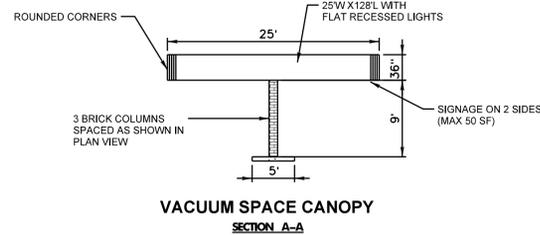


VICINITY MAP
N.T.S.



LINE	BEARING	DISTANCE
L2	N 53°31'27" W	8.78'
L3	S 88°55'38" W	39.84'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C4	4333.25	154.44	154.43	S 02°19'03" E	02°02'31"	77.23



Wal-Mart Stores East, L.P.
Tax Map 161, Parcel 289
Instrument # 200512010144241

NOTE: ALL INFORMATION CONCERNING THE BOUNDARY LINES, EASEMENTS AND FLOOD INFORMATION ARE FROM THE RECORDED FINAL PLAT OF RESUBDIVISION OF LOTS 3 & 4 REVISION OF THE FINAL PLAT WAL-MART NASHVILLE SOUTH (INSTR. NO. 20100826-0067630) SUBDIVISION NO. 20100826-0067630.

NOLENSVILLE PIKE (R/W VARIES)

ZONED CS

OWNER / DEVELOPER
GLORY TELLER OFFICE, LLC
541 NORTH MOUNT JULIET ROAD
MOUNT JULIET TN 37122

SITE AND GRADING ENGINEER
BARGE CAUTHEN AND ASSOCIATES
6606 CHARLOTTE PIKE, SUITE 210
NASHVILLE, TENNESSEE 37209
P: (615) 356-9911
F: (615) 352-6737

SURVEYOR
BLUE RIDGE SURVEYING, INC.
231 WITHERSPOON AVENUE
GALLATIN, TENNESSEE 37066
P: 615-481-6739

PURPOSE NOTE:
THE PURPOSE OF THIS SPECIFIC PLAN SUBMITTAL IS TO REZONE 1.08 ACRES TO ALLOW FOR A FULLY AUTOMATED CAR WASH.

USE NOTE:
IN ADDITION TO CAR WASH USE, ALL USES ALLOWED IN COMMERCIAL LIMITED ZONING (CL) SHALL BE ALLOWED. ZONING PARAMETERS NOT SPELLED OUT ON THIS PLAN SHALL BE GOVERNED BY CL REGULATIONS OF THE ZONING ORDINANCE.

FEMA NOTE:
BY MEANS OF GRAPHIC PLOTTING UPON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 47037C0382 F, DATED: 04-20-2001, IT HAS BEEN DETERMINED THAT THE PARCEL DESCRIBED HEREON DOES NOT LIE WITHIN A FLOOD HAZARD AREA (FLOOD ZONE AE).

COUNCIL DISTRICT : 31
PARKER TOLER: COUNCILMEMBER

MAP 161 PARCEL 306
CURRENT ZONING: CL
PROPOSED ZONING: SP

SITE DATA:
SUBDIVISION: RESUB. LOTS 3 & 4 WAL-MART SOUTH
SITE ACREAGE - 1.08 ACRES
TOTAL SF - 47,045 SF
EXISTING VACANT LOT
PROPOSED BUILDING (ONE STORY) SF - 3,000 SF
FAR - .05
ISR - .52
PROPOSED PARKING - 3 SPACES (WITH ALLOWANCE FOR HANDICAP SPACE PER ADA SPECIFICATIONS)
REQUIRED PARKING SPACES - 3 SPACES
PROPOSED VACUM SPACES - 15 SPACES

ZONED AR2A

GENERAL NOTES:

- ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- THE BUFFER ALONG WATERWAYS WILL BE IN AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT TO BE DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.
- THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- THERE SHALL BE NO ADDITIONAL ACCESS POINTS TO NOLENSVILLE PIKE FOR THIS LOT.

STORMWATER NOTES:

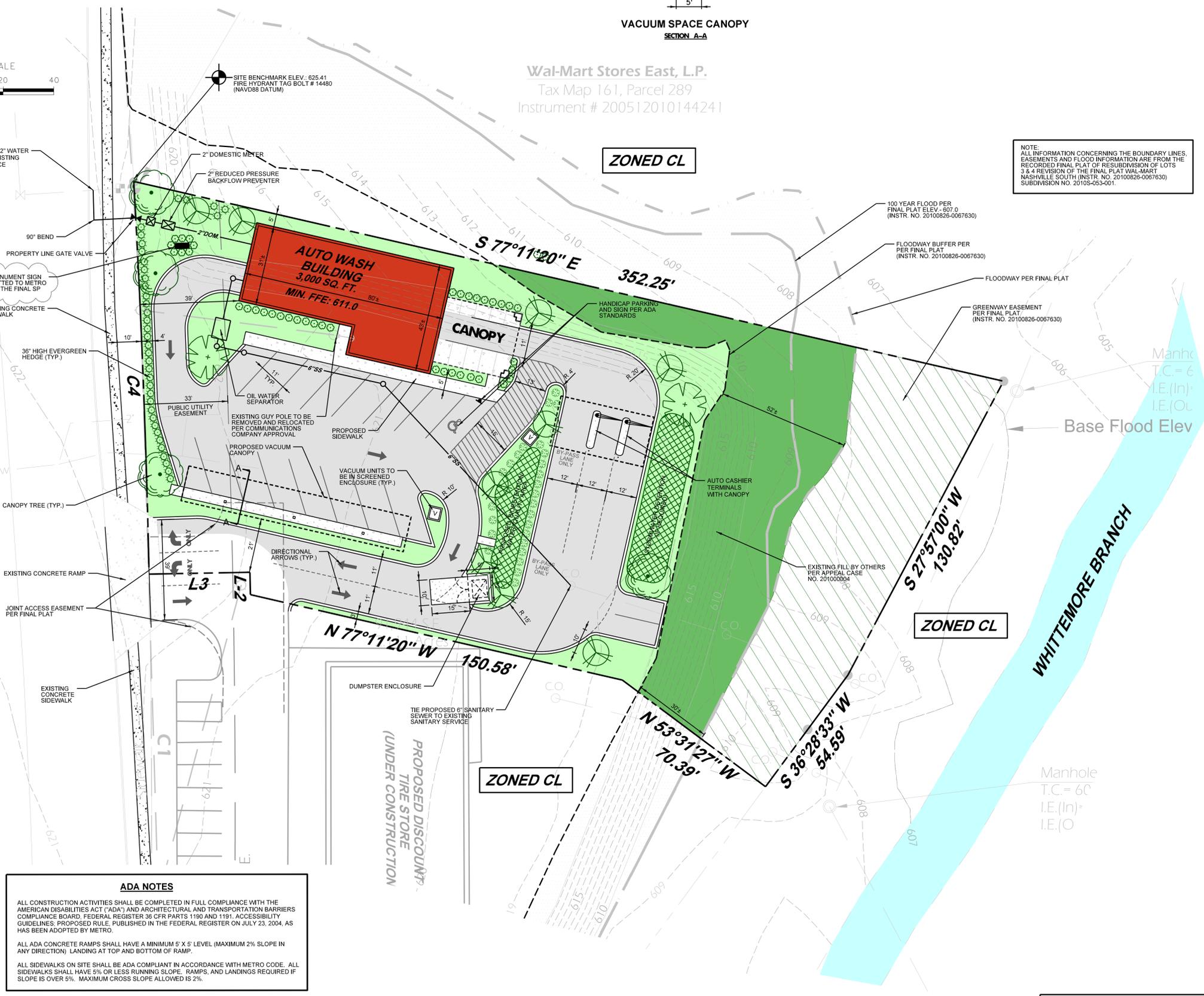
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- THE BUFFER ALONG WATERWAYS WILL BE IN AN AREA WHERE THE SURFACE IS LEFT IN NATURAL STATE, AND IS NOT TO BE DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).

ADA NOTES

ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICAN DISABILITIES ACT (ADA) AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36 CFR PARTS 1190 AND 1191, ACCESSIBILITY GUIDELINES, PROPOSED RULE, PUBLISHED IN THE FEDERAL REGISTER ON JULY 23, 2004, AS HAS BEEN ADOPTED BY METRO.

ALL ADA CONCRETE RAMPS SHALL HAVE A MINIMUM 5' X 5' LEVEL (MAXIMUM 2% SLOPE IN ANY DIRECTION) LANDING AT TOP AND BOTTOM OF RAMP.

ALL SIDEWALKS ON SITE SHALL BE ADA COMPLIANT IN ACCORDANCE WITH METRO CODE. ALL SIDEWALKS SHALL HAVE 5% OR LESS RUNNING SLOPE. RAMPS, AND LANDINGS REQUIRED IF SLOPE IS OVER 5%. MAXIMUM CROSS SLOPE ALLOWED IS 2%.



Civil Engineers | Architects | Planners | Landscape Architects

Barge Cauthen & ASSOCIATES

6606 CHARLOTTE PIKE, STE 210
NASHVILLE, TENNESSEE 37209
615.356.9911 PHONE
615.352.6737 F A X

PRELIMINARY SP

NOLENSVILLE ROAD CAR WASH

MAP 161 PARCEL 306
5828 NOLENSVILLE PIKE, NASHVILLE TN 32211

NO.	CHK.	DATE	DESCRIPTION
1	JG	3-31-11	PLANNING COMMISSION SUBMITTAL
2	JG	4-19-11	MPC RE-SUBMITTAL (COMMENTS)

SP NO. 2011SP-12-001

C1.0
FILE NO. 2701-01