

Auto Masters- Hermitage

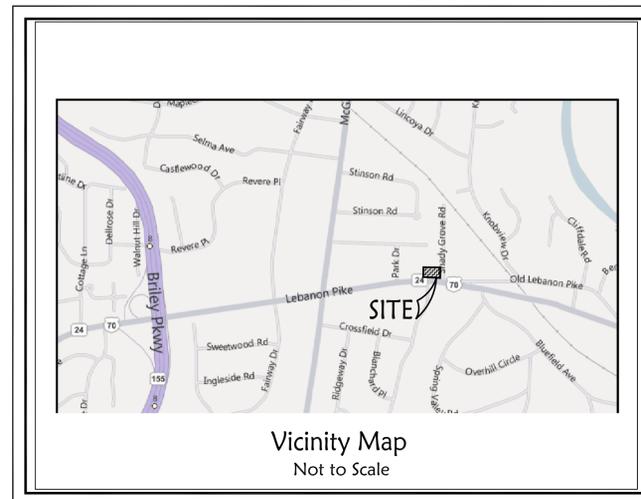
Preliminary & Final SP # 2011SP- 008- 001

Map 95-04 & Parcel 18

2610 Lebanon Pike, Nashville, Tennessee 37214

NOTES:

1. The purpose of this submittal is to gain Preliminary Specific Plan and Final Site Plan approval, which would allow for Automotive Sales-New & Used and Automobile Service on this property.
2. For any development standards, regulations, and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations, and requirements of the CS zoning district as of the date of the applicable request or application.
3. This property is not within areas designated as a Flood Hazard, according to the latest map available to this office- FIRM Panel 47037C0241F, Dated April 20, 2001.
4. The required fire flow shall be determined by the Metropolitan Fire Marshal's Office, prior to the issuance of a building permit.
5. All development within the boundaries of this plan meets the requirements of the Americans with Disabilities Act and the Fair Housing Act.
6. Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Stormwater Management Ordinance # 78-840 and approved by The Metropolitan Department of Water Services.
7. Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual. (Minimum driveway culvert in Metro ROW is 15" CMP).
8. The development of this project shall comply with the requirements of the adopted tree ordinance 2008-328 (Metro Code Chapter 17.24, Article II, Tree Protection and Replacement; and Chapter 17.40, Article X, Tree Protection and Replacement Procedures).
9. The elevations shown on these plans are based on NGVD 29 Datum, and provided by Delle Land Surveying. The site Benchmark is the Tag Bolt on Fire Hydrant #8667 off the southeast corner of the site, across Shady Grove Road. Elevation = 536.88.
10. Before beginning construction, the contractor shall contact Tennessee One-Call to field verify the locations of all utilities and easements.



Vicinity Map
Not to Scale

Sheet Schedule

- C0.0 Cover Sheet
- C1.0 Existing Conditions & Demolition Plan
- C2.0 Site Plan
- C3.0 Details

LAND USE TABLE:

Allowed Uses in SP:
AUTOMOBILE SALES, USED
AUTOMOBILE SERVICE
AUTOMOBILE SALES, NEW

DEVELOPMENT SUMMARY:

- * Council District: District 15 [Phil Claiborne]
- * Owner: Thomas Lee and Ruth D. Goddard
2622 Old Lebanon Road, Nashville, TN 37214
Phone: 615-218-8697
- * SP Name: Auto Masters- Hermitage
- * SP Number: 2011SP-008-001
- * Original Plan Date: January 27, 2011
- * Scale: 1" = 20'
- * Design Professional: Dean Design Group
Contact: Charley Dean, PE
612 Derby Downs, Lebanon TN 37087
Ph: 300-6316; Email: charley@deandesigngroupllc.com
- * FEMA Map Panel: FIRM Panel 47037C-0241F, Dated April 20, 2001
Property lies within Zone X (Area outside Floodplain)

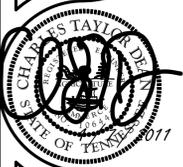
DEVELOPER:
AUTO MASTERS
C/O GEORGE GRADY
4601 NOLENSVILLE ROAD
NASHVILLE, TN 37211
PHONE: (615) 331-8899
EMAIL: george.grady@automasterstn.com

Initial Submittal:
January 27, 2011
Revisions:
February 14, 2011
February 24, 2011
March 1, 2011
March 22, 2011

Not to Scale

Designed By:
Charley Dean, PE

Dean Design Group, LLC
Civil Engineering, Land Planning & Zoning
612 Derby Downs, Lebanon, TN 37087
Phone: 615-300-6316
Email: charley@deandesigngroupllc.com



Auto Masters- Hermitage
Preliminary & Final SP # 2011SP-008-001
Map 95-04, Parcel 18 in Davidson County
2610 Lebanon Pike, Nashville Tennessee 37214

Permit Info:

Project: 10030

C0.0

Sheet 1 of 4

NOTICE OF COVERAGE CERTIFICATION:
 THE PROJECT ASSOCIATED WITH THESE SUBMITTED PLANS DOES NOT REQUIRE COVERAGE UNDER THE TENNESSEE CONSTRUCTION GENERAL PERMIT.

CSB 4/7/2011
 PROJECT ENGINEER DATE

LEGEND

IR(F)	IRON ROD (FOUND)	GUARDRAIL
IR(S)	IRON ROD (SET)	POWER POLE/ TELEPHONE POLE
C.M.(F)	CONCRETE MONUMENT (FOUND)	ANCHOR
C.M.(S)	CONCRETE MONUMENT (SET)	LIGHT
M.H.	SANITARY MANHOLE	DRAINAGE DITCH
RCP	REINFORCED CONCRETE PIPE	WATER VALVE
CMP	CORRUGATED METAL PIPE	CONCRETE
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G.M.	GAS METER	TRANSFORMER BOX
G	GAS LINE	WATER METER
E	ELECTRIC LINE	GAS METER
T	TELEPHONE LINE	CAV BOX
W	WATER LINE	WATER VALVE
SA	SANITARY SEWER LINE	SEWER BOX
C.O.	CLEAN OUT	FIRE HYDRANT
W.V.	WATER VALVE	GAS VALVE
W.M.	WATER METER	LOT NUMBER
F.H.	FIRE HYDRANT	PARCEL NUMBER
USE	UNDERGROUND ELECTRIC	FENCE LINE
P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT	OVERHEAD UTILITIES

Site Area = 0.544 acres (23,688 s.f.)
 Disturbed Area = 0.045 acres (1,980 s.f.)

Scale 1" = 20'



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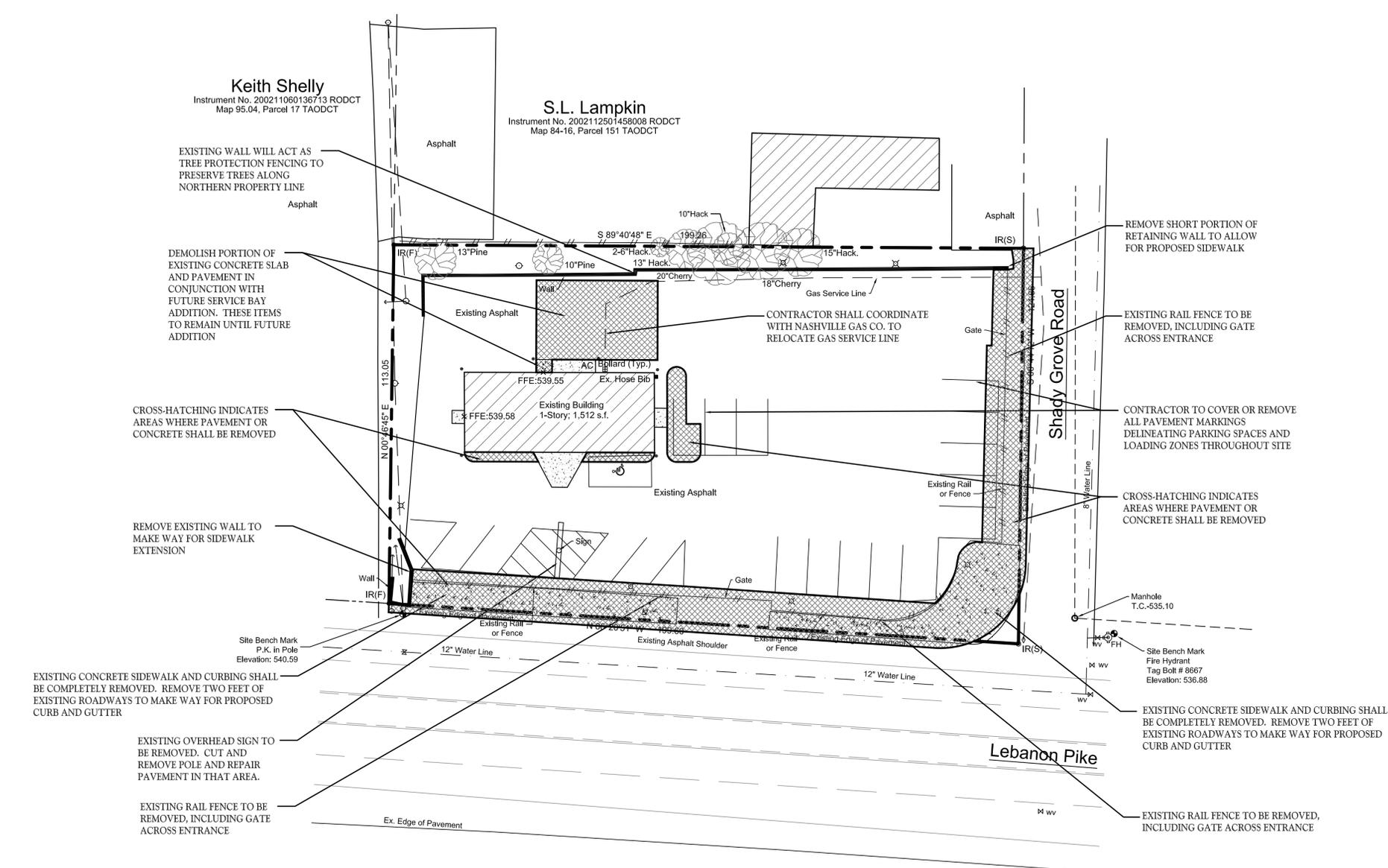
Dean Design Group, LLC
 Civil Engineering, Land Planning & Zoning
 612 Derby Downs, Lebanon, TN 37037
 Phone: 615-300-6316
 EMail: charley@deandesigngroupllc.com



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C1.0
 Sheet 2 of 4



Existing Conditions & Demolition Plan

APPLICATION #:	PROJECT NAME: Auto Masters- Hermitage
MAP/PARCEL #: Map 95-04, Parcel 18	EXAMINER:
USE	
DETERMINE THE USE	Automotive Sales-New & Used and Automobile Service
PROPERTY ZONING - OVERLAYS; SURROUNDING ZONING	SP- Urban Design & Airport Overlays; CS Surrounding
USE CHARTS: P, PC, SE, A	P [Permitted]
SITE CRITERIA	
MAP & PARCEL NO.	Map 95-04, Parcel 18
SUBDIVISION PLAT	Deed Book 4164, Page 178, RODCT
MINIMUM LOT SIZE-FOOTPRINT:	None
FAR	Maximum 0.60; Proposed 0.09
ISR-ADJUSTMENTS-SLOPES OVER 15%	Maximum 0.90; Proposed 0.86
STREET SETBACK/STREET TYPE(S)	69 feet from centerline, 34' from R.O.W. in this case
SIDE YARD	None
REAR YARD	20 feet
HEIGHT STANDARDS-NUMBER OF FLOORS	3 stories to a Max. of 45'; Proposal does not exceed
PARKING AND ACCESS	
RAMP LOCATION & NUMBER	Existing Ramps off Lebanon Pike & Shady Grove Road
DISTANCE TO NEAREST EXISTING RAMP	110' to Access Drive on adjacent parcel to the west on Lebanon Road
DISTANCE TO INTERSECTIONS:	Property at Intersection of Lebanon Pike and Shady Grove Road
50' MINOR STREET 185' ARTERIAL STREET 100' COLLECTOR 250' CONTROLLED ACCESS RAMP	
REQUIRED PARKING BASED ON USES	1 space per 250 s.f. indoor + 1 space per 1,000 s.f. outdoor + 2 spaces per service bay 0 s.f. Indoor Display + 3,565 s.f. / 1,000 s.f. + 2 spaces x 1 bay = 6 Required Spaces 6 Spaces Provided [Including 1 Accessible]
REQUIRED LOADING BASED ON USES	None
SURFACING OVER 5 SPACES 1,750 SQ. FT.	Provided
SPACE SIZES, AISLE WIDTHS, ANGLE DATA	24' Drive Aisle, 90° Parking- 9' x 18' Standard
QUEUING LANES	N/A
OVER 10 SPACES 20' QUEUING AT EXIT	N/A
NUMBER OF COMPACT SPACES / %	N/A
NUMBER OF ACCESSIBLE SPACES	1 Provided
SIDEWALKS REQUIRED-INTERNAL/PUBLIC	Public Sidewalks to be constructed along Lebanon Pike & Shady Grove Road
LANDSCAPING STANDARDS	
REQUIRED BUFFER YARDS	None
BUFFERYARD ADJUSTMENT	None
PERIMETER LANDSCAPING	Existing perimeter yards won't be disturbed. New perimeter added against roadway
STANDARD FOR FOUR OR MORE LANES	Greenspace added along Lebanon Road frontage
STANDARD FOR LESS THAN FOUR LANES	N/A
SIDE LINES ADJACENT TO PARKING AREAS	Provided
INTERIOR LANDSCAPING MINIMUM 8% AREA	8% Required, 8.5% Provided
OPAQUE FENCE ADJACENT TO RES. IN PARKING AREA	N/A
SCREENING AROUND DUMPSTERS	Provided as shown- this sheet
TREE DENSITY	Provided- See Table Below

MATERIALS SCHEDULE:

KEY	QTY.	SCIENTIFIC NAME/ COMMON NAME	HEIGHT	SPREAD	TRUNK	REMARKS
TREE						
AR	4	Acer rubrum 'Bowhall/ Bowhall Red Maple	8'-10'	4'-5'	2"	4' Clear Trunk
SHRUBS						
PL	92	Prunus laurocerasus / Common Cherrylaurel	24"-30"	18"-24"	---	Full to Bottom
TURF						
SEED- Turf Mixture			Heat tolerant fescue blend. Seed all lawn areas @ 5 lbs./1,000 sf.			
MISCELLANEOUS						
Shredded Hardwood Bark Mulch			Minimum 3" deep around all plantings			
Topsoil			Min. 6" in all lawn & landscape areas.			

TREE DENSITY REQUIREMENTS

IMPERVIOUS AREA:	104.783	SQ. FT.
PARKING AREA		
PERIMETER	18.270	SQ. FT.
INTERIOR	3.544	SQ. FT.
INTERIOR PLANTING AREA REQUIRED:	284	SQ. FT.
INTERIOR PLANTING AREA PROVIDED:	301	SQ. FT.
AREA OF LOT:	0.54	ACRES
BUILDING COVERAGE:	0.04	ACRES
AREA OF REQUIRED COMPLIANCE:	0.50	ACRES
	x14.0	Required Units per Acre
REQUIRED TREE DENSITY UNITS:	7.0	
EXISTING TREES TO REMAIN		
6" DBH @ 0.2	2 x 0.2 =	0.4
10" DBH @ 0.6	2 x 0.6 =	1.2
12" DBH @ 0.8	2 x 0.8 =	1.6
14" DBH @ 1.1	1 x 1.1 =	1.1
18" DBH @ 1.8	1 x 1.8 =	1.8
20" DBH @ 3.3	1 x 3.3 =	3.3
CREDIT FOR TREES TO REMAIN:	9.4 Tree Density Units	
PROPOSED NEW TREES:		
2" CAL @ 0.5	4 x 0.5 =	2.0
CREDIT FOR NEW TREES:	2.0 Tree Density Units	
TOTAL TREE DENSITY UNITS PROVIDED:	11.4 Tree Density Units	
WATER SOURCE PROVIDED BY EXISTING HOSE BIBS ON BUILDING		

GRADING PERMIT EXEMPTION NOTES:

[SECTION 3.4.3, METRO STORMWATER MANUAL]

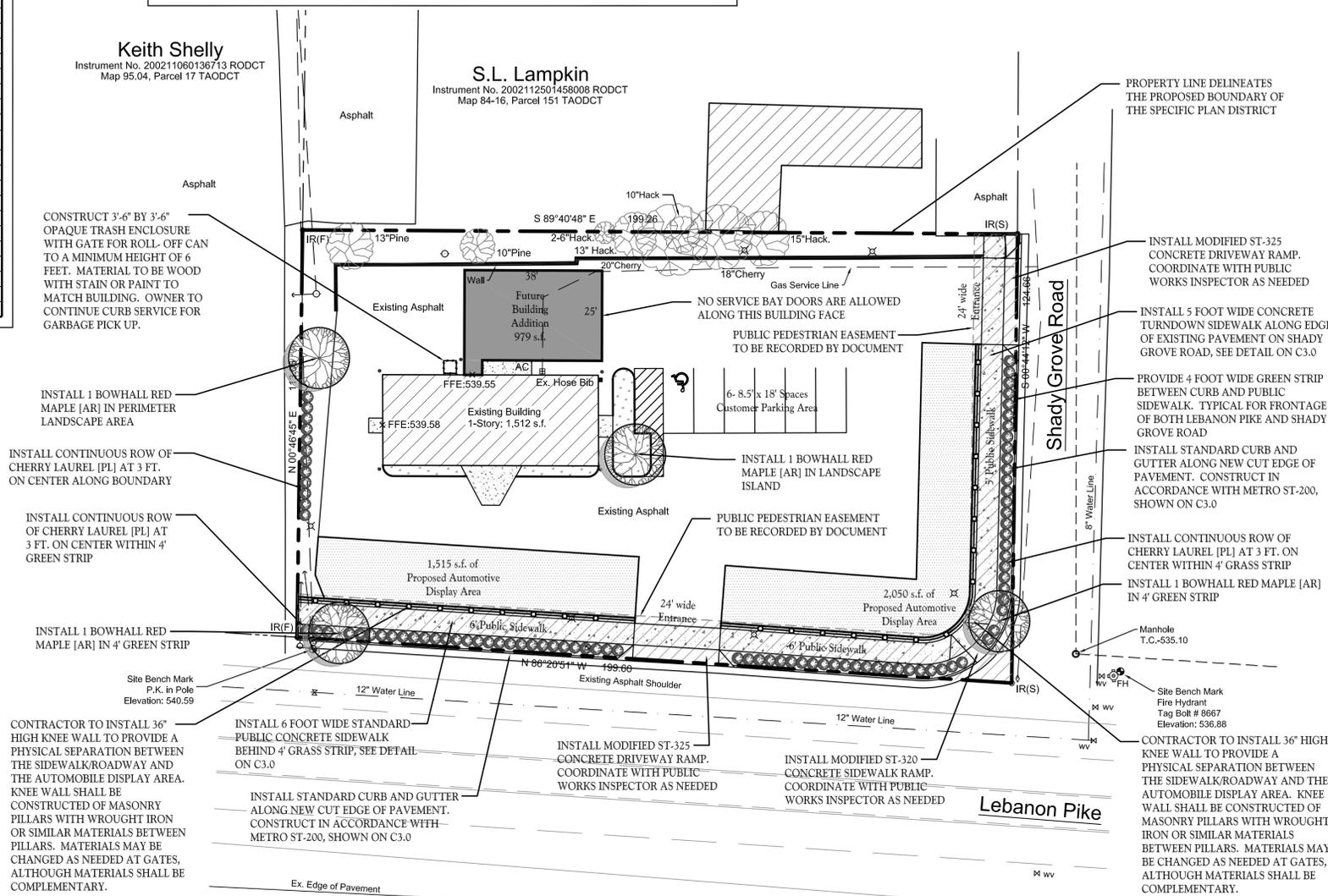
1. CONTRACTOR TO USE CLEAN FILL MATERIAL AS NEEDED.
2. THERE WILL BE NO FILLING IN THE FLOOD PLAIN, AND NO AREAS WITHIN THIS PROJECT WILL BE FILLED MORE THAN 5' AS SHOWN ON PLAN.
3. MINOR GRADE WORK WILL NOT RESULT IN 100 CUBIC YARDS OF MATERIAL BEING BROUGHT IN OR TAKEN OFF THE SITE.
4. THIS DEVELOPMENT WILL CONTINUE TO DISCHARGE STORMWATER IN MUCH THE SAME WAY AS THE PRE-DEVELOPMENT CONDITION AND WILL NOT IMPAIR THE EXISTING SURFACE STORMWATER MANAGEMENT SYSTEM.
5. NO FILL STEEPER THAN 5:1 WILL BE PLACED ON THE SITE.
6. PROPOSED GRADING WILL NOT RESULT IN SLOPES OVER 3:1.
7. TEMPORARY AND PERMANENT STABILIZATION WILL BE INSTALLED ON THE DISTURBED AREAS IN ACCORDANCE WITH THE METRO REGULATIONS.
8. PROJECT AREA DOES NOT CONTAIN HAZARDOUS SUBSTANCES.
9. SITE IS NOT BELIEVED TO BE WITHIN THE WATERSHED OF A SINKHOLE OR DRAINAGE WELL.
10. SITE DEVELOPMENT WILL NOT RESULT IN OVER 10,000 S.F. OF DISTURBANCE.

Site Area = 0.544 acres (23,688 s.f.)
Disturbed Area = 0.045 acres (1,980 s.f.)



DEVELOPMENT NOTES:

1. NO NEW UTILITIES ARE PROPOSED WITH THIS PROJECT.
2. ALL PROPOSED SIGNAGE WILL BE AFFIXED TO BUILDING. SEE SIGNAGE PLAN INCLUDED WITH SP SUBMITTAL.



LEGEND

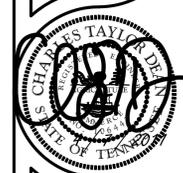
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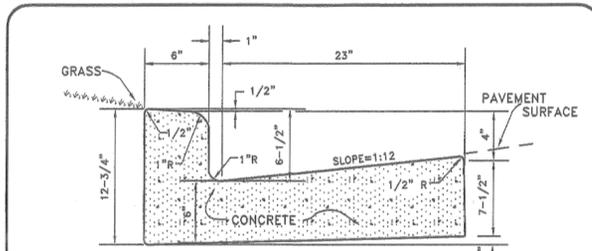
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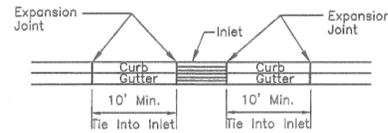
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Site Plan



TYPICAL CROSS-SECTION

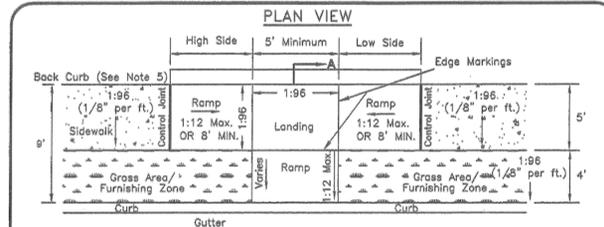


FRONT VIEW

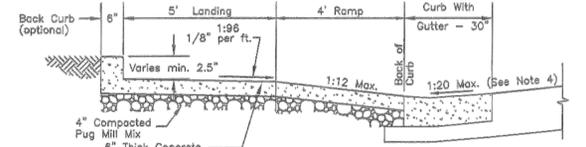
- GENERAL NOTES
- Expansion joints to be spaced a maximum of 100 feet apart or as directed by the Engineer.
 - Expansion joints will also be required at tangent points, ramps, and inlets.
 - Contraction joints are to be cut into curb and gutter every 10 feet to a depth of D/4, where D equals the thickness of the section. The spacing of 10 feet may be reduced at closures but no section of curb and gutter shall be less than 10 feet.
 - There will be a minimum of 10 feet tie in at curb inlets on each side of the inlet. An expansion joint will be used on each side of the tie in.
 - Cost of contraction joints to be included in the unit bid price for concrete curb with gutter.

NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	STANDARD CURB WITH GUTTER	DWG. NO. ST-200
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/12/03	REVISED: 07/21/00 REVISED: 05/02/03



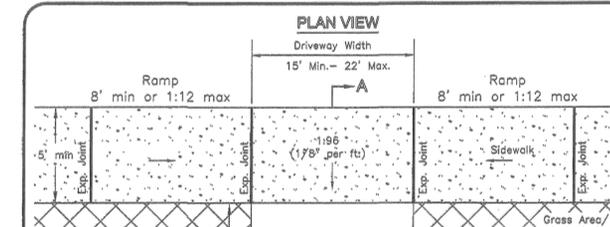
PLAN VIEW



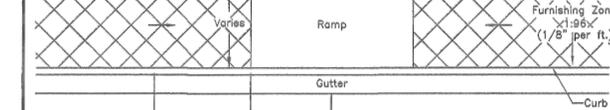
SECTION A-A NOT TO SCALE

- GENERAL NOTES
- Ramp shall be flush with the gutter or edge of pavement.
 - Cross-slope of landing and of sidewalk shall not exceed 1:48 (vertical:horizontal).
 - Surface texture of the curb ramp shall be stable, firm, and slip-resistant. The surface shall be coarse broomed "white" concrete finish transverse to the slope of the ramp.
 - The normal gutter slope of 1:12 (vertical:horizontal) shall be reduced to 1:20 (vertical:horizontal) at the ramp when the curb and gutter is poured before the ramp, or the gutter at the ramp must be cut out, removed, and repoured when the ramp is poured.
 - Back curb shall be constructed at the direction of Public Works, and if required, back curb height along ramp shall transition from 0 inches at expansion joints to the proposed height of back curb at landing and shall be a constant height through landing. Deletion of back curb requires approval of inspector. Removal to be noted in project file and on inspection report.
 - High side and low side ramps shall have a maximum slope of 1:12 (vertical:horizontal) or shall be 8 feet (96 inches) minimum in length.

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION CURB RAMP	DWG. NO. ST-320
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/12/03	REVISED: 07/18/02 REVISED: 05/08/03



PLAN VIEW

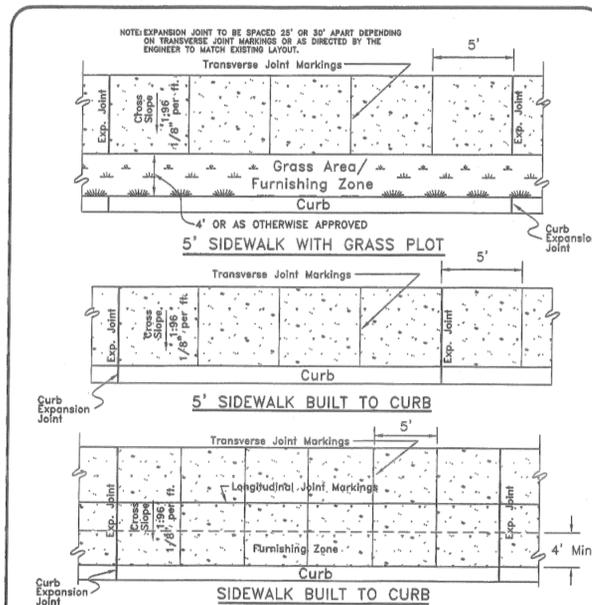


SECTION A-A

- NOTE:
- Cross-slope of sidewalk shall not exceed 1:48 (vertical:horizontal).
 - Fiber mesh reinforcement is an approved alternative for the wire mesh. Fiber mesh reinforcement will be added to the concrete at the batch plant at the rate of 1 1/2 pounds per cubic yard.
 - Concrete shall be 8 inches thick.

NOT TO SCALE

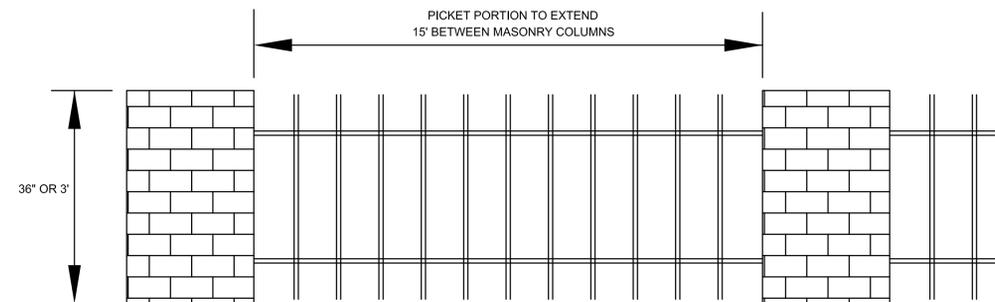
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	ALTERATION CONSTRUCTION COMMERCIAL DRIVEWAY RAMP WITH SIDEWALK LESS THAN 9 FEET	DWG. NO. ST-325
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/12/03	REVISED: 01/27/03 REVISED: 05/08/03



- GENERAL NOTES
- SIDEWALKS SHALL BE A MINIMUM OF 4 INCHES IN THICKNESS.
 - MAXIMUM CROSS SLOPE FOR SIDEWALKS SHALL NOT EXCEED 1:48 (VERTICAL-HORIZONTAL).
 - SIDEWALK SHALL BE CONSTRUCTED OF WHITE CONCRETE, BRICK, OR EXPOSED AGGREGATE PER METRO DEPARTMENT OF PUBLIC WORKS TECHNICAL SPECIFICATIONS, SECTION 02522.
 - COMPACTED STONE BASE, PUG MILL MIX, 4" THICK SHALL BE APPLIED TO SUB GRADE PRIOR TO INSTALLING SIDEWALK.
 - FURNISHING ZONE IS AN AREA FOR OBSTRUCTIONS IN THE SIDEWALK. EXAMPLES ARE OUTDOOR CAFES, POWER POLES, FIRE HYDRANTS, SIGNS, ETC.
 - IN THE EVENT OF ANY CONFLICT, DISCREPANCY, OR INCONSISTENCY AMONG THE PLANS AND THESE STANDARD DETAILS, THE REQUIREMENTS OF THE STANDARD DETAILS SHALL GOVERN.

NTS

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	SIDEWALK CONSTRUCTION	DWG. NO. ST-210
DIR. OF ENG.: <i>Mark May</i>	DATE: 7/15/04	REVISED: 05/02/03 REVISED: 11/24/03 REVISED: 06/23/04



- General Notes:
- Columns shall be constructed of brick or other masonry product.
 - Picket sections shall use wrought iron, coated aluminum, or similar materials.
 - Knee wall shall be a minimum of 36" high as directed by regulations.

KNEE WALL NOT TO SCALE

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