MEASUREMENTS INDICATED ON THE PLANS SHALL BE INSTALLED.
  - CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASHDOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH Metro CP-10 and CP-13, RESPECTIVELY. CONTRACTOR MUST COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING.

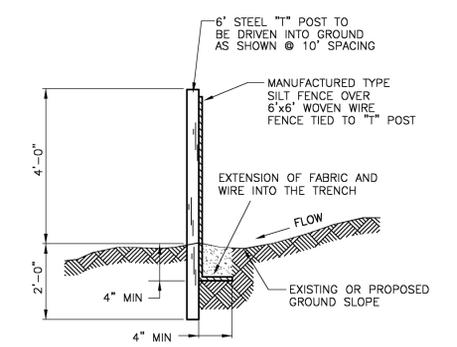
- SILT FENCE BARRIER MAINTENANCE:**
- SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
  - CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE, END RUNS AND UNDERCUTTING BENEATH SILT FENCE.
  - NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCE SHALL BE ACCOMPLISHED PROMPTLY.
  - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
  - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.



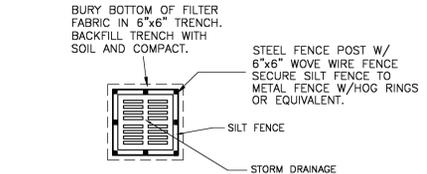
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE  
METRO FIGURE TCP-03-1



**TREE PROTECTION DETAIL**  
NOT TO SCALE  
**NOTE:**  
ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT.



**EROSION/SILTATION FENCE**  
NOT TO SCALE  
METRO BMP TCP-13

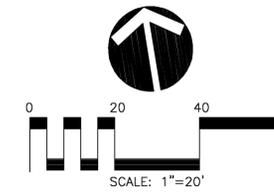


**INLET PROTECTION W/FABRIC FENCE**  
NOT TO SCALE  
METRO BMP TCP-24

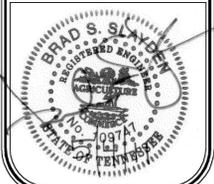
\_\_\_\_\_, CERTIFIED EROSION CONTROL SPECIALIST HAVE REVIEWED THE PLAN FOR SUFFICIENT ONSITE TEMPORARY EROSION AND SEDIMENT CONTROL PROVISIONS.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

IF YOU DIG TENNESSEE... CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL IT'S THE LAW

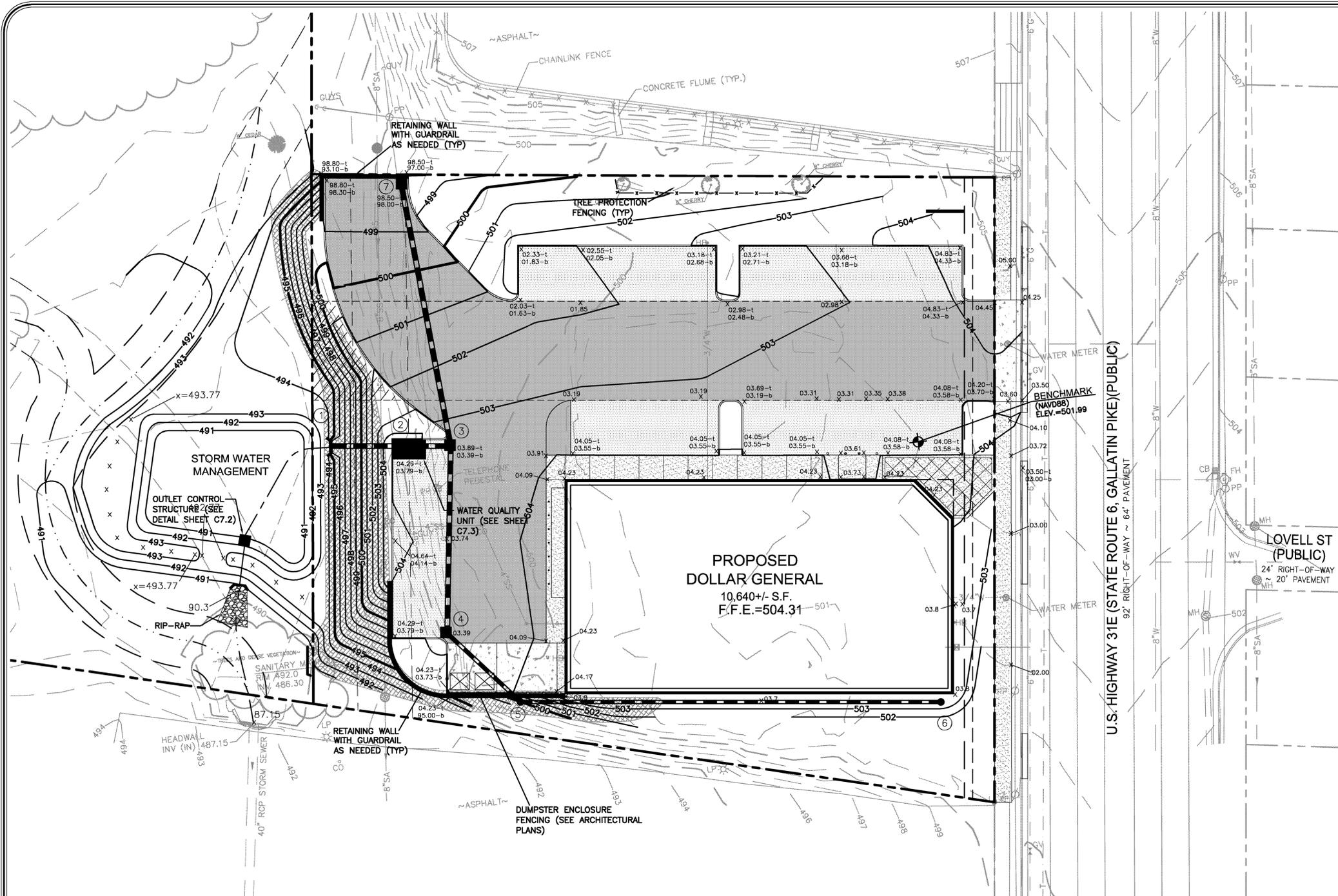


**RAGAN SMITH**  
LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS  
RAGAN SMITH ASSOCIATES, INC.  
316 WOODLAND ST. P.O. BOX 6070 NASHVILLE, TN 37206  
(615) 244-4891 FAX (615) 244-4759 WWW.RAGANSMITH.COM



MADISON, TN.  
**DOLLAR GENERAL**  
TURNER AND ASSOCIATES REALTY INC.  
4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

DATE:	April 12, 2011
DESIGNED:	B. Slayden
DRAWN:	B. Shrum
SCALE:	1" = 20'
JOB NO.:	11-004
WK. ORDER NO.:	9272
REVISIONS:	05-04-11 (RCS) Rev. per City Comments 04-14-11 (RCS) Rev. for Final SP Submittal.
<b>EROSION PROTECTION/SILTATION CONTROL PLAN</b>	
<b>C4.2</b>	



**DRAINAGE TABLE**

**STRUCTURES**

NO	TYPE	CASTING	T.C.	ELEVATIONS	OUT F.L.	FLOW (cfs)
				IN F.L. LN		
1	Headwall	---	---	---	494.07	---
2	Water Quality Unit	---	504.29	494.29	494.29	---
3	Single Inlet	4310	503.39	498.44	494.32	0.32
					494.52	7
4	Single Inlet	4310	503.39	498.99	498.79	0.48
5	Junction Box	---	---	---	499.34	1.53
6	Cleanout	---	503.70	---	500.31	---
7	Single Inlet	4310	498.00	---	495.00	2.72

NOTE: All casting to be John Bouchard & Sons Co. or approved equal, unless otherwise noted

**PIPES**

LINE	SIZE (inches)	LENGTH (feet)	SLOPE (%)	FLOW (cfs)
1-2	18	22	1.00	5.05
2-3	18	7	0.50	5.05
3-4	15	70	0.50	2.01
3-7	15	97	0.50	2.72
4-5	12	35	1.00	1.53
5-6	12" PVC	155	0.50	1.53

All pipes to be RCP, Class III, unless noted otherwise

**SITE CONSTRUCTION NOTES**

- THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO THE CONSTRUCTION OF PROJECTS SUCH AS THIS ONE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BEAR ALL EXPENSES OF FIELD STAKING NECESSARY FOR SITE AND BUILDING LAYOUT. ALL LAYOUT SHALL BE PERFORMED ACCORDANCE WITH DETAIL PLANS AS OUTLINED IN THE LAND USE AND TRAFFIC CONTROL PLAN.
- THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC., AS SHOWN ON THIS PORTION OF THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION BY ACTUAL SURVEYS, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES. HOWEVER, THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATION DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT THE EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
- THE CONTRACTOR MUST UNDERSTAND THE WORK IS ENTIRELY AS HIS RISK UNTIL SAME IS ACCEPTED AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THEREFORE, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, AND LIGHTS.
- THE SITE DEVELOPMENT PORTION OF THIS PROJECT WILL BE SUBJECT TO THE INSPECTION AND FINAL APPROVAL OF THE METRO CODES ADMINISTRATION, METRO PUBLIC WORKS DEPARTMENT, AND METRO WATER AND SEWER DEPARTMENT. DURING THE CONSTRUCTION OF THE PROJECT, THE DEVELOPMENT PORTION OF THIS PROJECT, A QUESTION OF INTENT OR CLARITY ARISES FROM EITHER THE PLANS OR SPECIFICATIONS, THE CONTRACTOR WILL IMMEDIATELY BRING THE MATTER TO THE ATTENTION OF THE CIVIL ENGINEER FOR RESOLUTION BEFORE THE AFFECTED WORK ITEMS ARE INITIATED OR PURSUED FURTHER.
- THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD POWER LINES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED LINES, THE ELECTRIC AND/OR TELEPHONE COMPANIES SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD LINES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THIS WORK CAUSED BY HIMSELF, HIS SUBCONTRACTORS OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED WILL BE STOCKPILED ON SITE, AT A SPOT TO BE FIELD DETERMINED BY THE CIVIL ENGINEER, AND SHALL LATER BE USED FOR SUBSEQUENT USE IN FINAL DRESSING AND SEEDBED PREPARATION. SAID STOCKPILES WILL BE LOCATED SO AS NOT TO INTERFERE WITH ACTIVITIES OF OTHER PORTIONS OF THE WORK ON THE PROJECT.
- THE STOCKPILING OR STORAGE OF TREES, VEGETATION AND OTHER DELETERIOUS MATTER OR MATERIALS DEEMED "UNSATURATED" BY THE SOIL AND CIVIL ENGINEERS SHALL NOT BE ALLOWED ON SITE. SAID MATERIALS SHALL BE PROPERLY DISPOSED OF OFF THE PROPERTIES, THE COST AND RESPONSIBILITY OF WHICH SHALL BE THE CONTRACTOR'S. SITE FOR THE DISPOSAL OF SAID MATERIALS SHALL FIRST BE APPROVED BY THE CIVIL ENGINEER.
- THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8-INCH THICKNESS. SAID FILL MATERIAL IS TO BE FREE OF SOIL, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL, AND COMPACTION OF 100% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 24 INCHES BENEATH PAVEMENT AND GRADE SLABS.
- CONTRACTOR TO OBTAIN, REVIEW AND COMPLY WITH ALL REQUIREMENTS ASSOCIATED WITH THE STORM WATER POLLUTION PREVENTION PLAN.
- BUFFER SIGNS ARE REQUIRED WITH LOCATION TO BE DETERMINED AT PRE-CONSTRUCTION MEETING.

**GRADING NOTE (ACCESSIBLE ENTRANCE):**

ALL ENTRANCES ON ANY BUILDING WHICH IS CONSIDERED A HANDICAP ACCESSIBLE ENTRANCE IS TO BE PROVIDED FOR A MINIMUM OF 60"x60" LANDING FOR A SINGLE DOOR AND A 72"x60" LANDING FOR A DOUBLE DOOR, IF A PROPOSED ACCESS EXCEEDS A 72" WIDTH THE LANDING IS TO ACCOMMODATE SAID ACCESS WIDTH. SAID LANDING IS NOT TO EXCEED A 1% GRADE (1/8" FOOT FALL) IN ANY DIRECTION. CONTRACTOR IS TO COORDINATE WITH ARCHITECT FOR ALL LOCATIONS, LAYOUTS, ELEVATIONS AND TREATMENTS TO ANY PROPOSED BUILDING ACCESS.

NOTE:  
PRIOR TO THE ISSUANCE OF THE GRADING PERMIT, THE CONTRACTOR SHALL INSTALL SEDIMENT TRAPS, SILT FENCE, AND TEMPORARY DIVERSION SWALES/BERMS. TEMPORARY DIVERSION SHALL PROVIDE POSITIVE DRAINAGE TO THE SEDIMENT TRAPS.

**STORM DRAINAGE NOTES:**

- ALL STORMWATER WORKS ON THIS PROJECT WILL BE CONSTRUCTED TO BE IN COMPLIANCE WITH THE METRO PUBLIC WORKS SPECIFICATIONS AND REQUIREMENTS.
- TRENCHES FOR STORMWATER PIPING WILL BE BEDDED WITH 4 INCHES OF CRUSHED STONE TO RECEIVE THE CULVERT PIPE AND GIVE A UNIFORM BEARING ALONG THE RUN OF THE TRENCH. AFTER PIPE HAS BEEN SET TO PROPER LINE AND GRADE, CRUSHED STONE WILL BE SPREAD UP TO HAUNCHES OF PIPE FOR A DEPTH OF 4 INCHES ABOVE INVERT. TRENCH BACKFILL WILL BE OF SELECTED EXCAVATED MATERIAL FROM SITE, WITH NO ROCK LARGER THAN 2 INCHES IN LENGTH/DIAMETER, TO A POINT 12 INCHES ABOVE TOP OF PIPE. THE BALANCE OF TRENCH BACKFILL FROM 12 INCHES ABOVE TOP OF PIPE WILL BE CAREFULLY SELECTED MATERIAL FROM SITE WITH NO ROCK LARGER THAN 6 INCHES IN LENGTH/DIAMETER. MEANS OF COMPACTION/CONSOLIDATION OF TRENCH BACKFILL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR; HOWEVER, COMPLETED TRENCH MUST MEET SAME REQUIREMENTS FOR COMPACTION AND CONDITION AS ADJACENT GRADE.
- T.C. EL. REFERS TO TOP OF GRATE OF "K" AND "M" CASTINGS. DRAINAGE STRUCTURE CASTING SHALL BE DRY SET WHEN BUILT AND MORTAR SET LATER WHEN ADJUSTED TO GRADE OF FINAL SURFACE TREATMENT.

**DOWNSTREAM STRUCTURE MATCH LINE**  
(SEE THIS SHEET)

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOODPLAIN
- SINK HOLE ALTERATIONS
- BIORETENTION/RAINGARDEN AREAS

THE ENGINEER SHALL VISIT [WWW.NASHVILLE.GOV/STORMWATER/ASBUILT.HTM](http://WWW.NASHVILLE.GOV/STORMWATER/ASBUILT.HTM) FOR SUBMITTAL REQUIREMENTS.

CONTRACTOR RESPONSIBLE FOR PROVIDING PHOTOGRAPHS OF INSTALLATION OF BIO-RETENTION SYSTEM CONTRACTOR. MUST PROVIDE AS-BUILT SURVEY OF BIO-RETENTION AND UNDERGROUND STORMWATER DETENTION PER METRO STORMWATER DIVISION REQUIREMENTS.

THE PROJECT ASSOCIATED WITH THESE SUBMITTED PLANS IS COVERED UNDER TENNESSEE CONSTRUCTION GENERAL PERMIT TN-\_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CIRCLE ONE: DEVELOPER  PROJECT ENGINEER  OTHER

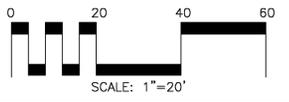
NOTE: PROJECTS OF ONE (1) ACRE OR MORE ACRES REQUIRE STATE PERMIT COVERAGE, WHILE PROJECTS OF LESS THAN ONE (1) ACRE DO NOT REQUIRE STATE COVERAGE. ALSO, PROJECTS OF LESS THAN ONE (1) ACRE THAT ARE PART OF A TOTAL DEVELOPMENT PROJECT OF ONE (1) OR MORE ACRES REQUIRE STATE PERMIT COVERAGE.

**GENERAL NOTES:**

- LOT IS TO BE SERVED WITH PUBLIC WATER AND SANITARY SEWER.
- SITE, OPEN SPACES, WATER QUALITY & DETENTION FACILITIES TO BE MAINTAINED BY PROPERTY OWNER OR PROPERTY OWNER'S ASSOCIATION.
- STORM WATER WILL BE ROUTED THROUGH A STORMWATER QUALITY MANAGEMENT SYSTEM, SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- PRELIMINARY DRAWING NOTE - THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- FIRE DEPT. NOTE: FIRE-FLOW SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE - 2006 EDITION - B105.1.
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- ACCESS NOTE: METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- DRIVEWAY CURBS SHALL BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MIN 15" CMP).
- PROPOSED UTILITY METERS WILL BE LOCATED OUTSIDE THE PUBLIC R.O.W.
- NEC FOLLOWS THE NATIONAL FIRE PROTECTION ASSOCIATION RULES; REFER TO NFPA 70 ARTICLE 450-27; AND NESC SECTION 15 - 152.A.2 FOR COMPLETE RULES.

**DOWNSTREAM STRUCTURE MATCH LINE**  
(SEE THIS SHEET)

IF YOU DIG TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW



**RAGAN SMITH**  
LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS  
RAGAN SMITH ASSOCIATES, INC.  
316 WOODLAND ST. P.O. BOX 6070 NASHVILLE, TN 37206  
(615) 244-4891 FAX (615) 244-4759 WWW.RAGANSMITH.COM

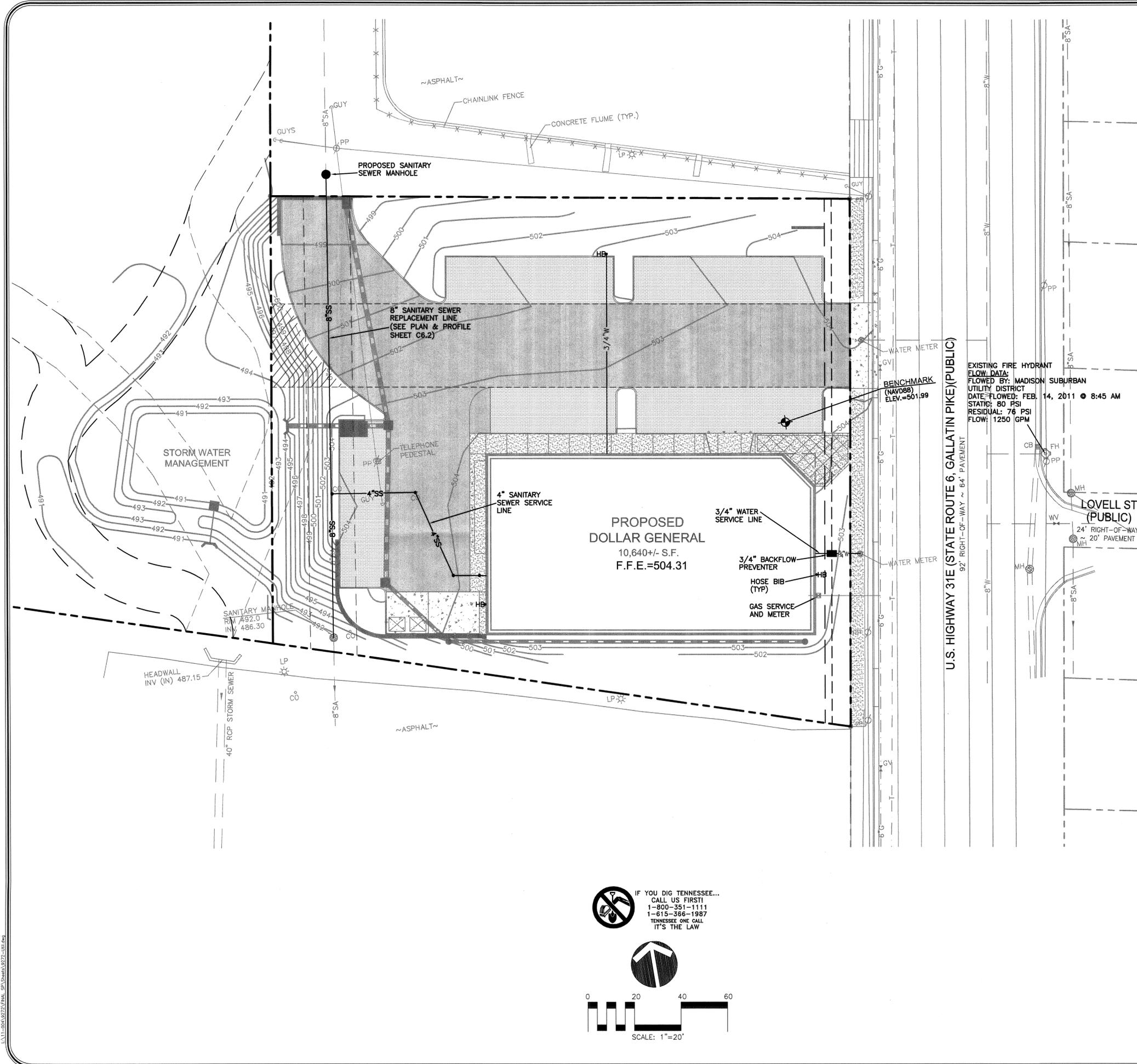
**BRAD S. SLAYDEN**  
REGISTERED ENGINEER  
NO. 109747  
STATE OF TENNESSEE

MADISON, TN.  
**DOLLAR GENERAL**  
TURNER AND ASSOCIATES REALTY INC.  
4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

DATE: April 12, 2011  
DESIGNED: B. Slayden  
DRAWN: B. Shrum  
SCALE: 1" = 20'  
JOB NO. WK ORDER 11-004  
SUBMITTAL: 9272

**SITE GRADING AND DRAINAGE PLAN**

**C5.1**



**SITE UTILITY NOTES:**

1. ALL MATERIALS AND WORKMANSHIP FOR UTILITY LINES AND APPURTENANCES SHALL BE IN STRICT COMPLIANCE WITH METRO WATER SERVICES. PRIOR TO CONSTRUCTION CONTRACTOR SHALL NOTIFY METRO WATER SERVICES. (SEE UTILITY CONTACT INFORMATION)
2. CONTRACTOR SHALL COORDINATE SITE ELECTRICAL, GAS, TELEPHONE, AND CABLE WITH THE RESPECTIVE UTILITY COMPANY FOR SERVICE LAYOUT AND DESIGN INFORMATION. ANY PROPOSED LAYOUT OF THESE UTILITIES DEPICTED ON THESE DRAWINGS IS GRAPHICAL ONLY AND NOT INTENDED TO REPRESENT DESIGN OF THESE UTILITIES.
3. PRIOR TO COMMENCEMENT OF CONSTRUCTION, CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY ANY REQUIRED TAP AND CONNECTION FEES.
4. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
5. SITE CONTRACTOR SHALL CONSTRUCT ALL UTILITY SERVICES TO WITHIN 5' OF BUILDING.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES TO AVOID CONFLICTS.
7. CONTRACTOR SHALL COORDINATE SIZE AND LOCATION OF WATER, SEWER AND STORMWATER CONNECTIONS TO THE BUILDING AS DEPICTED ON THE BUILDING MECHANICAL PLANS AND THE SITE UTILITY PLAN AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
8. WATER SERVICE LINES 3/4" - 3" SHALL BE TYPE-K COPPER AND 4" OR LARGER SHALL BE DUCTILE IRON PIPE - CLASS 52.
9. FIRE LINE INSTALLATION AND THRUST BLOCKING LOCATION AND SIZING SHALL BE PER N.F.P.A. AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
10. WATER METER MANUFACTURER/MODEL # AND VAULT SPECIFICATIONS SHALL BE PER METRO WATER SERVICES.
11. BACKFLOW DEVICE (RFBP) MANUFACTURER/MODEL # SHALL BE PER METRO WATER SERVICES.
12. CONTRACTOR SHALL INSTALL HOT BOX ENCLOSURE (PRE-FINISHED DARK GREEN) ON ALL EXTERIOR ABOVE-GROUND BACKFLOW DEVICES. DOMESTIC AND FIRE BACKFLOW DEVICES SHALL BE HEATED. CONTRACTOR SHALL COORDINATE PROVIDING APPROPRIATE ELECTRICAL SERVICE TO BACKFLOW DEVICE.
13. CONTRACTOR SHALL COORDINATE LOCATION OF BACKFLOW DEVICE WITH THE BUILDING MECHANICAL DRAWINGS.
14. SANITARY SEWER SERVICE LINES SHALL BE SDR 35 PVC UNLESS SPECIFIED OTHERWISE.
15. MAINTAIN A 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER LINES.

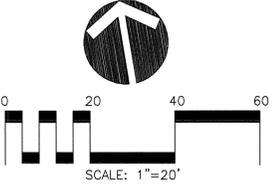
EXISTING FIRE HYDRANT  
 FLOW DATA:  
 FLOWED BY: MADISON SUBURBAN  
 UTILITY DISTRICT  
 DATE FLOWED: FEB. 14, 2011 @ 8:45 AM  
 STATION: 80 PSI  
 RESIDUAL: 76 PSI  
 FLOW: 1250 GPM

**UTILITY CONTACTS:**

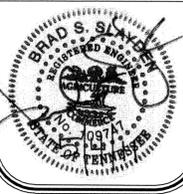
SEWER	METRO WATER AND SEWERAGE SERVICES (615) 862-4505
WATER	MADISON SUBURBAN UTILITY DISTRICT (615) 868-3201
PUBLIC WORKS	METRO PUBLIC WORKS (615) 862-8700 PERMITS
ELECTRIC	NASHVILLE ELECTRIC SERVICE (615) 747-3945 MARTY ROCHELLE
GAS	PIEDMONT NATURAL GAS (615) 734-1753 LAMAR MORGAN
TELEPHONE	AT&T (615) 214-7337 DON CROHAN
CABLE	COMCAST (615) 244-5900

METRO WATER SERVICES - NASHVILLE, TN  
**- APPROVED FOR CONSTRUCTION -**  
 THIS DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE DEPARTMENT OF WATER AND SEWERAGE SERVICES UNDER AUTHORITY DELEGATED BY THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DIVISION OF WATER POLLUTION CONTROL AND IS HEREBY APPROVED FOR CONSTRUCTION.  
 THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING A PRESUMPTION OF CORRECT OPERATION OR A WARRANTY BY THE DEPARTMENT OF WATER AND SEWERAGE SERVICES THAT THE APPROVED FACILITIES WILL REACH THE DESIGNED GOALS.  
 THIS APPROVAL EXPIRES ONE YEAR FROM DATE SHOWN BELOW.  
 JUL 12 2011  
 [Signature]  
 ENGINEER

IF YOU DIG TENNESSEE...  
 CALL US FIRST!  
 1-800-351-1111  
 1-615-366-1987  
 TENNESSEE ONE CALL  
 IT'S THE LAW



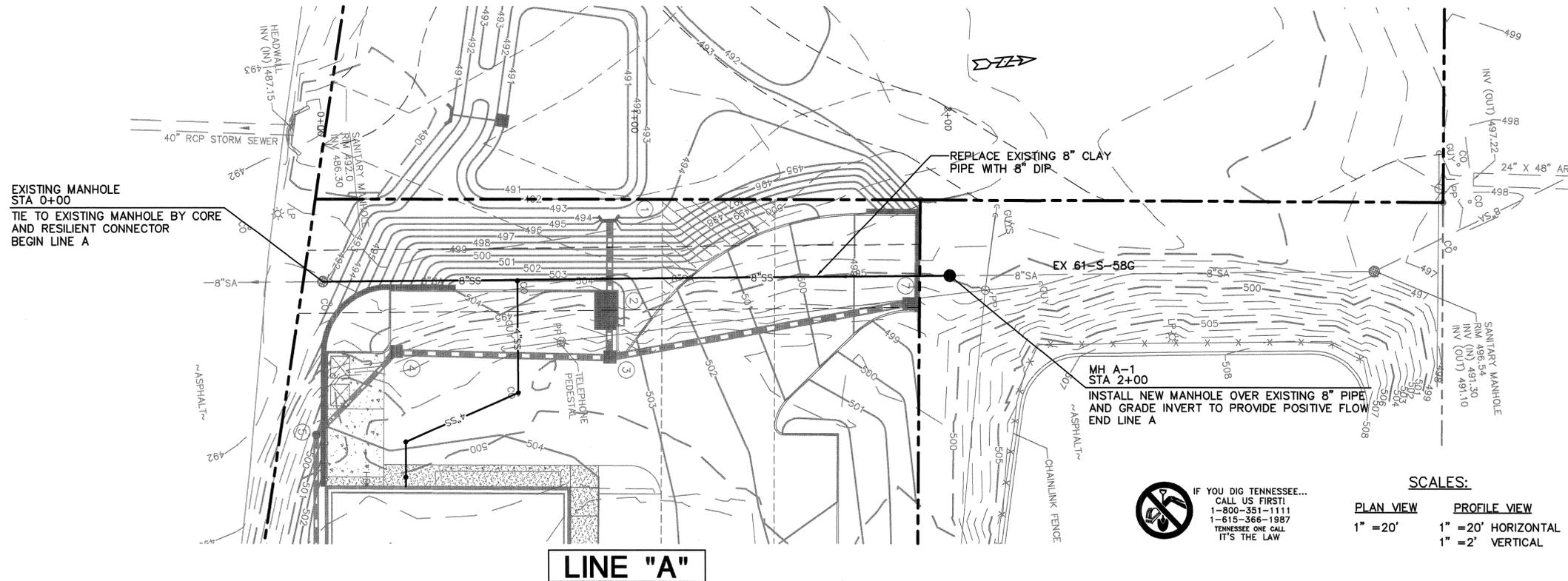
**RAGAN SMITH**  
 LAND PLANNERS • CIVIL ENGINEERS  
 LANDSCAPE ARCHITECTS • SURVEYORS  
 RAGAN SMITH ASSOCIATES, INC.  
 315 WOODLAND ST., P.O. BOX 60070, NASHVILLE, TN 37206  
 (615) 244-8991 FAX (615) 244-8799 WWW.RAGANSMITH.COM



MADISON, TN.  
**DOLLAR GENERAL**  
 TURNER AND ASSOCIATES REALTY INC.,  
 4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

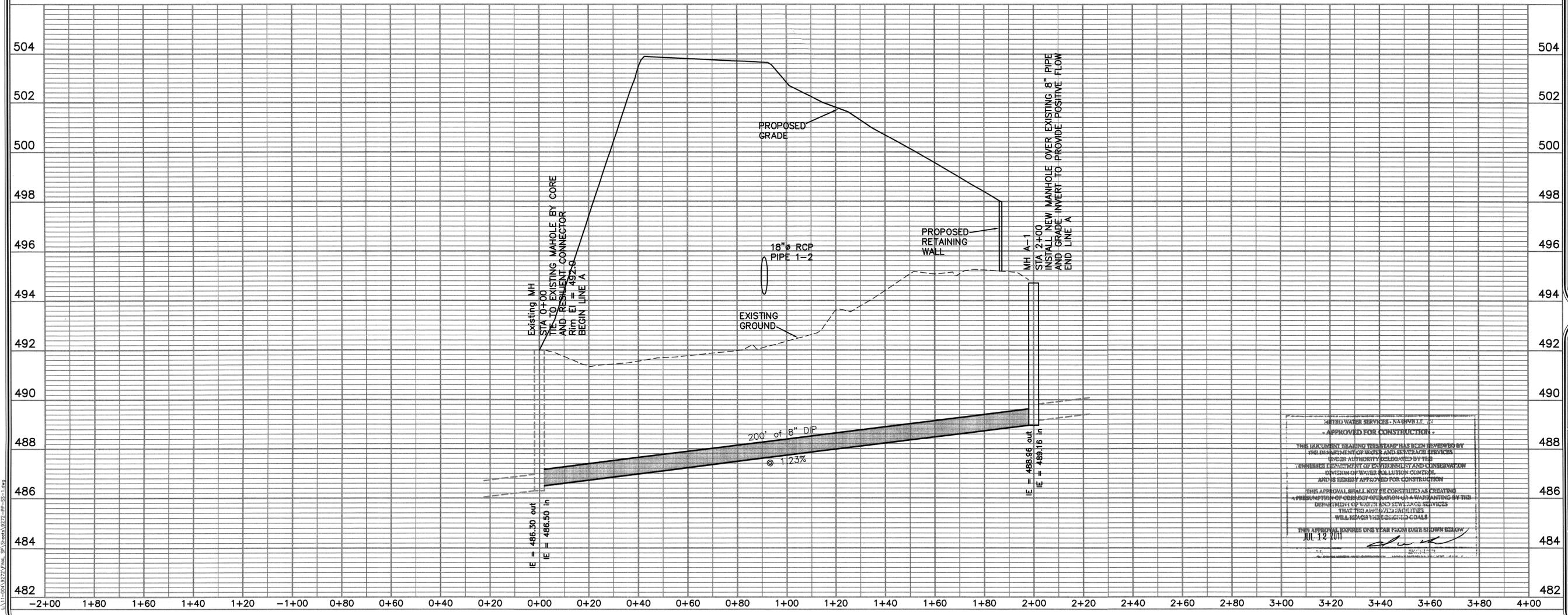
DATE:	April 14, 2011
DESIGNED:	B. Slayden
DRAWN:	B. Strum
SCALE:	1" = 20'
JOB NO.	11-004
WK. ORDER NO.	9272

**SITE UTILITY PLAN**  
**C6.1**



IF YOU DIG TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW

SCALES:  
PLAN VIEW 1" = 20'  
PROFILE VIEW 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



METRO WATER SERVICES - NASHVILLE, TN  
APPROVED FOR CONSTRUCTION

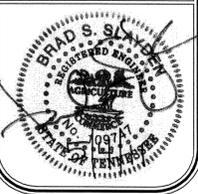
THIS DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE DEPARTMENT OF WATER AND SEWERAGE SERVICES (THE "INCH" AUTHORITY) DELEGATED BY THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DIVISION OF WATER POLLUTION CONTROL AND IS HEREBY APPROVED FOR CONSTRUCTION

THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING A PRESUMPTION OF CORRECT OPERATION OR A WARRANTY BY THE DEPARTMENT OF WATER AND SEWERAGE SERVICES THAT THE ABOVE'S FACILITIES WILL REACH THE DESIGN GOALS

THIS APPROVAL EXPIRES ONE YEAR FROM DATE SHOWN BELOW

JUL 12 2011

**RAGAN SMITH**  
LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS  
RAGAN SMITH ASSOCIATES, INC.  
315 WOODLAND ST., P.O. BOX 60070 NASHVILLE, TN 37206  
(615) 244-8891 FAX (615) 244-6739 WWW.RAGANSMITH.COM



MADISON, TN.  
**DOLLAR GENERAL**  
TURNER AND ASSOCIATES REALTY INC.,  
4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

DATE:	April 14, 2011
DESIGNED:	B. Slayden
DRAWN:	B. Strom
SCALE:	As Noted
JOB NO.:	WK. ORDER 11-004
REVISIONS:	9272

SANITARY SEWER  
PLAN & PROFILE  
LINE "A"

C6.2

MWS # 11-SL-62

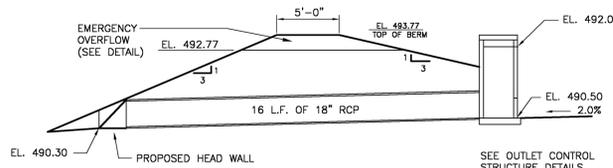
7/8/2011 11:08:16 AM C:\EDUORUM\LAB-QUEUES\local\fullbond\gef\_da\LOCAL\FULL\_BOND\_63182\_11004\_9272\_00\_9272-pp-ss-1-06-2\_bcs.plt

L:\11-004\9272\DWG\_S\Sheet\9272-pp-ss-1.dwg

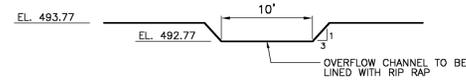


**DETENTION POND  
CONSTRUCTION SPECIFICATIONS**

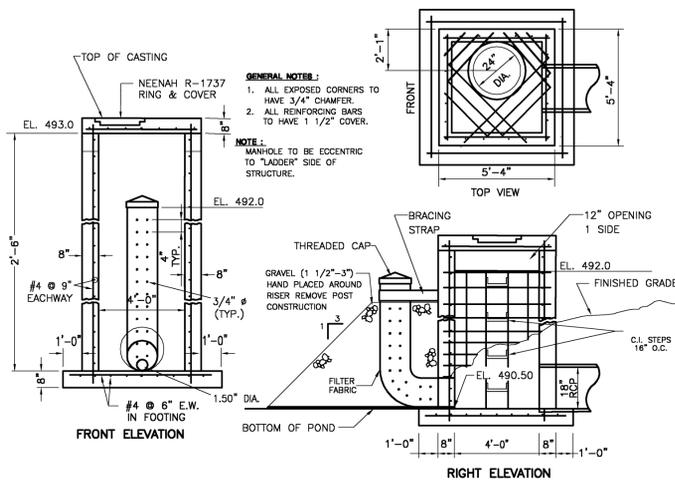
- AREAS UNDER THE EMBANKMENT OR ANY STRUCTURAL WORKS RELATED TO THE BASIN SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, OR OTHER OBJECTIONAL MATERIAL. IN ORDER TO FACILITATE CLEAN OUT AND RESTORATION, THE AREA OF MOST FREQUENT INUNDATIONS (MEASURED FROM THE TOP OF THE PRINCIPAL SPILLWAY) WILL BE CLEARED OF ALL BRUSH AND TREES.
- THE PLACING AND SPREADING OF EMBANKMENT MATERIALS IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS. SAID MATERIALS IS TO BE FREE OF SOD, ROOTS, FROZEN SOIL OR ANY OTHER DECOMPOSABLE MATERIAL. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF STANDARD PROCTOR TEST IN ALL AREAS.
- FOR EARTH-FILL EMBANKMENTS, A CUTOFF TRENCH SHALL BE EXCAVATED ALONG THE CENTER-LINE OF THE DAM. THE TRENCH MUST EXTEND AT LEAST ONE FOOT INTO A STABLE, IMPERVIOUS LAYER OF SOIL AND HAVE A MINIMUM DEPTH OF TWO FEET. THE CUTOFF TRENCH SHALL EXTEND UP BOTH ABUTMENTS TO THE RISER CREST ELEVATION. THE MINIMUM BOTTOM WIDTH SHALL BE FOUR FEET, BUT ALSO MUST BE WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT. THE SIDE SLOPES SHALL BE NO STEEPER THAN 1:1. COMPACTION REQUIREMENTS BE THE SAME AS THOSE FOR THE EMBANKMENT. THE TRENCH SHALL BE DRAINED DURING THE BACKFILLING/COMPACTION OPERATIONS.
- THE EMBANKMENT OF THE DETENTION POND SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATION IMMEDIATELY AFTER INSTALLATION OF THE BASIN.
- ALL STATE AND LOCAL REQUIREMENTS SHALL BE MET CONCERNING FENCING AND SIGNS WARNING THE PUBLIC OF THE HAZARDS OF SOFT, SATURATED SEDIMENT AND FLOOD WATER.



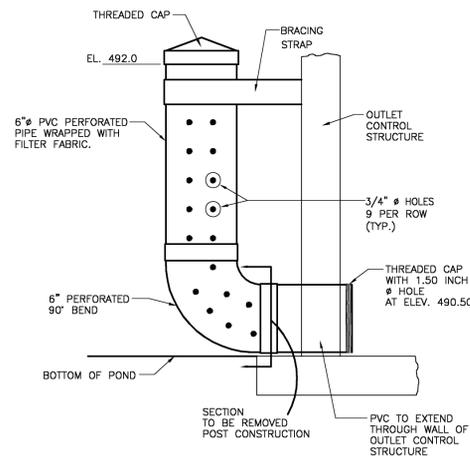
**BERM/OUTLET DRAINAGE SECTION**  
NOT TO SCALE



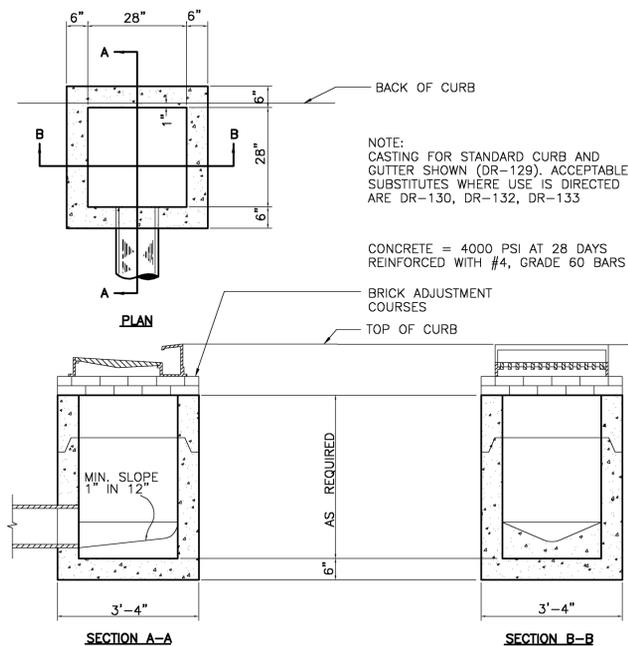
**EMERGENCY OVERFLOW DETAIL**  
NOT TO SCALE



**WATER QUALITY  
OUTLET CONTROL STRUCTURE**  
NOT TO SCALE

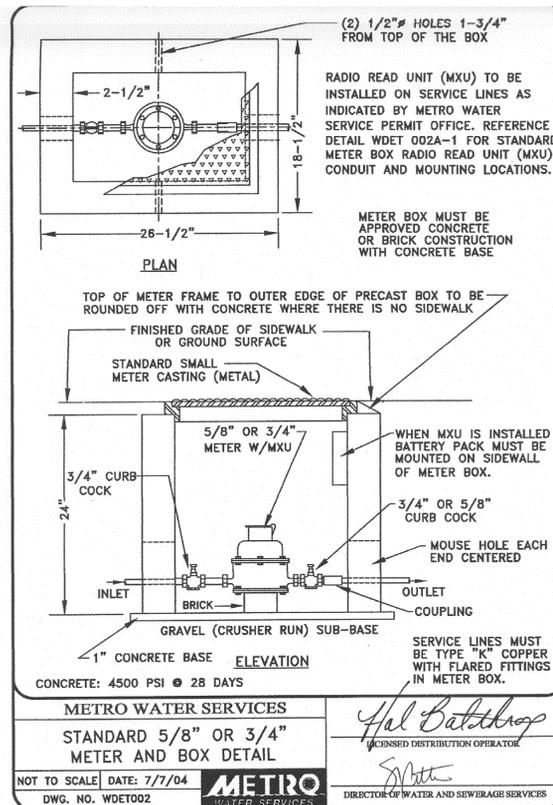


**WATER QUALITY RISER DETAIL**  
NOT TO SCALE



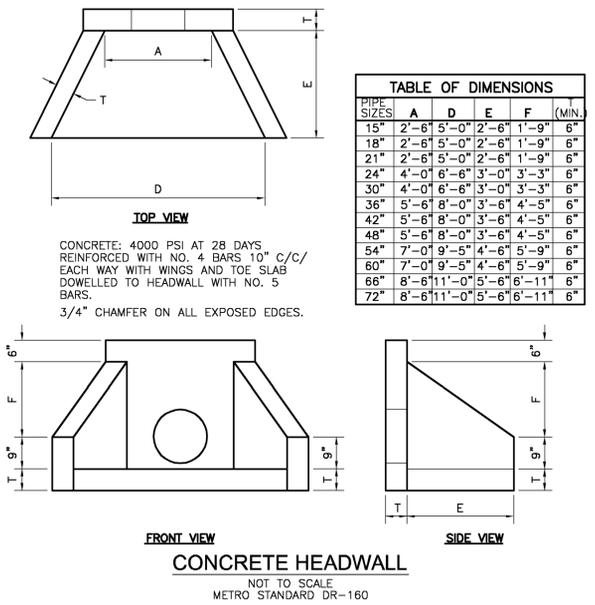
**SINGLE INLET (PRECAST)**  
NOT TO SCALE

- NOTES:**
- "PIPE ZONE" EXTENDS TO 12" ABOVE TOP OF PIPE AND IS AREA IN WHICH SPECIAL CARE IS TO BE GIVEN TO PLACEMENT AND COMPACTION TO PROTECT PIPE DURING AND AFTER LAYING.
  - LIMIT TRENCH WIDTH AT TOP OF PIPE TO NOMINAL PIPE DIAMETER PLUS 24", UNLESS PERMITTED OTHERWISE BY ENGINEER.
  - TRENCH SHALL BE DUG TO GIVE PIPE FULL AND CONTINUOUS SUPPORT. ALL ROCK TO BE REMOVED TO WITHIN 6" OF PIPE BED. BEDDING FROM PIPE TO 1/2 PIPE DIAMETER TO BE CRUSHED STONE.
  - PIPE IS TO BE CONTINUOUSLY SUPPORTED ALONG LENGTH OF PIPE BARREL EXCEPT AT BELLS. BELL HOLES ARE SUCH THAT NO BEARING LOAD IS TAKEN BY THE BELL.



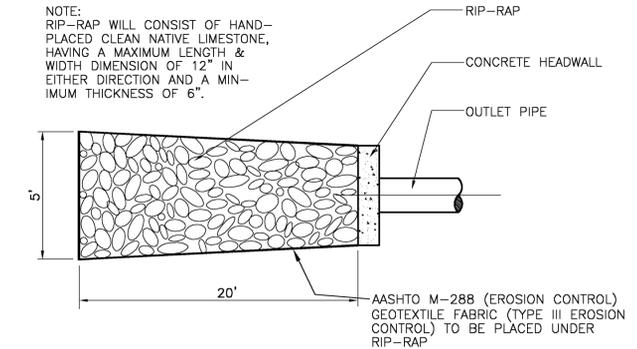
**METRO WATER SERVICES**  
STANDARD 5/8" OR 3/4"  
METER AND BOX DETAIL  
NOT TO SCALE DATE: 7/7/04  
DWG. NO. WDET002

*Hal Balthus*  
LICENSED DISTRIBUTION OPERATOR  
*Smith*  
DIRECTOR OF WATER AND SEWERAGE SERVICES

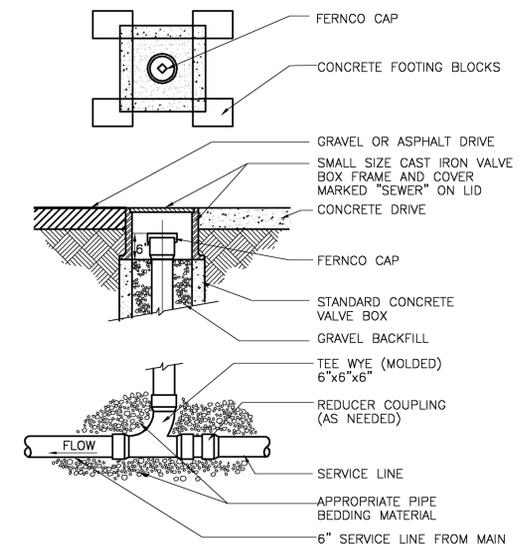


**CONCRETE HEADWALL**  
NOT TO SCALE  
METRO STANDARD DR-160

PIPE SIZES	A	D	E	F	(MIN)
15"	2'-6"	5'-0"	2'-6"	1'-9"	6"
18"	2'-6"	5'-0"	2'-6"	1'-9"	6"
21"	2'-6"	5'-0"	2'-6"	1'-9"	6"
24"	4'-0"	6'-6"	3'-0"	3'-3"	6"
30"	4'-0"	6'-6"	3'-0"	3'-3"	6"
36"	5'-6"	8'-0"	3'-6"	4'-5"	6"
42"	5'-6"	8'-0"	3'-6"	4'-5"	6"
48"	5'-6"	8'-0"	3'-6"	4'-5"	6"
54"	7'-0"	9'-5"	4'-6"	5'-9"	6"
60"	7'-0"	9'-5"	4'-6"	5'-9"	6"
66"	8'-6"	11'-0"	5'-6"	6'-11"	6"
72"	8'-6"	11'-0"	5'-6"	6'-11"	6"



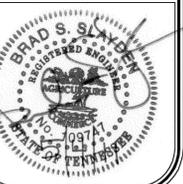
**RIP-RAP DETAIL**  
NOT TO SCALE  
METRO BMP TCP-20



- NOTES:**
- ALL FITTINGS AND LINES TO BE PVC. SOLVENT WELD (SDR-33).
  - WHEN SERVICE LINE FROM MAIN LINE IS 4", ALL FITTINGS AND LINES TO BE 4".

**TRAFFIC BEARING CLEAN OUT**  
NOT TO SCALE

**RAGAN SMITH**  
LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS  
RAGAN SMITH ASSOCIATES, INC.  
316 WOODLAND ST. P.O. BOX 6070 NASHVILLE, TN 37206  
(615) 244-4891 FAX (615) 244-4759 WWW.RAGANSMITH.COM



MADISON, TN.  
**DOLLAR GENERAL**  
TURNER AND ASSOCIATES REALTY INC.  
4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

DATE:	April 12, 2011
DESIGNED:	B. Slayden
DRAWN:	B. Shrum
SCALE:	As Noted
JOB NO.	WK ORDER 9272
REVISIONS	11-004

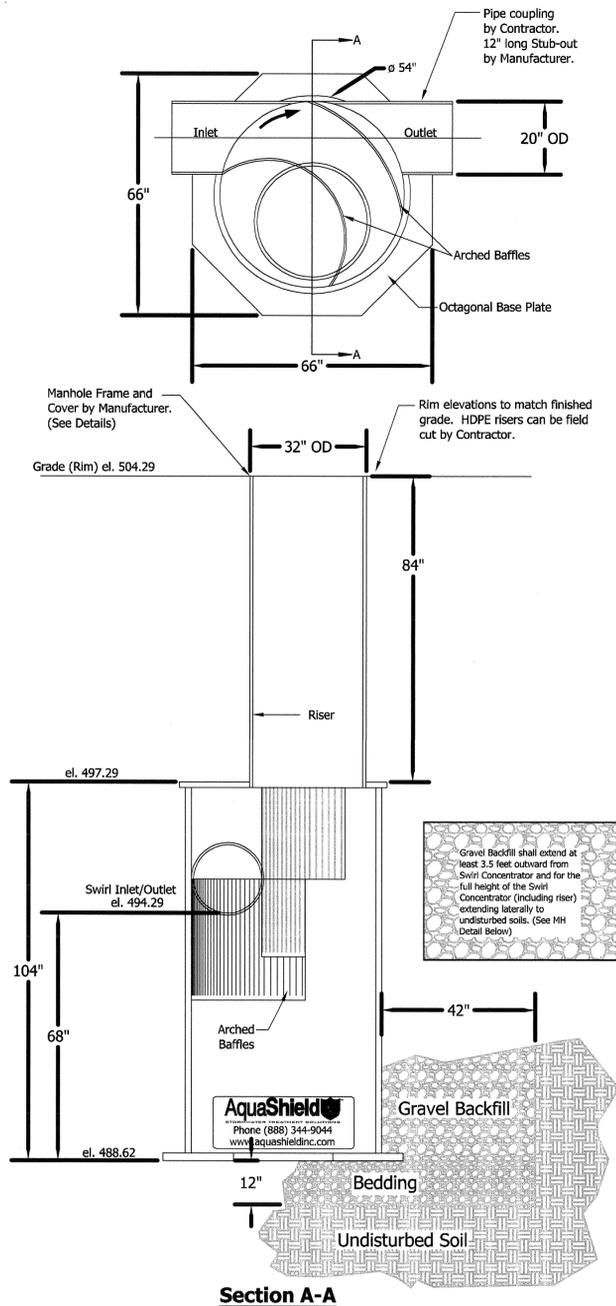
**CONSTRUCTION  
DETAILS**

**C7.2**

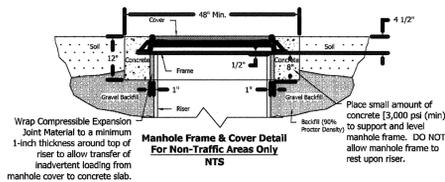
**GENERAL NOTES:**

- System shall be designed for the following capacities:  
Peak Treatment Flow: 3.2 cfs  
Sediment Storage: 32 ft<sup>3</sup>  
Oil/Debris Storage: 190 gal.
- Manufacturer shall be responsible for complete assembly of Swirl Concentrator.
- Swirl Concentrator shall be fabricated from high-density polyethylene (HDPE) ASTM F 714 cell class 345464C per ASTM D 3350.
- HDPE stub outs and internal components shall be extrusion welded using accepted welding practices. Stub outs shall be supplied by Manufacturer and welded on inside and outside.
- Manufacturer shall supply direct access to Swirl Concentrator via 30-inch ID riser, which can be field cut to match finished grade by Contractor.
- Contractor shall supply pipe couplings to and from Swirl Concentrator, which shall be Mar-Mac, Fernco, or Mission style neoprene boot with stainless steel tension bands and shear guard.
- Contractor shall prepare excavation and off-load Swirl Concentrator. Contractor is responsible for bedding and backfill around Swirl Concentrator as detailed on site plan. (see notes 11 and 12)
- Manufacturer shall supply standard manhole frame and cover. (Traffic rated H20)
- Where traffic loading (H-20) is required or anticipated, a concrete pad must be placed over the Swirl Concentrator. For Systems where the depth from grade to the top of the Swirl Concentrator chamber (riser length) is greater than the radius (half the diameter) of the chamber, a 5-foot x 5-foot concrete pad must be placed over the Swirl Concentrator to support and level the manhole frame. For shallower burials (riser length less than the chamber radius), a reinforced concrete pad must be placed over the entire Swirl Concentrator per concrete design as calculated by Engineer. Sample of typical concrete design detail is available upon request.
- Bollards shall be placed around access risers in non-traffic areas to prevent inadvertent loading by maintenance vehicles. Sample of typical bollard installation detail and recommended locations of bollards around the Swirl Concentrator can be provided upon request.
- Excavation and Bedding - The trench and trench bottom shall be constructed in accordance with ASTM D 2321, Section 6, Trench Excavation, and Section 7, Installation. The HDPE Swirl Concentrator shall be installed on a stable base consisting of 12-inches of Class I stone materials (angular, crushed stone or rock, crushed gravel; large void content, contains little or no fines) as defined by ASTM D 2321, Section 5, Materials, and compacted to 95% proctor density. All required safety precautions for Swirl Concentrator installation are the responsibility of the Contractor.
- Backfill Requirements - Backfill materials shall be Class I or II stone materials, (well graded gravels, gravelly sands; contains little or no fines) as defined by ASTM D 2321, Section 5, Materials, and compacted to 90% proctor density. Class I materials are preferred. Backfill and bedding materials shall be free of debris. Backfilling shall conform to ASTM F 1759, Section 4.2, "Design Assumptions". Backfill shall extend at least 3.5 feet outward from Swirl Concentrator and for the full height of the Swirl Concentrator (including riser) extending laterally to undisturbed soils.

SIGNED APPROVED DRAWING REQUIRED BEFORE START OF MANUFACTURING DATE: \_\_\_\_\_  
 APPROVED  
 APPROVED AS NOTED  
 REVISE & RESUBMIT



Unless other traffic barriers are present, bollards shall be placed around access riser(s) in non-traffic areas to prevent inadvertent loading by maintenance vehicles.



**AquaShield**  
 2705 Karasita Drive, Chattanooga, TN 37343  
 Phone (888) 344-9044 Fax (423) 826-2112  
 www.aquashieldinc.com

Aqua-Swirl Concentrator  
 Model AS-4 CFD STR #2  
 Dollar General - Gallatin Pk  
 Madison, TN - Project #08146

Document:	AS-4 SHOP	Rvw'd	Rvw. Date	Rev. Date	Description of Revision
Drawn By:	JCW				
Scale:	1:30				
Date:	07/18/11				
U.S. Patent No. 6524473 and other Patent Pending					

**RAGAN • SMITH**  
 LAND PLANNERS • CIVIL ENGINEERS  
 LANDSCAPE ARCHITECTS • SURVEYORS  
 RAGAN • SMITH • ASSOCIATES, INC.  
 315 WOODLAND ST. P. O. BOX 60070 NASHVILLE, TN 37206  
 (615) 244-8891 FAX (615) 244-6789 WWW.RAGANSMITH.COM

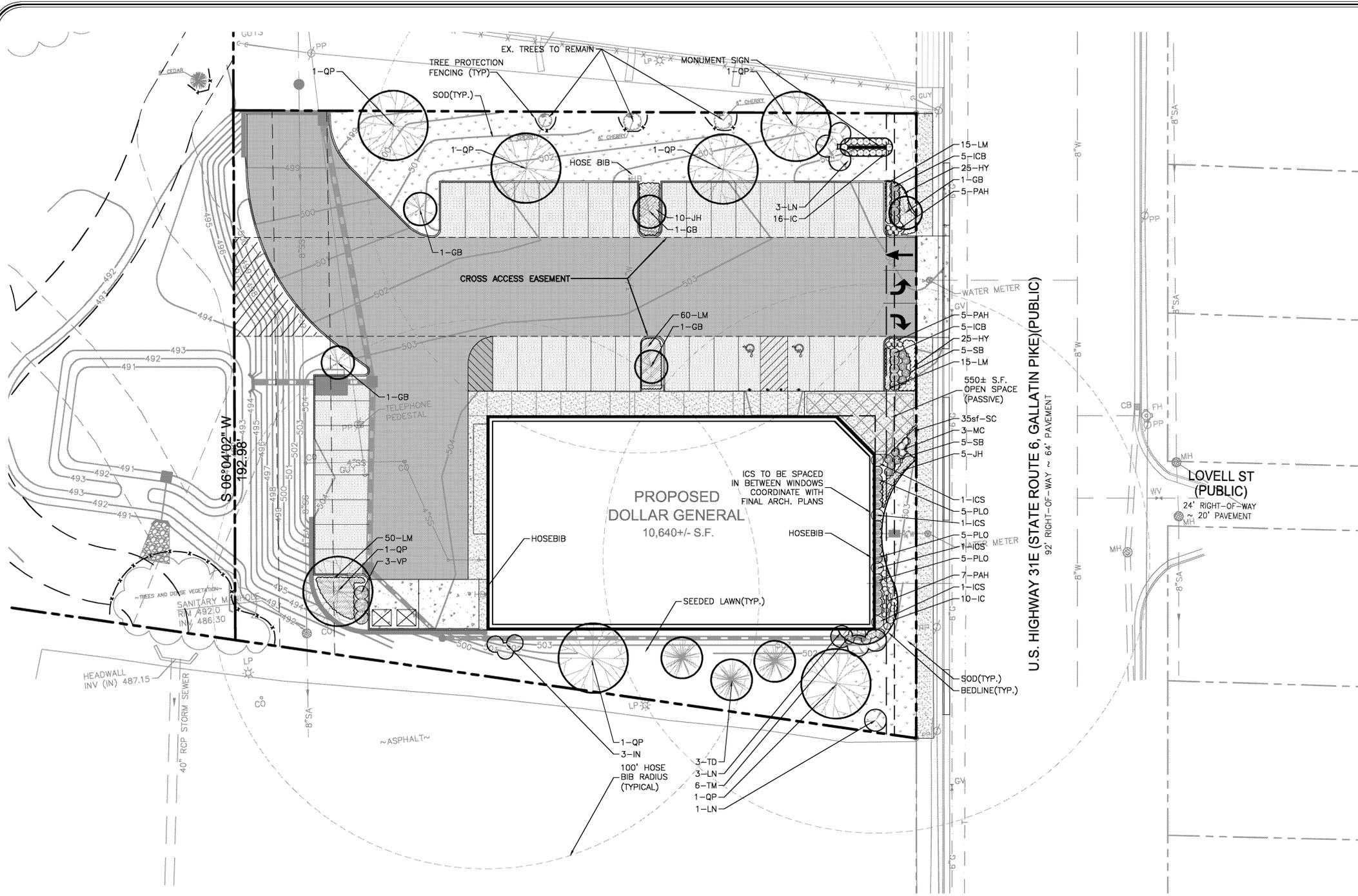


MADISON, TN.  
**DOLLAR GENERAL**  
 TURNER AND ASSOCIATES REALTY INC.  
 4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

DATE:	April 12, 2011
DESIGNED:	B. Slayden
DRAWN:	B. Shrum
SCALE:	As Noted
JOB NO.:	WK ORDER
11-004	9272

WATER QUALITY NOTES & DETAILS

C7.3



**SITE DATA:**

**PROPERTY INFORMATION:**  
 SITE APPLICATION NUMBER: 2011SP-007-002  
 COUNCIL DISTRICT NUMBER: 4th  
 DISTRICT COUNCIL MEMBER: MICHAEL CRADDOCK  
 SP NAME: DOLLAR GENERAL  
 PLAN PREPARATION DATE: APRIL 14, 2011  
 PARCEL/S ACREAGE: 3.40 AC.± (147,908 S.F.)  
 EX. BUILDING S.F. / USE: 3,505 S.F.± / BANK  
 TAX MAP: 043-09  
 PARCELS: 2.00  
 STREET ADDRESS: 601 GALLATIN PIKE N., MADISON, TN 37115

**OWNER/DEVELOPER:** TURNER & ASSOCIATES REALTY INC.  
 MONTE TURNER  
 P.O. BOX 150326  
 NASHVILLE, TN 37215  
 (615) 383-7878  
 (615) 383-9878 FAX

**PROJECT LANDSCAPE ARCHITECT:** MR. SCOTTY M. BERNICK, R.L.A.  
 RAGAN-SMITH-ASSOCIATES, INC.  
 315 WOODLAND STREET  
 NASHVILLE, TN 37206  
 (615) 244-8591  
 (615) 244-6739 FAX

**ZONING INFORMATION:**  
 ZONING CLASSIFICATION: SP-C (1.21± AC.)

**PROPOSED SITE:**  
 EFFECTIVE ISR ALLOWED: .87 (.9 x ADJ. FACTORS) ★ CRITICAL LOT  
 .66 (BLDG: .20 / WALKS: .04 / DRIVE: .42)  
 (PERVIOUS: 17,509S.F. / IMPERVIOUS: 35,012S.F.)  
 550± S.F. (PASSIVE)  
 .20 (10,640± S.F./52,521± S.F.)

**OPEN SPACE:**  
 BUILDING SETBACKS:  
 FRONT: 11' FROM GALLATIN PIKE R.O.W. (AS SHOWN)  
 REAR: 3' FROM GALLATIN PIKE R.O.W. RESERVATION  
 SIDES: 20'  
 0'

**DEVELOPMENT SCHEDULE:**  
 START: AUGUST 2011  
 END: DECEMBER 2011

**TREE DENSITY WORKSHEET:**  
 MAP/PARCEL: 043-09 / 2.00  
 APPLICATION NUMBER: #72011-15760  
 EXCAVATION PERMIT NUMBER: #72011-00062  
 PROJECT NAME: DOLLAR GENERAL - MADISON, TN  
 ADDRESS: 601 GALLATIN PIKE, MADISON, TN, 37115

1. ACREAGE (AREA OF BLDG. SITE): 3.40 ACRES  
 2. MINUS BUILDING COVERAGE AREA: -.24 ACRES  
 3. EQUALS ADJUSTED ACREAGE: 3.16 ACRES  
 4. MULTIPLIED BY REQ. TDU/ACRE: x14  
 5. EQUALS REQ. TDU/PROJECT: 44.24

PROTECTED TREES (6" DBH+)	DBH	# OF TREES	VALUE	UNITS
6	2	x	1.2	= 2.4

REPLACEMENT TREE SCHEDULE	DBH	# OF TREES	VALUE	UNITS
2	13	x	0.5	= 6.5
3	12	x	0.6	= 7.2

**DENSITY UNITS PROVIDED ON ABOVE SCHEDULES:**  
 TOTAL TDU FOR PROTECTED TREES: 2.4 UNITS\*\*\*  
 TOTAL TDU FOR NEW TREES: 13.7 UNITS  
 TOTAL TDU PROVIDED: 16.1 UNITS

\* TREE REMOVAL OF 6" & ABOVE DBH REQUIRES TREE REMOVAL PERMIT.  
 \*\*\* THE REMAINING TREE DENSITY UNITS ARE BEING MET BY AN ABUNDANCE OF EXISTING TREES ON THE PROPERTY WHICH LIE TO THE WEST OF THE PROPOSED DEVELOPMENT AREA. SHOULD FUTURE DEVELOPMENT OCCUR ON THE REMAINING PORTION OF THE PROPERTY, LANDSCAPING & IRRIGATION SHALL BE MET IN ACCORDANCE WITH THE CITY OF METRO'S ORDINANCE/REQUIREMENTS.

**PAVEMENT LEGEND:**

- CONCRETE PAVEMENT
- CONCRETE WALK
- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- SOD

**LANDSCAPE SCHEDULE**

KEY	QTY	BOTANICAL NAME/COMMON NAME	TYPE	SIZE/HT.	SPREAD	SPACING	REMARKS
<b>CANOPY TREES</b>							
GB	6	Ginkgo biloba 'Fastigiata' / Fastigiata Ginkgo (Male Cultivar)	Deciduous	3" Cal./14-16Ht.	Specimen	AS SHOWN	B & B, 6' clear trunk, MALE
QP	7	Quercus phellos / Willow Oak	Deciduous	3" Cal./14-16Ht.	Specimen	AS SHOWN	B & B, 6' clear trunk
TD	3	Taxodium distichum / Bald Cypress	Deciduous	2" Cal./12-14Ht.	Specimen	AS SHOWN	B & B, Well Matched
<b>UNDERSTORY TREES</b>							
IN	3	Ilex 'Nellie R. Stevens' / Nellie R. Stevens Holly	Evergreen	2" Cal./7-8Ht.	Specimen	AS SHOWN	B & B, 6' ht. min., full to base
LN	7	Lagerstroemia indica 'Natchez' / Natchez Crape Myrtle	Deciduous	2" Cal./7-8Ht.	Specimen	AS SHOWN	B & B, Multi-Stem (31.5" Lmba min.)
<b>SHRUBS</b>							
IC	26	Ilex crenata 'Helleri' / Helleri Holly	Evergreen	12" ht.	18"	30" O.C.	B & B or container, full
ICB	10	Ilex cornuta 'Dwarf Burford' / Dwarf Burford Holly	Evergreen	24" ht.	24"	30" O.C.	B & B or container, full
ICS	4	Ilex crenata 'Steads' / Steads Japanese Holly	Evergreen	3' ht.	24"	AS SHOWN	B & B or container, full
PLO	15	Prunus laurocerasus 'Otto Luyken' / Otto Luyken Laurel	Evergreen	18" ht.	24"	36" O.C.	B & B or container, full
SB	10	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea	Deciduous	18" ht.	18"	30" O.C.	B & B or container, full
TM	6	Taxus x media 'Densiformis' / Dense Spreading Yew	Evergreen	24" ht.	30"	36" O.C.	B & B or container, full
VP	3	Viburnum pragnense / Pragnes Viburnum	Evergreen	30" ht.	24"	42" O.C.	B & B or container, full
<b>GROUND COVER / PERENNIAL / ORNAMENTAL GRASS</b>							
HY	50	Hypericum calycinum / St. John's Wort	Deciduous	4" Pot	-	-	18" O.C.
JH	15	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	Evergreen	# 3	-	-	3" O.C.
LM	140	Liriope muscari / Liriope	Evergreen	4" Pot	-	-	18" O.C.
MC	3	Muhlenbergia capillaris / Pink Muhly Grass	Deciduous	# 3	-	-	30" O.C.
PAH	17	Pennisetum alopecuroides 'Hameln' / Dwarf Hamel Grass	Deciduous	# 1	-	-	18" O.C.
SC	35sf	Seasonal Color by Owner (Quantity in Square Feet)					

Note: Caliper measurements on Multi-Stem trees to be measured by the following method: the caliper shall be interpreted to be equal to one-half of the total calipers of up to the three largest trunks/stems.

**RAGAN-SMITH**  
 LAND PLANNERS • CIVIL ENGINEERS  
 LANDSCAPE ARCHITECTS • SURVEYORS  
 RAGAN-SMITH ASSOCIATES, INC.  
 315 WOODLAND ST. P.O. BOX 60070 NASHVILLE, TN 37206  
 (615) 244-8591 FAX (615) 244-6739 WWW.RAGANSMITH.COM

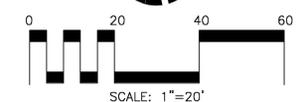
SCOTT MICHAEL BERNICK  
 LANDSCAPE ARCHITECT  
 315 WOODLAND ST. P.O. BOX 60070 NASHVILLE, TN 37206  
 (615) 244-8591 FAX (615) 244-6739 WWW.RAGANSMITH.COM

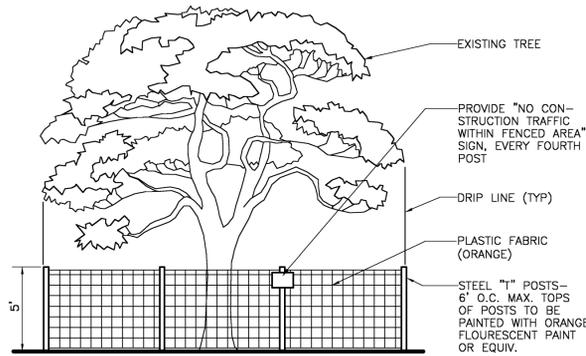
MADISON, TN.  
**DOLLAR GENERAL**  
 TURNER AND ASSOCIATES REALTY INC.  
 4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

DATE: April 14, 2011  
 DESIGNED: S. Bemick  
 DRAWN: D. Kirsham  
 SCALE: 1"=20'  
 JOB NO. WK. ORDER 11-004 9272  
 REVISIONS

IF YOU DIG TENNESSEE...  
 CALL US FIRST!  
 1-800-351-1111  
 1-615-366-1987  
 TENNESSEE ONE CALL  
 IT'S THE LAW

LANDSCAPE PLAN  
**L1.1**





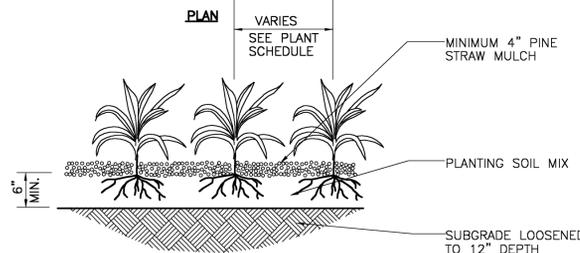
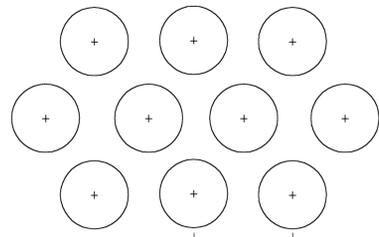
**TREE PROTECTION DETAIL**

NOT TO SCALE

**NOTE:**

ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT.

EXISTING TREE  
 PROVIDE "NO CONSTRUCTION TRAFFIC WITHIN FENCED AREA" SIGN, EVERY FOURTH POST  
 DRIP LINE (TYP)  
 PLASTIC FABRIC (ORANGE)  
 STEEL "1" POSTS-6" O.C. MAX. TOPS OF POSTS TO BE PAINTED WITH ORANGE FLOURESCENT PAINT OR EQUIV.



**GROUNDCOVER PLANTING**

NOT TO SCALE

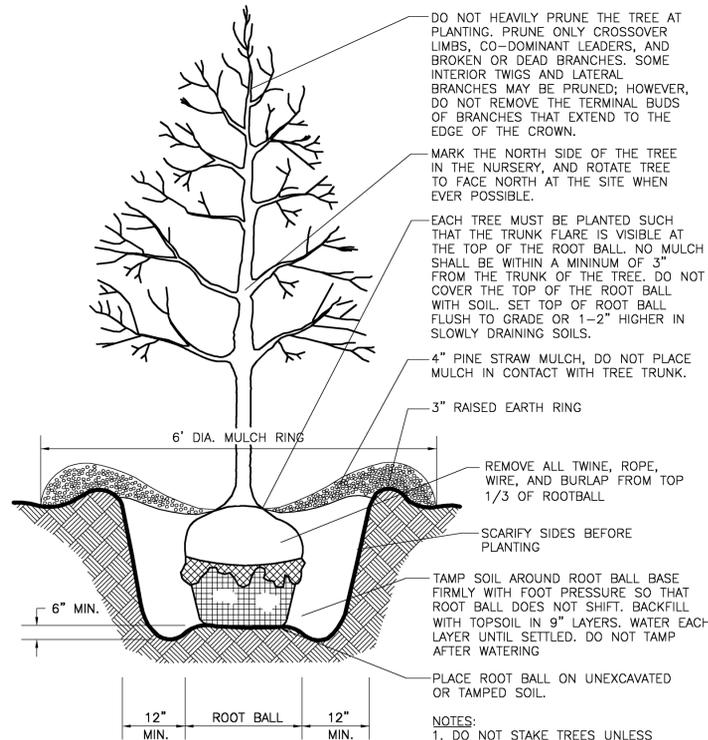
**LANDSCAPE NOTES:**

- PROVISIONS FOR LOCAL AND/OR REGIONAL REQUIREMENTS, INCLUDING IRRIGATION, ARE NOT SHOWN ON THESE DRAWINGS. DEVELOPER SHALL PROVIDE LANDSCAPING IN ACCORDANCE WITH JURISDICTION REQUIREMENTS.
- ALL SOIL USED FOR PLANTING SHALL CONSIST OF REGIONALLY APPROPRIATE SOILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 4" DEPTH OF MULCH, WITH EDGING AS REQUIRED.
- ALL TREES LOCATED IN SOD AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING AS REQUIRED.
- ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTINGS.
- PRIOR TO FINAL ACCEPTANCE OF STORE BY DOLLAR GENERAL, THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH, AND MEET ALL REQUIREMENTS OUTLINED IN SECTIONS A-C ABOVE.
- MAXIMUM SLOPE CUTS SHALL NOT EXCEED 4:1. ALL DISTURBED GRADES GREATER THAN 8:1 SHALL BE STABILIZED BY SODDING. SODDING PINS ARE TO BE USED ON ALL 4:1 GRADES.
- ALL PLANT SIZES ARE MINIMUMS. NO SUBSTITUTIONS ALLOWED WITHOUT CONSULTING THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO SUBMIT A COMPLETED CHECKLIST (SEE BELOW) TO THE LANDSCAPE ARCHITECT AFTER INSTALLATION IS COMPLETE (SEE COVER SHEET ON COMPLETE SET OF CONSTRUCTION PLANS FOR CONTACT INFORMATION). METRO NASHVILLE'S URBAN FORESTER WILL USE THE FOLLOWING CHECKLIST DURING THE CITY'S LANDSCAPE INSPECTION. ALL ITEMS MUST BE ADDRESSED BY CONTRACTOR BEFORE THE CITY WILL SIGN-OFF ON THE PROJECT.

**URBAN FORESTRY INSPECTION REPORT**

Designer	Permit#	Date
----------	---------	------

Was the approved landscape plan followed? (Such as correct species, quantities, calipers, and heights) If NO, please submit revised plan for review and approval	YES	NO	N/A
Was tree protection used and is it still in place?	YES	NO	N/A
Is all plant material properly installed? (e.g. root twine and crown ties removed)	YES	NO	N/A
Are the trees & shrubs planted at the correct depth?	YES	NO	N/A
Is the root flare visible on the trees?	YES	NO	N/A
Is mulch less than 4" deep and not "volcanoed"?	YES	NO	N/A
Are all packing materials removed?	YES	NO	N/A
If trees were staked, is there proof of U.F. permission?	YES	NO	N/A
Are all parking lot lights at least 15' from any tree?	YES	NO	N/A
Are there any powerline & tree conflicts?	YES	NO	N/A
If any dumpsters were installed, are they screened properly? (Opaque wall or fence)	YES	NO	N/A
Is irrigation installed? (requirement for townhomes/condos)	YES	NO	N/A
Are hose-bibs installed?	YES	NO	N/A



**TREE PLANTING**

NOT TO SCALE

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. NO MULCH SHALL BE WITHIN A MINIMUM OF 3" FROM THE TRUNK OF THE TREE. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL. SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2" HIGHER IN SLOWLY DRAINING SOILS.

4" PINE STRAW MULCH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.

3" RAISED EARTH RING

6" DIA. MULCH RING

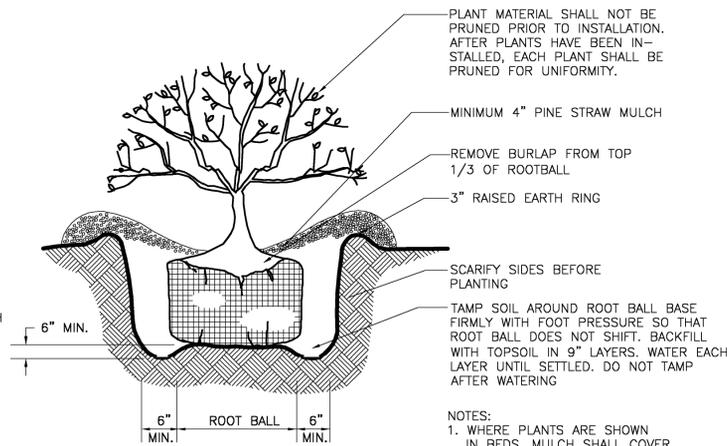
REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP 1/3 OF ROOTBALL

SCARIFY SIDES BEFORE PLANTING

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT. BACKFILL WITH TOPSOIL IN 9" LAYERS. WATER EACH LAYER UNTIL SETTLED. DO NOT TAMP AFTER WATERING

PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

- NOTES:**
- DO NOT STAKE TREES UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. IF STAKED, REMOVE AFTER ONE GROWING SEASON.
  - DO NOT WRAP TREE TRUNKS UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. REMOVE WRAP AFTER PLANTING.
  - NON-BIODEGRADABLE BURLAP TO BE REMOVED OR ROLLED UNDER ROOT BALL AFTER PLANT IS PLACED IN HOLE.



**SHRUB PLANTING**

NOT TO SCALE

PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION. AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED FOR UNIFORMITY.

MINIMUM 4" PINE STRAW MULCH

REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL

3" RAISED EARTH RING

SCARIFY SIDES BEFORE PLANTING

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT. BACKFILL WITH TOPSOIL IN 9" LAYERS. WATER EACH LAYER UNTIL SETTLED. DO NOT TAMP AFTER WATERING

- NOTES:**
- WHERE PLANTS ARE SHOWN IN BEDS, MULCH SHALL COVER ENTIRE BED AS DENOTED ON THE PLANS.
  - CONTAINER GROWN PLANT MATERIAL MAY BE SUBSTITUTED FOR BURLAP MATERIAL.

**PLANTING NOTES:**

- ANY SERIES OF TREES TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. ANY PLANTS MISARRANGED WILL BE RELOCATED.
- SOIL USED IN BACKFILLING PLANTING BEDS SHALL BE TOPSOIL AND MIXED WITH 25% PEAT BY VOLUME, EXCEPT FOR ERICACEOUS PLANTS, VERY ACID OR SOUR SOIL (SOIL HAVING A pH LESS THAN 6) SHALL BE MIXED WITH SUFFICIENT LIME TO PRODUCE A SLIGHTLY ACID REACTION (A pH OF 6.0 TO 6.5). 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 2 POUNDS PER CUBIC YARD SHALL BE ADDED. BOTH FERTILIZER AND PEAT SHALL BE THOROUGHLY MIXED BY HAND OR ROTARY TILLER.
- SOIL USED IN BACKFILLING ERICACEOUS PLANTS SHALL BE TOPSOIL MIXED WITH 50% PEAT BY VOLUME. 5-10-5 COMMERCIAL FERTILIZER AT THE RATE OF 5 POUNDS PER CUBIC YARD SHALL BE ADDED. BOTH FERTILIZER AND PEAT SHALL BE THOROUGHLY MIXED BY HAND OR ROTARY TILLER.
- UPON SECURING PLANT MATERIAL, AND BEFORE INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT FOR A PRE-INSTALLATION INSPECTION IN ORDER TO VERIFY ALL PLANT MATERIAL MEETS SPECIFICATIONS. TREES OF SAME SPECIES TO BE MATCHED IN GROWTH CHARACTER AND UNIFORMITY.
- HERBICIDE (TRIFLUR OR EQUIVALENT) SHALL BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL AT A RATE OF 2 POUNDS PER 1,000 SQUARE FEET.
- CONTRACTOR SHALL SUBMIT A 10 QUINCE SAMPLE OF THE TOPSOIL PROPOSED TO A TESTING LABORATORY FOR ANALYSIS. TEST RESULTS, WITH RECOMMENDATIONS FOR SUITABILITY, SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.
- PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE AND VERTICAL. ALL NON-BIODEGRADABLE ROOT CONTAINERS SHALL BE REMOVED.
- TREE BRANCHES SHALL BE SELECTIVELY TRIMMED BY 25%, MAINTAINING NATURAL SHAPE. ALL DEAD AND BROKEN BRANCHES IN TREES AND SHRUBS SHALL ALSO BE PRUNED. REMOVE TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIAL.
- SCARIFY SUBSOIL IN PLANTING BEDS TO A DEPTH OF 3 INCHES. ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL.
- CONTRACTOR SHALL PROVIDE SMOOTH, NEATLY TRENCHED (3 INCH DEEP) BED EDGES.
- ALL PLANTING BEDS TO HAVE A MINIMUM 4 INCH DEEP PINE STRAW MULCH. DIMENSIONS FOR TRUNK CALIPER, HEIGHTS, AND SPREAD SPECIFIED ON THE MATERIAL SCHEDULE ARE A GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT. QUALITY & SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH A.N.S.I. Z80 "AMERICAN STANDARD FOR NURSERY STOCK" (CURRENT EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLAN WILL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
- CONTRACTOR TO WARRANTY ALL MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.

**GRADING NOTES:**

- CONTRACTOR TO GRADE ALL AREAS SHADED IN THE PLAN.
- TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
- TILL SOIL TO A DEPTH OF 4" MINIMUM.
- REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
- GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
- ALL GRADED AREAS TO RECEIVE SEED OR SOD, TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- REFER TO SHEET C2 FOR MAXIMUM SLOPES.

**LAWN SEEDING NOTES:**

- SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND. 1/4 TO 1/3 OF THE SEED MIXTURE TO BE ANNUAL RYE TO AIDE IN LIMITING EROSION OF PERENNIAL SEED DURING GERMINATION.
- AREAS TO RECEIVE SEED SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS.
- STRAW SHALL BE THRESHED STRAW OF HAY, OATS, WHEAT, BARLEY, OR RYE. SPREAD AT A RATE OF 2 1/2 TONS PER ACRE. STRAW, NETTING, AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAINTAIN OPTIMUM GROWTH AND SURVIVAL TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR TO THE STORE POSSESSION DATE, FREE OF ERODED OR BARE AREAS.

**SEED MIX GUIDELINES\***

ZONE	FAHRENHEIT	CELSIUS	EXAMPLE CITIES
6B	-5 TO 0 F	-17.8 TO -20.5 C	MCMINNVILLE, TENNESSEE; BRANSON, MISSOURI

\* OBTAINED FROM WWW.LAWNGRASSES.COM

**SODDING NOTES**

- AREAS INDICATED FOR SOD SHALL BE KENTUCKY 31. MINIMUM AGE SHALL BE 18 MONTHS WITH ROOT DEVELOPMENT THAT WILL SUPPORT ITS OWN WEIGHT WITHOUT TEARING WHEN SUSPENDED VERTICALLY BY HOLDING THE UPPER TWO CORNERS.
- SUBMIT SOD CERTIFICATION FOR GRASS SPECIES AND LOCATION OF SOD SOURCE. INCLUDE CERTIFICATION THAT SOD IS FREE OF DISEASE, NEMATODES, UNDESIRABLE INSECTS, AND QUARANTINE RESTRICTIONS.
- SOD SHALL BE DELIVERED ON PALLETS. SOD SHALL BE STORED AT A LOCATION THAT IS PROTECTED FROM DAMAGING WINDS.
- 6-12-12 COMMERCIAL TYPE FERTILIZER, WITH 50% OF THE ELEMENT DERIVED FROM ORGANIC SOURCES, SHALL BE APPLIED AT RATE RECOMMENDED BY THE MANUFACTURER. APPLY AFTER SMOOTH RAKING OF TOPSOIL AND NO MORE THAN 48 HOURS BEFORE LAYING SOD. MIX THOROUGHLY IN THE UPPER 2 INCHES OF TOPSOIL AND LIGHTLY WATER TO AID BREAKDOWN.
- AREA TO RECEIVE SOD SHALL BE LIGHTLY MOISTENED IMMEDIATELY PRIOR TO LAYING SOD.
- LAY SOD TIGHTLY WITH NO OPEN JOINTS VISIBLE AND NOT OVERLAPPING. STAGGER END JOINTS A MINIMUM OF 12 INCHES AND DO NOT STRETCH SOD PIECES.
- ON SLOPES 6 INCHES PER FOOT AND STEEPER, LAY SOD PERPENDICULAR TO SLOPE AND SECURE EVERY ROW WITH WOODEN PEGS AT A MAXIMUM 2 FEET O.C. DRIVE PEGS FLUSH WITH SOD PORTION OF SOD.
- PRIOR TO PLACING SOD ON SLOPES OF 8 INCHES PER FOOT AND STEEPER, PLACE JUTE EROSION CONTROL MESH OVER TOPSOIL. SECURELY ANCHOR IN PLACE WITH PEGS SUNK FIRMLY INTO THE GROUND. CONTRACTOR SHALL SUBMIT 12"x12" SAMPLES OF JUTE MESH FOR REVIEW TO LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- IMMEDIATELY AFTER INSTALLATION, WATER SODDED AREAS TO A DEPTH OF 4 INCHES.
- AFTER SOD AND SOIL HAVE DRIED, ROLL SODDED AREAS TO ENSURE A GOOD BOND BETWEEN SOIL AND SOD. ROLLER SHALL NOT EXCEED 150 POUNDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING (MOWING, TRIMMING, WATERING) THE SOD UNTIL THE INSTALLATION IS INSPECTED AND ACCEPTED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL REPLACE SOD AREAS THAT SHOW DETERIORATION FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE INSTALLATION. DETERIORATED MATERIAL SHALL BE REPLACED WITH SOD OF EQUAL QUALITY ORIGINALLY SPECIFIED.

**RAGAN SMITH**  
 LAND PLANNERS • CIVIL ENGINEERS  
 LANDSCAPE ARCHITECTS • SURVEYORS  
 RAGAN SMITH ASSOCIATES, INC.  
 316 WOODLAND ST. P. O. BOX 66070 NASHVILLE, TN 37206  
 (615) 244-4891 FAX (615) 244-4759 WWW.RAGANSMITH.COM

**SCOTT MICHAEL BERNICK**  
 LANDSCAPE ARCHITECT  
 107 N. 3RD ST. NASHVILLE, TN 37203  
 (615) 259-1111

MADISON, TN.  
**DOLLAR GENERAL**  
 TURNER AND ASSOCIATES REALTY INC.  
 4TH COUNCILMANIC DISTRICT, MADISON, DAVIDSON COUNTY, TENNESSEE

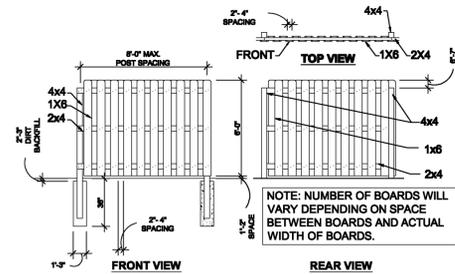
DATE: April 14, 2011  
 DESIGNED: S. Bemick  
 DRAWN: D. Kirkham  
 SCALE: N/A  
 JOB NO. WK. ORDER 11-004  
 07-22-11 (SMR) Rev. Per U.F. Comments.  
 REVISIONS 9272

LANDSCAPE NOTES & DETAILS  
**L2.1**

IF YOU DIG TENNESSEE...  
 CALL US FIRST!  
 1-800-351-1111  
 1-615-366-1987  
 TENNESSEE ONE CALL  
 IT'S THE LAW

**STRAIGHT SHADOWBOX PRIVACY FENCING**  
TREATED PINE (USE GALVANIZED NAILS FOR FASTENING)

IF ANY PARCEL OF LAND ADJACENT TO THE DEMISED PREMISES IS EITHER ZONED FOR RESIDENTIAL USE OR IS ACTUALLY BEING USED FOR RESIDENTIAL PURPOSES ("RESIDENTIAL PROPERTY"), LESSOR SHALL CONSTRUCT A PRIVACY FENCE IN ACCORDANCE WITH TENANT'S PROTOTYPE PLANS AND ANY APPLICABLE ORNAMENTAL REQUIREMENTS ALONG ANY PORTION OF THE DEMISED PREMISES BORDERING UPON SUCH RESIDENTIAL PROPERTY.



**FENCE DETAIL**

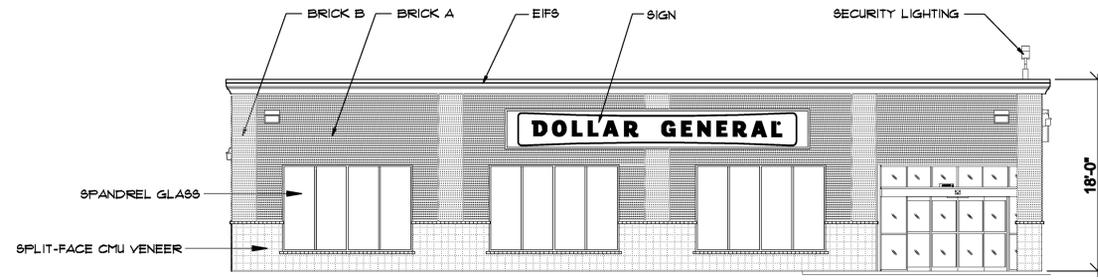
PRELIMINARY, NOT FOR CONSTRUCTION.

**NOT TO SCALE**

**IMPORTANT NOTE:**

THIS DRAWING IS NOT INTENDED FOR CONSTRUCTION.

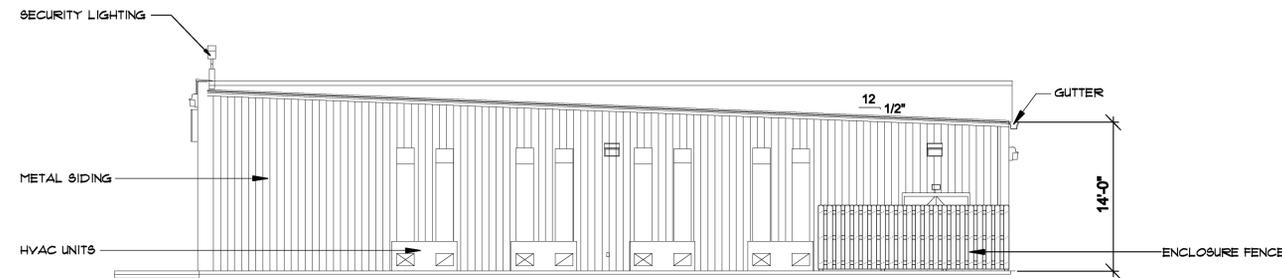
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION OF ANY KIND.



**FRONT ELEVATION**

PRELIMINARY, NOT FOR CONSTRUCTION.

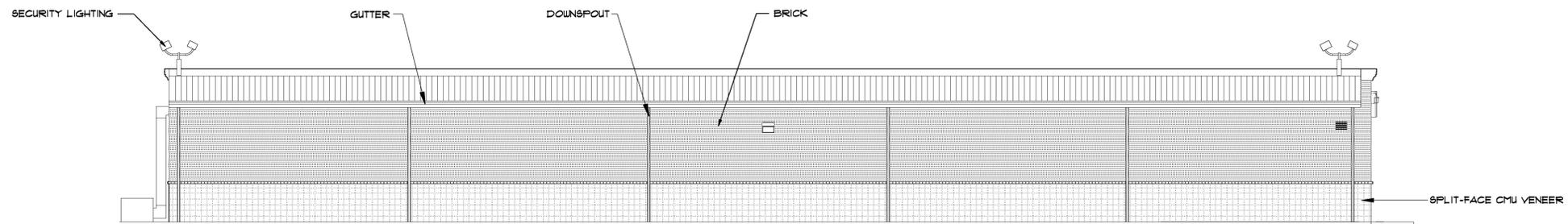
**1/8" = 1'-0"**



**REAR ELEVATION**

PRELIMINARY, NOT FOR CONSTRUCTION.

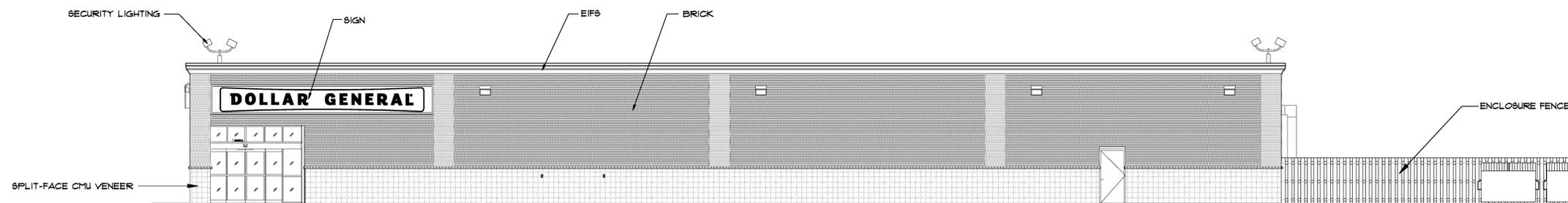
**1/8" = 1'-0"**



**LEFT ELEVATION**

PRELIMINARY, NOT FOR CONSTRUCTION.

**1/8" = 1'-0"**



**RIGHT ELEVATION**

PRELIMINARY, NOT FOR CONSTRUCTION.

**1/8" = 1'-0"**

**IMPORTANT NOTE:**

THIS DRAWING IS NOT INTENDED FOR CONSTRUCTION.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION OF ANY KIND.

REVISIONS

**DAVID R. BARLEW**

ARCHITECTS INCORPORATED  
714 CHERRY STREET  
CHATTANOOGA, TENNESSEE 37402  
(423) 755-7577 • FAX (423) 755-7578



**RETAIL DEVELOPMENT**

US HIGHWAY 31 E

(GALLATIN PIKE)

MADISON, TENNESSEE

TURNER & ASSOCIATES REALTY, INC.  
NASHVILLE, TENNESSEE

PROJECT NO.  
1103

DISK FILE NO.  
1103A4

DRAWN

CHECKED

ISSUED FOR CONSTRUCTION  
NOT FOR CONSTRUCTION

DATE

DRAWING NAME

ELEVATIONS

SHEET NO.

A-4