

SP (SPECIFIC PLAN) PRELIMINARY DEVELOPMENT PLAN FOR STEPHENS VILLAGE EAST NASHVILLE, TENNESSEE

CONTACTS

OWNER:

W.E. STEPHENS JR - TRUSTEE
6160 PASQUO ROAD
NASHVILLE, TN 37221
(615) 604-2200
(615) 646-7082 FAX

DEVELOPER:

TOM CAMPBELL, CCIM
NHC/OP, L.P.
100 VINE STREET, CITY CENTER
MURFREESBORO, TN 37130
(615) 890-2020
TCAMPBELL@NHCARE.COM

ARCHITECT:

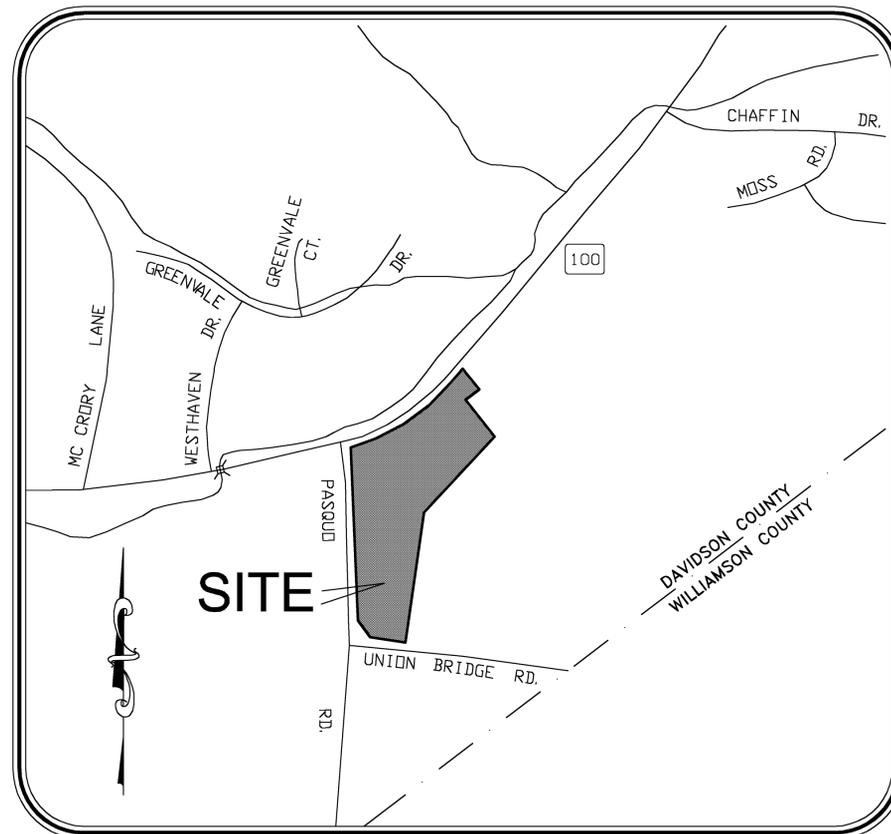
JOHNSON AND BAILEY ARCHITECTS P.C.
JIM BAILEY
100 EAST VINE STREET
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(615)890-4564
JBAILEY@JBARCHITECTS.COM

CIVIL ENGINEER:

RAGAN SMITH ASSOCIATES, INC.
GEORGE WELCH, P.E.
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GWELCH@RAGANSMITH.COM

LANDSCAPE ARCHITECT:

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SCOTTY BERNICK
315 WOODLAND STREET
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(615) 244-8591
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VICINITY MAP
NOT TO SCALE

35th COUNCILMANIC DISTRICT METROPOLITAN NASHVILLE DAVIDSON COUNTY, TENNESSEE

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PURPOSE NOTE:

THE APPLICANT IS REQUESTING A CHANGE FROM THE CURRENT ZONING OF RS-40 TO SP. THIS REQUEST IS NECESSARY FOR THE IMPLEMENTATION OF A NURSING HOME, ASSISTED-CARE LIVING, AND MULTI-FAMILY RESIDENTIAL DEVELOPMENT.

CONDITIONS OF APPROVAL

- USES IN THIS SP DISTRICT SHALL BE LIMITED TO NURSING HOME, ASSISTED-CARE LIVING AND MULTI-FAMILY RESIDENTIAL.
- THE ENTRANCE SIGN FOR THE TOWNHOMES SHALL BE SUBJECT TO SECTION 17.32.080 OF THE METRO ZONING CODE. THE ENTRANCE SIGNS TO THE NURSING HOME/ASSISTED LIVING FACILITY SHALL BE LIMITED TO 48 SQUARE FEET AND SHALL NOT BE MORE THAN SIX FEET IN HEIGHT. BILLBOARDS SHALL NOT BE PERMITTED.
- PRIOR TO FINAL SITE PLAN APPROVAL THE PARKING LAYOUT SHALL BE REVISED SO THAT THERE ARE NO MORE THAN 15 CONTIGUOUS PARKING SPACES WITHOUT LANDSCAPING.
- PRIOR TO FINAL APPROVAL BY THE COUNCIL THE ACCESS NOTE AS REQUIRED BY METRO STORMWATER SHALL BE ADDED TO THE PLAN.
- PRIOR TO FINAL APPROVAL BY COUNCIL THE PURPOSE NOTE ON THE PLAN SHALL BE REVISED TO REFLECT THE CORRECT DEVELOPMENT PROPOSAL.
- PRIOR TO FINAL SITE PLAN APPROVAL THE APPLICANT SHALL WORK WITH PLANNING STAFF IN ORDER TO PROVIDE APPROPRIATE PEDESTRIAN CONNECTIVITY BETWEEN THE TWO DEVELOPMENT AREAS AND FOR THE OVERALL COMMUNITY.
- COUNCIL APPROVED TRAFFIC CONDITIONS MAY BE MODIFIED BASED ON SUBSEQUENT REVIEW AND APPROVAL OF A NEW TRAFFIC IMPACT STUDY BY METRO TRAFFIC ENGINEER AND/OR THE PLANNING COMMISSION.
- FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE RM20 ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
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(615) 244-8591 FAX (615) 244-4759 WWW.RAGANSMITH.COM

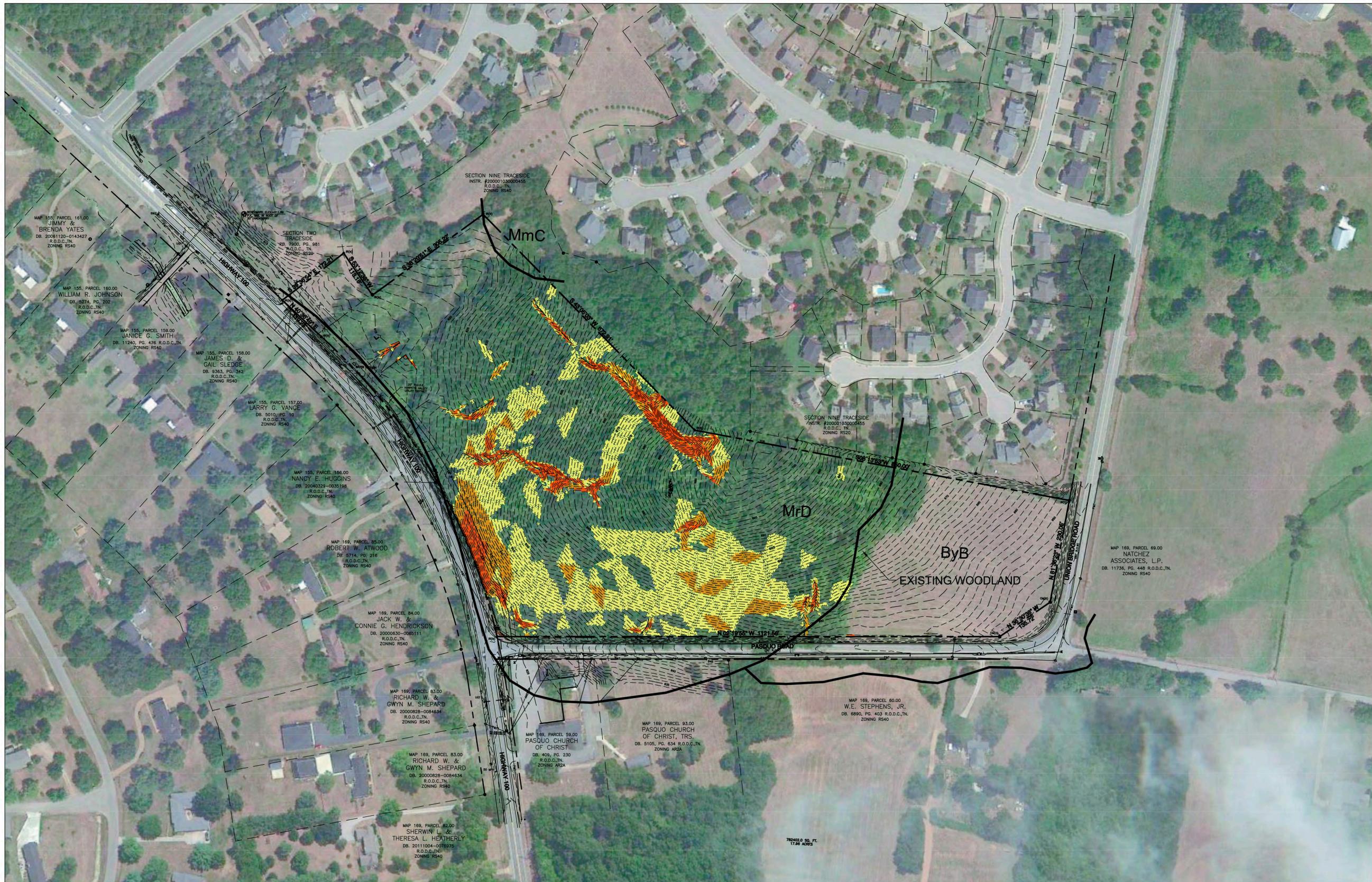


STEPHENS VILLAGE EAST
PRELIMINARY SP - METRO CASE # 2012SP-012-001
35th COUNCILMANIC DISTRICT OF METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

DATE:	March 29, 2012
DESIGNED:	S. Bernick
DRAWN:	D. Kirsham
SCALE:	N/A
JOB NO.	87-041
WK. ORDER	9408
REVISIONS:	05/21/12 - (HLY) PER 05/15/12 - (JDK) PER 05/15/12 - (JDK) PER PLANNING COMMENTS

COVER
SHEET

CVR



SLOPE AND SOIL ANALYSIS & NOTES

Slope Range (%)	Plan Area (sq ft)	% of Total Area
0.00 - 15.00	687019.87	68.22
15.00 - 20.00	146186.68	14.66
20.00 - 25.00	42933.91	4.35
25.00 - VERT	120029.74	12.77
Totals	996170.20	100.00

SOILS: SOILS FOR THE ENTIRE SITE ARE COMPRISED OF THREE SOIL TYPES. FIRST IS BYB, (BYLER SILT LOAM), THE BYLER SERIES CONSISTS OF VERY DEEP, MODERATELY WELL DRAINED SOILS WITH A FRAGIPAN. IT IS ON NEARLY LEVEL TO UNDULATING STREAM TERRACES. THE SOIL FORMED IN SILTY ALLUVIUM AND THE UNDERLYING CLAYEY RESIDUUM OF LIMESTONE. SLOPES RANGE FROM 0 TO 12 PERCENT. SECOND AND THIRD ARE MmC AND MrD, THE MIMOSA SERIES CONSISTS OF DEEP, WELL DRAINED, SLOWLY PERMEABLE SOILS THAT FORMED IN CLAYEY RESIDUUM FROM PHOSPHATIC LIMESTONE. THESE SOILS ARE ON GENTLY SLOPING TO STEEP UPLANDS WITH MEDIUM TO RAPID RUNOFF. NEAR THE TYPE LOCATION, AVERAGE ANNUAL PRECIPITATION IS 49 INCHES AND AVERAGE ANNUAL AIR TEMPERATURE IS 60 DEGREES F. SLOPES RANGE FROM 2 TO 45 PERCENT.

A SOIL RESOURCE REPORT WAS CREATED USING THE USDA - NATURAL RESOURCES CONSERVATION SERVICE ONLINE SOFTWARE ON MARCH 23, 2012. NO ON-SITE SOIL REPORT/ANALYSIS HAS BEEN CONDUCTED ON THIS PROPERTY. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

RAGAN • SMITH
 LAND PLANNERS • CIVIL ENGINEERS
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 316 WOODLAND ST., P.O. BOX 6070 NASHVILLE, TN 37206
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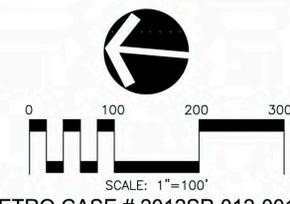
STEPHENS VILLAGE EAST
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 35th COUNCILMANIC DISTRICT, METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

DATE:	March 29, 2012
DESIGNED:	S. Bernick
DRAWN:	D. Kiriham
SCALE:	1"=100'
JOB NO.:	WK ORDER 87-041
REVISIONS:	9408

EXISTING CONDITIONS PLAN
C1.1

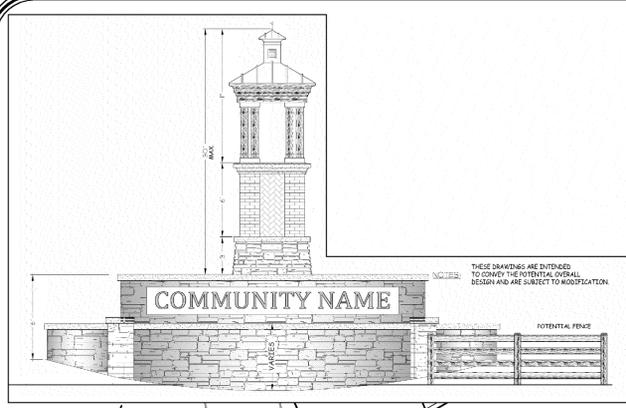


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 1-800-351-1111
 1-615-366-1987
 TENNESSEE WE CALL IT'S THE LAW

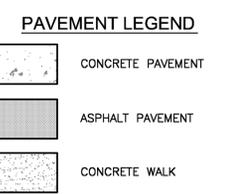


METRO CASE # 2012SP-012-001

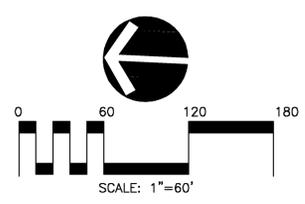
DRAWING FILE PATH:



SECTION NINE TRACESIDE
INSTR. #200001030000455
R.O.D.C., TN,
ZONING RS40

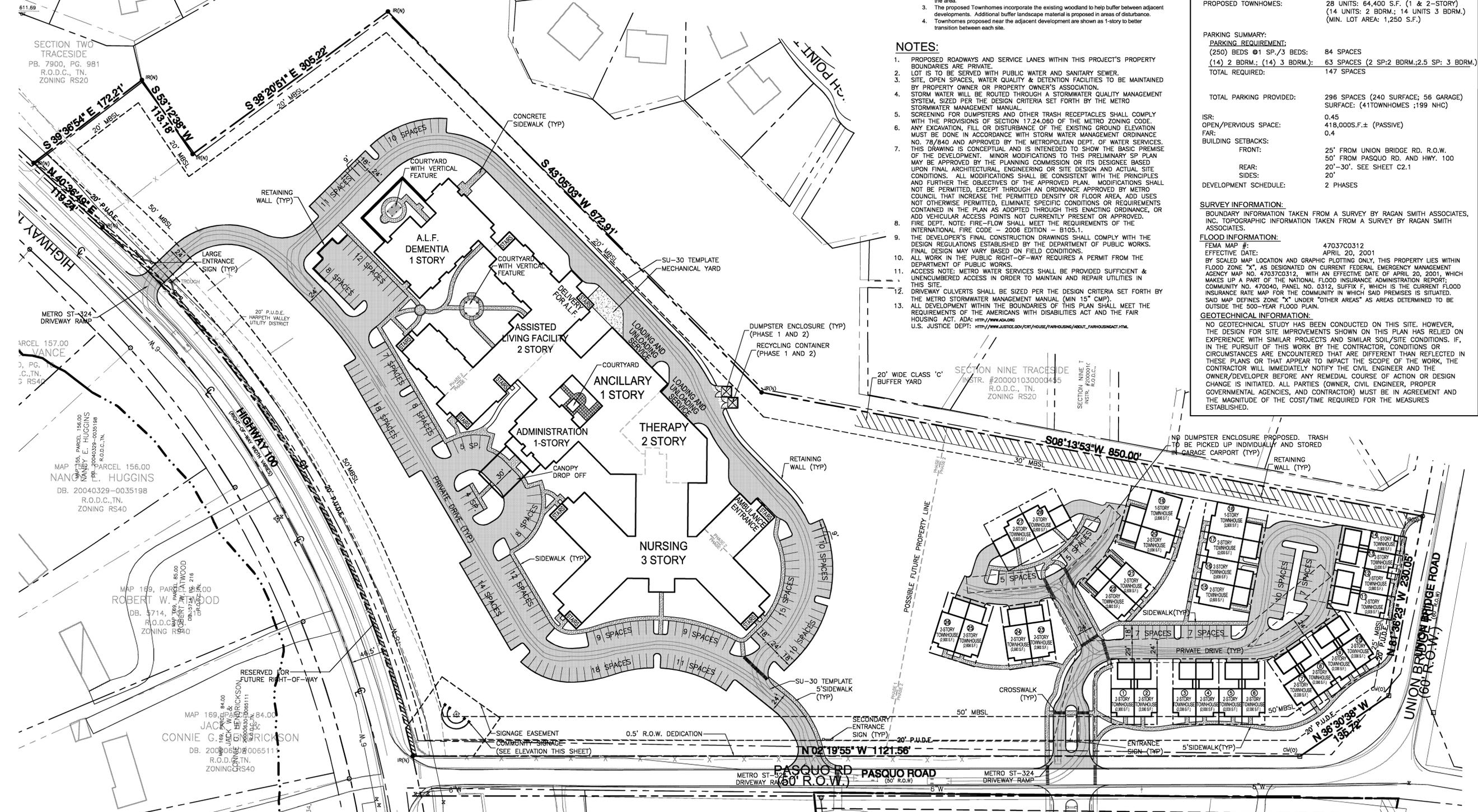


SPECIAL NOTE:
FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND APPLICABLE REQUIREMENTS OF THE RM20 ZONING DISTRICT AS OF THE DATE OF THE REQUEST OR APPLICATION.



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EXAMPLE COMMUNITY SIGN ELEVATION N.T.S.



PURPOSE NOTE:
THE APPLICANT IS REQUESTING A CHANGE FROM THE CURRENT ZONING OF RS-40 TO SP. THIS REQUEST IS NECESSARY FOR THE IMPLEMENTATION OF A 1-3 STORY HEALTH CARE FACILITY ALONG WITH 28 TOWNHOMES IN ORDER TO CREATE A DEVELOPMENT OF APPROPRIATE USE AND DENSITY. THIS REQUEST WILL ALLOW THE DEVELOPMENT TO MAXIMIZE OPEN SPACE AND TREE PRESERVATION.

GENERAL PLAN CONSISTENCY:
The following description identifies specific principles and objectives of the General Plan and how the design and layout of the proposed SP will be consistent with such principles and objectives:
Community Character Policy
General Plan Objective: "pedestrian connections should be provided to the adjacent Conservation policy Area."
SP Response: Proposed sidewalks and crosswalks along Pasquo Road are provided to promote connectivity to the proposed Stephens Village West development.

General Plan Objective: "Development that transitions to the rural character of that area...should be provided."
SP Response: The proposed site plan has been designed to maintain the rural character along Highway 100. Some elements of the plan that help to achieve this are:
1. The proposed NHC building is setback approximately 200' from the current edge of pavement. There is also approximately 30'-40' vertical clearance between the elevation of the NHC building and the existing Highway 100 grade, with a good portion of this area preserved as natural wooded area. Supplemental plantings are proposed within the disturbed areas to aid in this transition.
2. The architecture of the NHC building will complement the existing rural/suburban character of the area.
3. The proposed Townhomes incorporate the existing woodland to help buffer between adjacent developments. Additional buffer landscape material is shown in areas of disturbance.
4. Townhomes proposed near the adjacent development are shown as 1-story to better transition between each site.

NOTES:

- PROPOSED ROADWAYS AND SERVICE LANES WITHIN THIS PROJECT'S PROPERTY BOUNDARIES ARE PRIVATE.
- LOT IS TO BE SERVED WITH PUBLIC WATER AND SANITARY SEWER.
- SITE, OPEN SPACES, WATER QUALITY & DETENTION FACILITIES TO BE MAINTAINED BY PROPERTY OWNER OR PROPERTY OWNER'S ASSOCIATION.
- STORM WATER WILL BE ROUTED THROUGH A STORMWATER QUALITY MANAGEMENT SYSTEM. DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL.
- SCREENING FOR DUMPSTERS AND OTHER TRASH RECEPTACLES SHALL COMPLY WITH THE PROVISIONS OF SECTION 17.24.080 OF THE METRO ZONING CODE. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPT. OF WATER SERVICES. THIS DRAWING IS CONCEPTUAL AND IS INTENDED TO SHOW THE BASIC PREMISE OF THE DEVELOPMENT. MINOR MODIFICATIONS TO THIS PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- FIRE DEPT. NOTE: FIRE-FLOW SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE - 2006 EDITION - B105.1.
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- ACCESS NOTE: METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- DRIVEWAY CULVERTS SHALL BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MIN 15" CMP).
- ACCESS NOTE: METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- DRIVEWAY CULVERTS SHALL BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MIN 15" CMP).
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SITE DATA:
PROPERTY INFORMATION:
SITE APPLICATION NUMBER: 2012SP-012-001
COUNCIL DISTRICT NUMBER: 35th
DISTRICT COUNCIL MEMBER: MR. BO MITCHELL
SP NAME: STEPHENS VILLAGE EAST
PROPERTY OWNER: W.E. STEPHENS
PARCEL/S ACREAGE: 17.96 AC. +/- (782,402 S.F.)
EX. BUILDING S.F. / USE: 0 S.F. / UNDEVELOPED
TAX MAP: 169.00
PARCELS: 67.00
STREET ADDRESS: 0 HWY. 100, NASHVILLE, TN 37221

DEVELOPER:
TOM CAMPBELL, CCIM
NHC/OP, L.P.
100 VINE ST., CITY CENTER
MURFREESBORO, TN 37130
(615) 890-2020
tccampbell@hccore.com

PROJECT ENGINEER:
MR. JASON KILGORE
RAGAN-SMITH-ASSOCIATES, INC.
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
(615) 244-6739 FAX

ZONING INFORMATION:
ZONING CLASSIFICATION: RS40 SINGLE FAMILY BELLEVUE; T3 SUB. NEIGHBORHOOD EVOLVING SP - MR (MIXED RESIDENTIAL)
PROPOSED ZONING:
PROPOSED SITE:
PROPOSED NHC BUILDING: 181,030 S.F. (250 BEDS/UNITS)
ASSISTED LIVING: 48,658 S.F. (2-STORY)
ADMINISTRATION/ANCILLARY: 12,237 S.F. (1-STORY)
THERAPY/NURSING S.F.: 109,295 S.F. (2 & 3-STORY)
DEMENZA S.F.: 10,840 S.F. (1-STORY)
PROPOSED TOWNHOMES: 28 UNITS: 64,400 S.F., (1 & 2-STORY)
(14 UNITS: 2 BDRM.; 14 UNITS 3 BDRM.)
(MIN. LOT AREA: 1,250 S.F.)

PARKING SUMMARY:
PARKING REQUIREMENT:
(250) BEDS @ 1 SP./3 BEDS: 84 SPACES
(14) 2 BDRM.; (14) 3 BDRM.: 63 SPACES (2 SP:2 BDRM.;2.5 SP: 3 BDRM.)
TOTAL REQUIRED: 147 SPACES

TOTAL PARKING PROVIDED: 296 SPACES (240 SURFACE; 56 GARAGE)
SURFACE: (41TOWNHOMES ;199 NHC)
ISR: 0.45
OPEN/PERVIOUS SPACE: 418,000S.F.± (PASSIVE)
FAR: 0.4
BUILDING SETBACKS:
FRONT: 25' FROM UNION BRIDGE RD. R.O.W.
50' FROM PASQUO RD. AND HWY. 100
REAR: 20'-30'. SEE SHEET C2.1
SIDES: 20'
DEVELOPMENT SCHEDULE: 2 PHASES

SURVEY INFORMATION:
BOUNDARY INFORMATION TAKEN FROM A SURVEY BY RAGAN SMITH ASSOCIATES, INC. TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY RAGAN SMITH ASSOCIATES.

FLOOD INFORMATION:
FEMA MAP #: 47037C0312
EFFECTIVE DATE: APRIL 20, 2001
BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47037C0312, WITH AN EFFECTIVE DATE OF APRIL 20, 2001, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT, COMMUNITY NO. 470040, PANEL NO. 0312, SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE AT RISK FOR FLOOD PLAIN.

GEOTECHNICAL INFORMATION:
NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

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LAWRENCE J. KILGORE
REGISTERED PROFESSIONAL ENGINEER
NO. 108400
STATE OF TENNESSEE

STEPHENS VILLAGE EAST
PRELIMINARY SP - METRO CASE # 2012SP-012-001
35th COUNCILMANIC DISTRICT OF METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

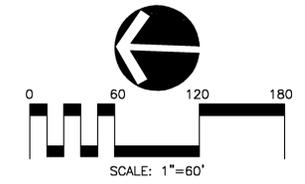
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JOB NO. 87-041
REVISIONS:
05/21/12 (HLY) PER COND. OF APPROVAL
05/15/12 (CDK) PER PLANNING COMMENTS

PRELIMINARY LAYOUT PLAN
C2.1



GENERAL NOTES:

- LOT IS TO BE SERVED WITH PUBLIC WATER AND SANITARY SEWER.
- SITE OPEN SPACES, WATER QUALITY & DETENTION FACILITIES TO BE MAINTAINED BY PROPERTY OWNER OR PROPERTY OWNERS ASSOCIATION.
- STORM WATER WILL BE ROUTED THROUGH A STORMWATER QUALITY MANAGEMENT SYSTEM, SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- PRELIMINARY DRAWING NOTE - THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- FIRE DEPT. NOTE: FIRE-FLOW SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE - 2006 EDITION - §105.11.
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- ACCESS NOTE: METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- DRIVEWAY CULVERTS SHALL BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MIN 15" CMP).
- PROPOSED UTILITY METERS WILL BE LOCATED OUTSIDE THE PUBLIC R.O.W.
- NEC FOLLOWS THE NATIONAL FIRE PROTECTION ASSOCIATION RULES; REFER TO NFPA 70 ARTICLE 450-27; AND NESC SECTION 15 - 152A.2 FOR COMPLETE RULES.



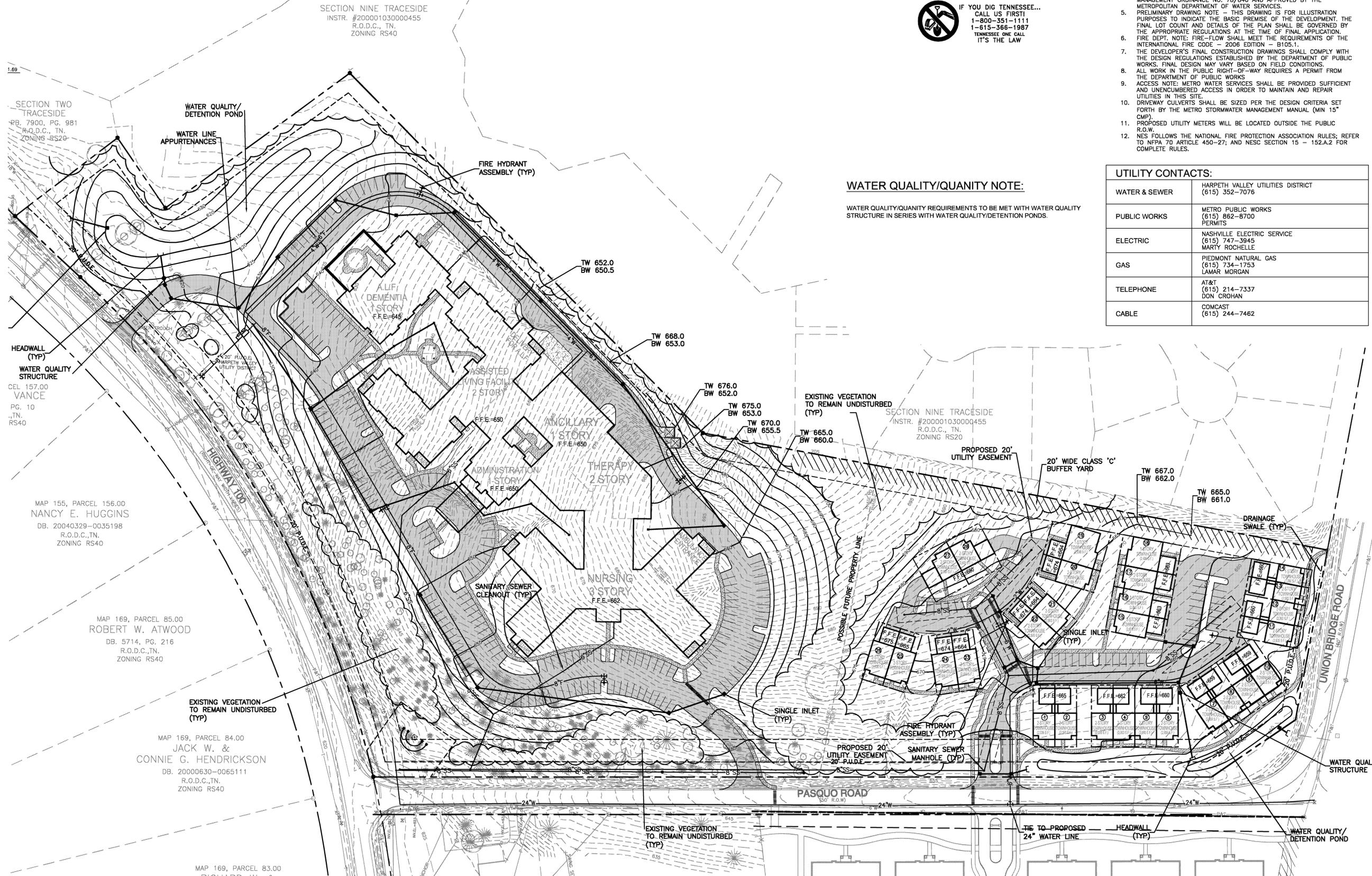
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WATER QUALITY/QUANTITY NOTE:

WATER QUALITY/QUANTITY REQUIREMENTS TO BE MET WITH WATER QUALITY STRUCTURE IN SERIES WITH WATER QUALITY/DETENTION PONDS.

UTILITY CONTACTS:

WATER & SEWER	HARPETH VALLEY UTILITIES DISTRICT (615) 352-7076
PUBLIC WORKS	METRO PUBLIC WORKS (615) 862-8700 PERMITS
ELECTRIC	NASHVILLE ELECTRIC SERVICE (615) 747-3945 MARTY ROCHELLE
GAS	PIEDMONT NATURAL GAS (615) 734-1753 LAMAR MORGAN
TELEPHONE	AT&T (615) 214-7337 DON CROHAN
CABLE	COMCAST (615) 244-7462



SECTION TWO TRACESIDE
 INSTR. #20000103000455
 R.O.D.C., TN,
 ZONING RS20

HEADWALL (TYP)
 WATER QUALITY STRUCTURE
 CEL 157.00
 VANCE
 PG. 10
 .TN,
 RS40

MAP 155, PARCEL 156.00
 NANCY E. HUGGINS
 DB. 20040329-0035198
 R.O.D.C., TN,
 ZONING RS40

MAP 169, PARCEL 85.00
 ROBERT W. ATWOOD
 DB. 5714, PG. 216
 R.O.D.C., TN,
 ZONING RS40

MAP 169, PARCEL 84.00
 JACK W. &
 CONNIE G. HENDRICKSON
 DB. 20000630-0065111
 R.O.D.C., TN,
 ZONING RS40

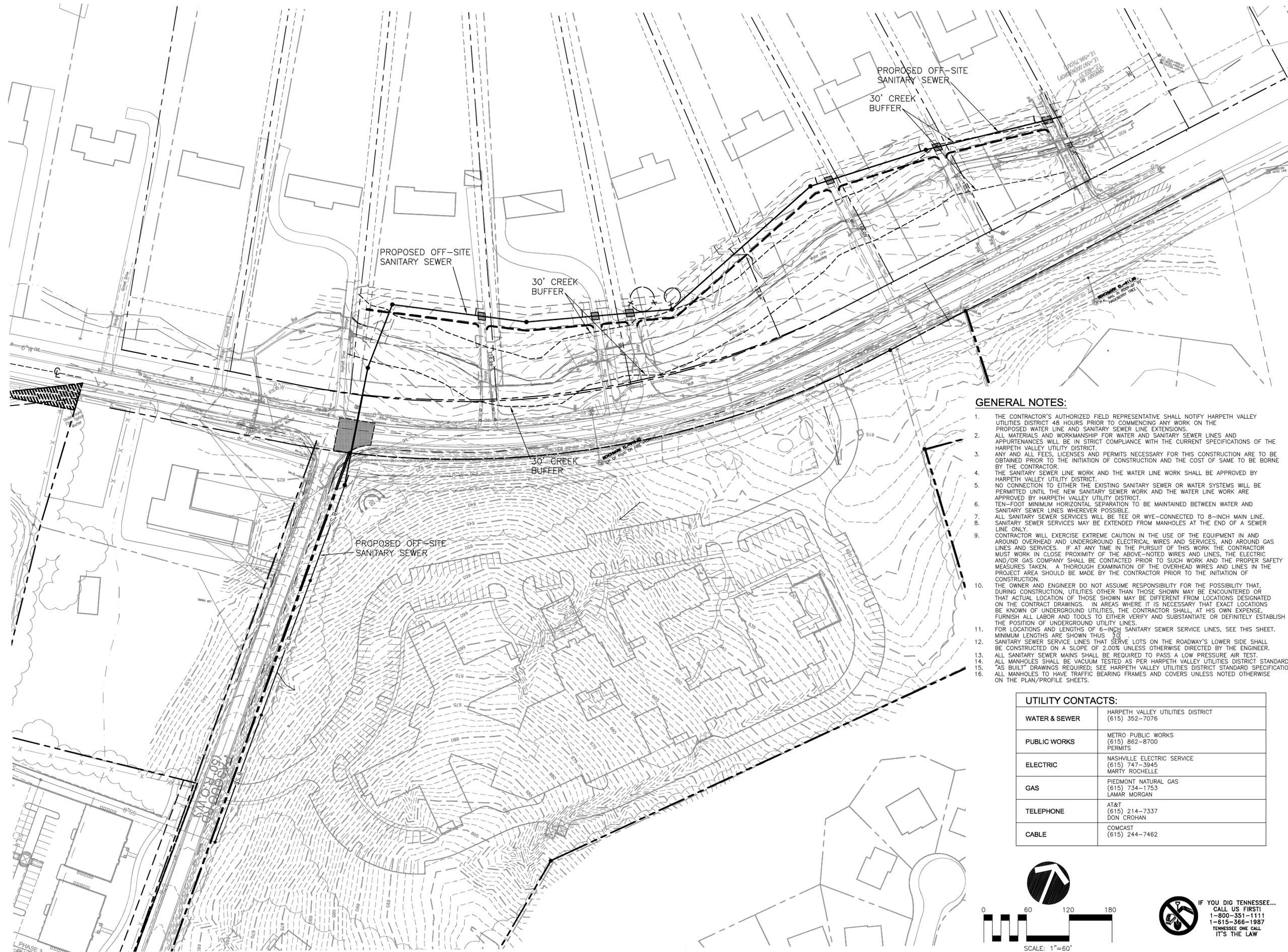
MAP 169, PARCEL 83.00
 RICHARD W. ...

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 PRELIMINARY SP - METRO CASE # 2012SP-012-001
 35th COUNCILMANIC DISTRICT OF METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

DATE:	March 29, 2012
DESIGNED:	J. Kilgore
DRAWN:	D. Kirsham
SCALE:	1"=60'
JOB NO.	WK ORDER 87-041
REVISONS	9408

PRELIMINARY
 GRADING, DRAINAGE
 AND UTILITIES PLAN

C3.1

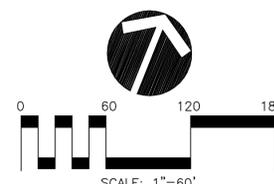


GENERAL NOTES:

1. THE CONTRACTOR'S AUTHORIZED FIELD REPRESENTATIVE SHALL NOTIFY HARPETH VALLEY UTILITIES DISTRICT 48 HOURS PRIOR TO COMMENCING ANY WORK ON THE PROPOSED WATER LINE AND SANITARY SEWER LINE EXTENSIONS.
2. ALL MATERIALS AND WORKMANSHIP FOR WATER AND SANITARY SEWER LINES AND APPURTENANCES WILL BE IN STRICT COMPLIANCE WITH THE CURRENT SPECIFICATIONS OF THE HARPETH VALLEY UTILITY DISTRICT.
3. ANY AND ALL FEES, LICENSES AND PERMITS NECESSARY FOR THIS CONSTRUCTION ARE TO BE OBTAINED PRIOR TO THE INITIATION OF CONSTRUCTION AND THE COST OF SAME TO BE BORNE BY THE CONTRACTOR.
4. THE SANITARY SEWER LINE WORK AND THE WATER LINE WORK SHALL BE APPROVED BY HARPETH VALLEY UTILITY DISTRICT.
5. NO CONNECTION TO EITHER THE EXISTING SANITARY SEWER OR WATER SYSTEMS WILL BE PERMITTED UNTIL THE NEW SANITARY SEWER WORK AND THE WATER LINE WORK ARE APPROVED BY HARPETH VALLEY UTILITY DISTRICT.
6. TEN-FOOT MINIMUM HORIZONTAL SEPARATION TO BE MAINTAINED BETWEEN WATER AND SANITARY SEWER LINES WHEREVER POSSIBLE.
7. ALL SANITARY SEWER SERVICES WILL BE TEE OR WYE-CONNECTED TO 8-INCH MAIN LINE. SANITARY SEWER SERVICES MAY BE EXTENDED FROM MANHOLES AT THE END OF A SEWER LINE ONLY.
8. CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF THE EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND ELECTRICAL WIRES AND SERVICES, AND AROUND GAS LINES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED WIRES AND LINES, THE ELECTRIC AND/OR GAS COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES AND LINES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
9. THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITY LINES.
10. FOR LOCATIONS AND LENGTHS OF 6-INCH SANITARY SEWER SERVICE LINES, SEE THIS SHEET. MINIMUM LENGTHS ARE SHOWN THUS $\frac{10}{10}$.
11. SANITARY SEWER SERVICE LINES THAT SERVE LOTS ON THE ROADWAY'S LOWER SIDE SHALL BE CONSTRUCTED ON A SLOPE OF 2.00% UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
12. ALL SANITARY SEWER MAINS SHALL BE REQUIRED TO PASS A LOW PRESSURE AIR TEST.
13. ALL MANHOLES SHALL BE VACUUM TESTED AS PER HARPETH VALLEY UTILITIES DISTRICT STANDARDS.
14. "AS BUILT" DRAWINGS REQUIRED; SEE HARPETH VALLEY UTILITIES DISTRICT STANDARD SPECIFICATIONS.
15. ALL MANHOLES TO HAVE TRAFFIC BEARING FRAMES AND COVERS UNLESS NOTED OTHERWISE ON THE PLAN/PROFILE SHEETS.
- 16.

UTILITY CONTACTS:

WATER & SEWER	HARPETH VALLEY UTILITIES DISTRICT (615) 352-7076
PUBLIC WORKS	METRO PUBLIC WORKS (615) 862-8700 PERMITS
ELECTRIC	NASHVILLE ELECTRIC SERVICE (615) 747-3945 MARTY ROCHELLE
GAS	PIEDMONT NATURAL GAS (615) 734-1753 LAMAR MORGAN
TELEPHONE	AT&T (615) 214-7337 DON OROHAN
CABLE	COMCAST (615) 244-7462



STEPHENS VILLAGE EAST

FOR

PRELIMINARY SP - METRO CASE # 2012SP-012-001

35th COUNCILMANIC DISTRICT OF METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

RAGAN SMITH
 LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 RAGAN SMITH ASSOCIATES, INC.
 315 WOODLAND ST. P.O. BOX 6070 NASHVILLE, TN 37206
 (615) 244-8861 FAX (615) 244-6739 WWW.RAGANSMITH.COM



DATE:	March 29, 2012
DESIGNED:	S. Bemick
DRAWN:	D. Kirkham
SCALE:	1"=60'
JOB NO.	WK ORDER 9408
	87-041
	05/15/12 (JDK) PER PLANNING COMMENTS REVISIONS

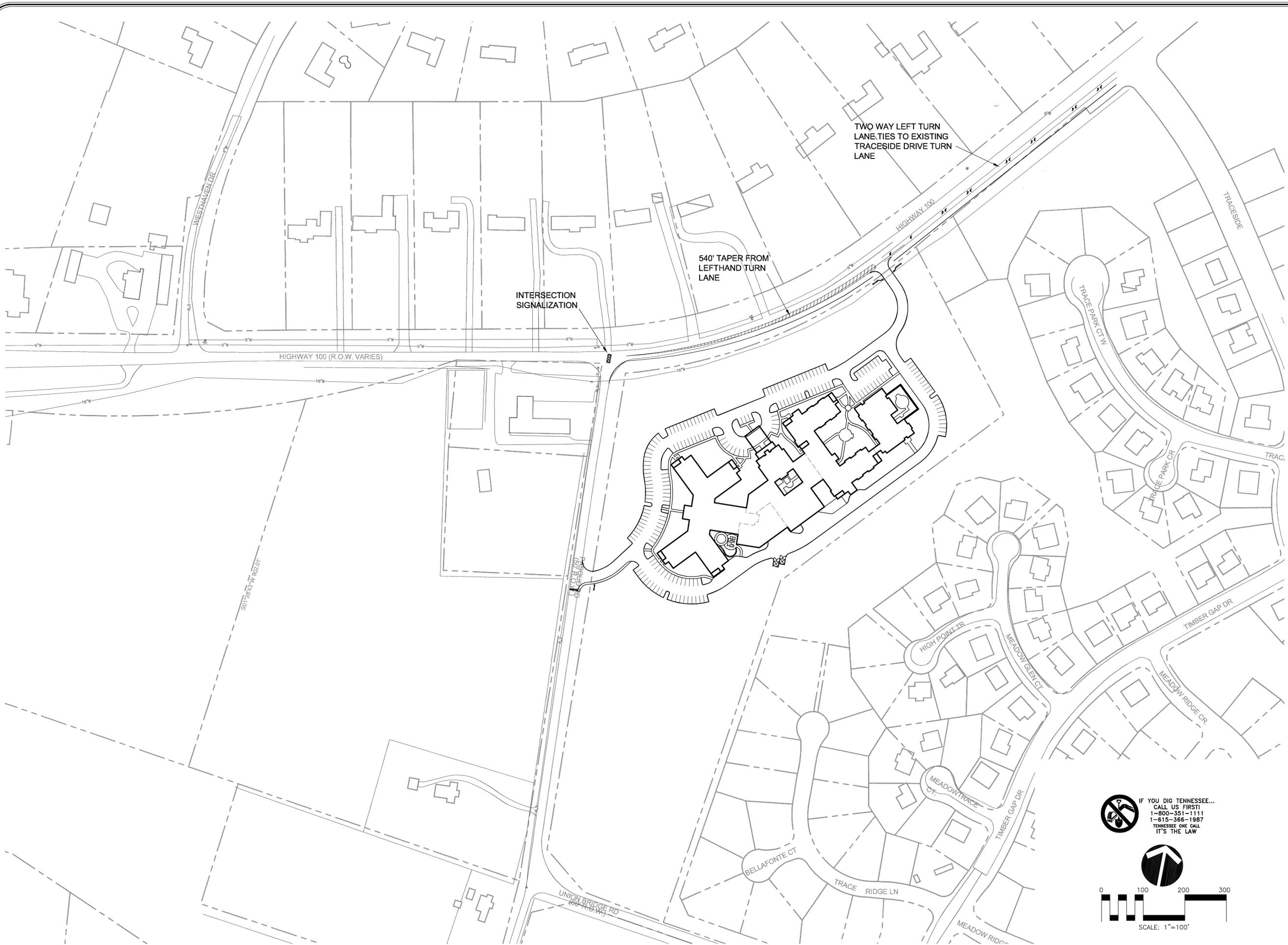
PRELIMINARY OFFSITE SEWER PLAN

C4.1

METRO CASE # 2012SP-012-001

DRAWING FILE PATH:

PHASE 3



DRAWING FILE PATH:

RAGAN SMITH

LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 RAGAN SMITH ASSOCIATES, INC.
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STEPHENS VILLAGE EAST

PRELIMINARY SP

35th COUNCILMANIC DISTRICT OF METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

IF YOU DIG TENNESSEE... CALL US FIRST!
 1-800-351-1111
 1-615-366-1987
 TENNESSEE ONE CALL IT'S THE LAW

SCALE: 1"=100'

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	9408

PHASE I
 ROADWAY
 IMPROVEMENTS PLAN

C5.1

METRO CASE # 2012SP-012-001



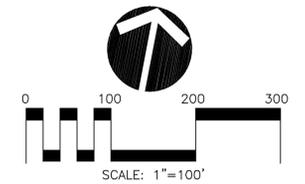
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STEPHENS VILLAGE EAST
 PRELIMINARY SP - METRO CASE # 2012SP-012-001
 35th COUNCILMANIC DISTRICT OF METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

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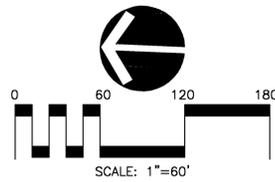


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SCALE:	1"=100'
JOB NO.	WK ORDER 9408
	87-041

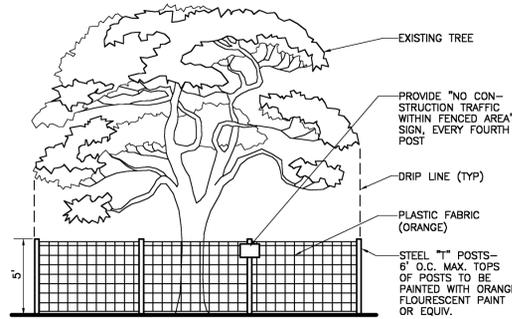
PHASE II
 ROADWAY
 IMPROVEMENTS PLAN

C5.2

METRO CASE # 2012SP-012-001



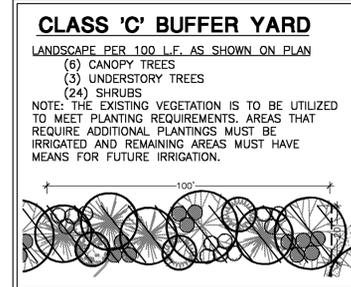
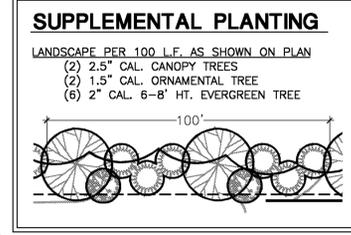
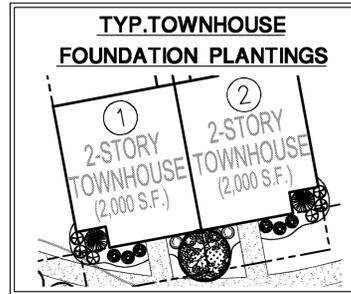
SECTION NINE TRACESIDE
INSTR. #200001030000455
R.O.D.C., TN.
ZONING RS40



TREE PROTECTION DETAIL
NOT TO SCALE

NOTE:
ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT.

NOTE:
POSTS TO BE PLACED AT DRIP LINE - SEE PLANS FOR FENCE LOCATION.

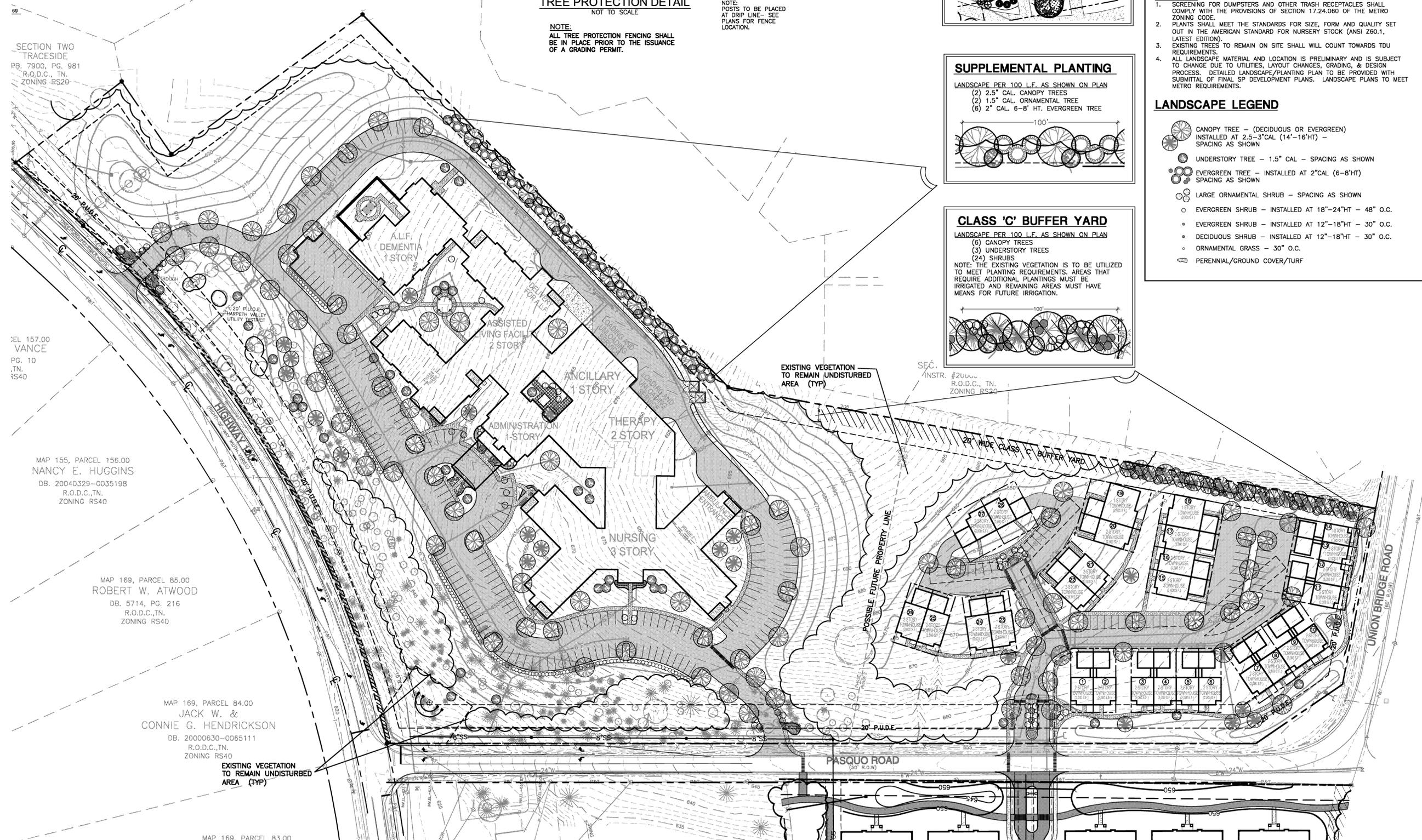


SITE DATA:
PROPERTY INFORMATION:
SITE APPLICATION NUMBER: 2012SP-012-001
COUNCIL DISTRICT NUMBER: 35th
DISTRICT COUNCIL MEMBER: MR. BO MITCHELL
SP NAME: STEPHENS VILLAGE EAST
PROPERTY OWNER: W.E. STEPHENS
EX. BUILDING ACREAGE: 17.96 AC. +/- (782,402 S.F.)
TAX MAP: 0 S.F. / SINGLE FAMILY-FARM BLDGS.
PARCELS: 169.00
STREET ADDRESS: 0 HWY. 100, NASHVILLE, TN 37221
DEVELOPER: PROJECT LANDSCAPE ARCHITECT:
MR. SCOTTY M. BERNICK, R.L.A.
RAGAN-SMITH-ASSOCIATES, INC.
315 WOODLAND STREET
NASHVILLE, TN 37208
(615) 244-8591 (615) 244-6739 FAX
PROJECT LANDSCAPE ARCHITECT:
MR. SCOTTY M. BERNICK, R.L.A.
RAGAN-SMITH-ASSOCIATES, INC.
315 WOODLAND STREET
NASHVILLE, TN 37208
(615) 244-8591 (615) 244-6739 FAX

NOTES:
1. SCREENING FOR DUMPSTERS AND OTHER TRASH RECEPTACLES SHALL COMPLY WITH THE PROVISIONS OF SECTION 17.24.060 OF THE METRO ZONING CODE.
2. PLANTS SHALL MEET THE STANDARDS FOR SIZE, FORM AND QUALITY SET OUT IN THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1, LATEST EDITION).
3. EXISTING TREES TO REMAIN ON SITE SHALL WILL COUNT TOWARDS TDU REQUIREMENTS.
4. ALL LANDSCAPE MATERIAL AND LOCATION IS PRELIMINARY AND IS SUBJECT TO CHANGE DUE TO UTILITIES, LAYOUT CHANGES, GRADING, & DESIGN PROCESS. DETAILED LANDSCAPE/PLANTING PLAN TO BE PROVIDED WITH SUBMITTAL OF FINAL SP DEVELOPMENT PLANS. LANDSCAPE PLANS TO MEET METRO REQUIREMENTS.

LANDSCAPE LEGEND

- CANOPY TREE - (DECIDUOUS OR EVERGREEN)
INSTALLED AT 2.5"-3" CAL (14'-16" HT) - SPACING AS SHOWN
- UNDERSTORY TREE - 1.5" CAL - SPACING AS SHOWN
- EVERGREEN TREE - INSTALLED AT 2" CAL (6-8" HT) SPACING AS SHOWN
- LARGE ORNAMENTAL SHRUB - SPACING AS SHOWN
- EVERGREEN SHRUB - INSTALLED AT 18"-24" HT - 48" O.C.
- EVERGREEN SHRUB - INSTALLED AT 12"-18" HT - 30" O.C.
- DECIDUOUS SHRUB - INSTALLED AT 12"-18" HT - 30" O.C.
- ORNAMENTAL GRASS - 30" O.C.
- PERENNIAL/GROUND COVER/TURF



SECTION TWO TRACESIDE
PB. 7900, PG. 981
R.O.D.C., TN
ZONING RS20

CEL 157.00
VANCE
PG. 10
TN.
RS40

MAP 155, PARCEL 156.00
NANCY E. HUGGINS
DB. 20040329-0035198
R.O.D.C., TN.
ZONING RS40

MAP 169, PARCEL 85.00
ROBERT W. ATWOOD
DB. 5714, PC. 216
R.O.D.C., TN.
ZONING RS40

MAP 169, PARCEL 84.00
JACK W. &
CONNIE G. HENDRICKSON
DB. 20000630-0065111
R.O.D.C., TN.
ZONING RS40

EXISTING VEGETATION TO REMAIN UNDISTURBED AREA (TYP)

MAP 169, PARCEL 83.00
ROBERT W. ATWOOD

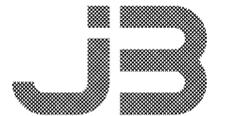
RAGAN-SMITH
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STEPHENS VILLAGE EAST
PRELIMINARY SP - METRO CASE # 2012SP-012-001
35th COUNCILMANIC DISTRICT OF METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

DATE: March 29, 2012
DESIGNED: S. Bernick
DRAWN: D. Kirsham
SCALE: 1" = 60'
JOB NO. 87-041
WK ORDER NO. 9408
COND. OF APPROVAL
REVISIONS

PRELIMINARY LANDSCAPE PLAN

L1.1



Johnson +
Bailey
Architects
P.C.

City Center
100 East Vine St.
Murfreesboro Tennessee
37130

615 · 890 · 4560
Fax: 615 · 890 · 4564

Stephens
Village
East

for
NHC/OP, L.P.

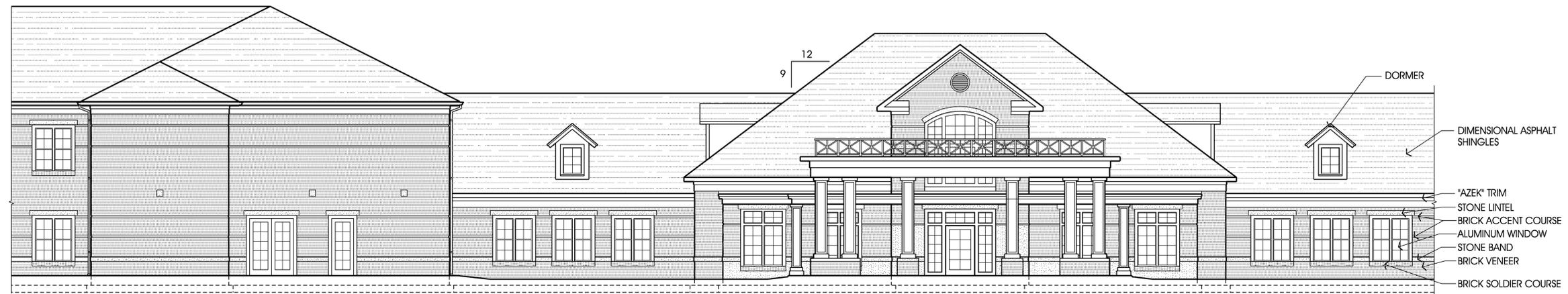
Nashville, Tennessee

REVISION	DATE
1	05-14-12

NOTES:

THIS DRAWING SHALL NOT BE REPRODUCED, PUBLISHED, OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

PROJECT NO. 1121
DATE 3-27-12
DRAWN BY B.D.S.
CHECKED BY



EXTERIOR ELEVATION

SCALE 1/8" = 1'-0"

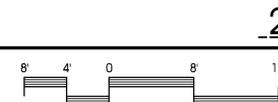


- DIMENSIONAL ASPHALT SHINGLES
- "AZEK" TRIM
- STONE LINTEL
- BRICK ACCENT COURSE
- ALUMINUM WINDOW
- STONE BAND
- BRICK VENEER
- BRICK SOLDIER COURSE



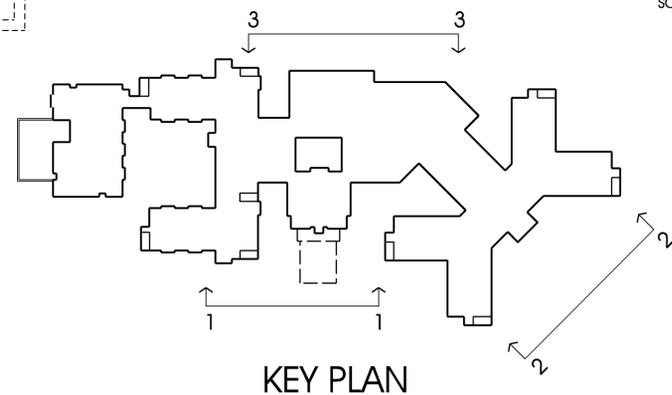
EXTERIOR ELEVATION

SCALE 1/8" = 1'-0"



- DIMENSIONAL ASPHALT SHINGLES
- "AZEK" TRIM
- STONE LINTEL
- BRICK ACCENT COURSE
- ALUMINUM WINDOW
- BRICK SOLDIER COURSE
- STONE ACCENT
- STONE LINTEL
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- STONE LINTEL
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- ALUMINUM WINDOW
- STONE BAND
- BRICK VENEER
- BRICK SOLDIER COURSE

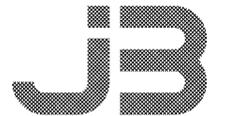
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KEY PLAN

NOTE:
DRAWINGS ARE CONCEPTUAL ONLY AND MAY CHANGE IN ACCORDANCE WITH THE FINAL SITE DESIGN, BUT SHALL BE CONSISTENT WITH THE OVERALL CONCEPT.

A1.1



Johnson +
Bailey
Architects
P.C.

City Center
100 East Vine St.
Murfreesboro Tennessee
37130

615-890-4560
Fax: 615-890-4564

Stephens
Village
East

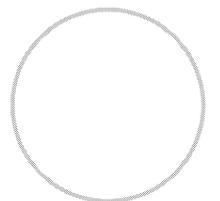
for
NHC/OP, L.P.

Nashville, Tennessee

REVISION	DATE
1	05-14-12

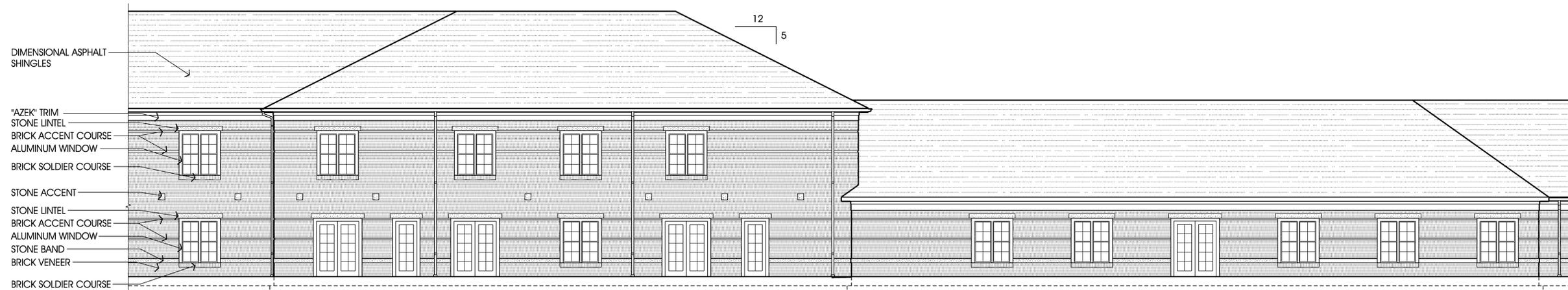
NOTES:

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PROJECT NO. 1121
DATE 3-27-12
DRAWN BY B.D.S.
CHECKED BY

A1.2

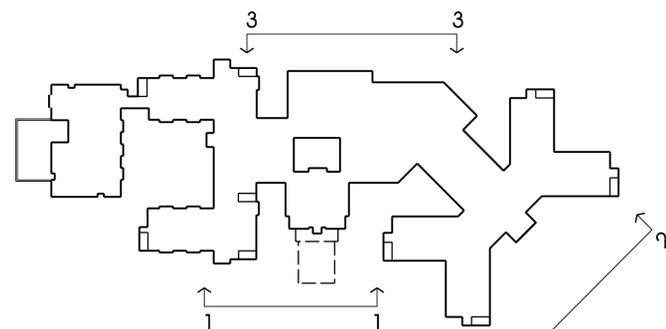
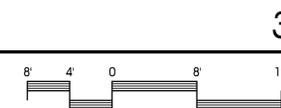


MATCHLINE



EXTERIOR ELEVATION

SCALE 1/8" = 1'-0"



KEY PLAN

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TOWNHOMES



TOWNHOMES - NO GARAGE UNITS

NOTE:

DRAWINGS ARE CONCEPTUAL ONLY AND MAY CHANGE IN ACCORDANCE WITH THE FINAL SITE DESIGN, BUT SHALL BE CONSISTENT WITH THE OVERALL CONCEPT.

TOWNHOME STANDARDS

Townhomes- A single-family dwelling attached on one or two sides fronting a street or landscaped courtyard with a parking area attached or near the unit, with fee-simple ownership.

Bulk Standards

- Minimum lot area: 1250 SF
- Minimum rear setback: 5'
- Minimum side yard setback: 0'
- Garage door setback to drive aisle: 5'-8' or 18' minimum
- Minimum setback to Pasquo Road R.O.W.: 50'
- Maximum setback to internal street R.O.W.: 5'
- Minimum setback to perimeter SP boundary: 30'
- Minimum distance between buildings: 10'
- Maximum height of buildings: 2 stories (excluding walkout basement level)

Parking

- Parking required: 1.75 spaces per unit
- Parking proposed: 2.0 spaces per unit
- Parking configuration: carport, garage, or open configuration

Signage-(1) Sign to be allowed at entrance to Townhomes as shown on plan. The following standards apply to Townhomes, not NHC entry signage. Example community sign elevation on sheet C2.1 shall not be governed by the following criteria.

General Standards:

1. Primary sign materials permitted are steel, aluminum, wood, stone, concrete, sign-foam, stucco, brick, and acrylic. Accent materials permitted are metal, glass, tile, and pre-cast stone.
2. Lighting shall be by external illumination only and bulbs shall be hidden from view.
3. The leading edge or face of the sign, or other structure to which the sign is attached, must be setback from the public right-of-way a minimum of five (5).

Height and Size Standards:

Walls to which a sign is attached, and other sign supports including posts and brackets, shall not be considered a sign, or part of a sign face, and is not regulated by following standards:

1. Maximum sign size shall be 32 square feet per sign face. A double sided sign located perpendicular to a public street shall be permitted to have 2 sign faces.
2. Maximum sign height shall be determined by sign orientation:
 - a. Vertically oriented signs, defined as having a height more than two times the width, shall have a maximum height of 12' as measured from surrounding grade.
 - b. Horizontally oriented signs, defined as having a width greater than the height, shall have a maximum height of 8' as measured from surrounding grade.

NOTE: Any development standards not specifically shown on the SP plan shall be subject to the following district standards of the Metro Nashville Zoning Ordinance:

SP Designation-Stephens Village	Default Metro Zoning District
Residential District-Townhomes	RM 20

NOTE: The drawings are conceptual only and may change with the final site plan, but shall be consistent with the overall concept drawings.

COMMUNITY SIGN HEIGHT AND SIZE STANDARDS:

Walls to which a sign is attached, other sign supports including posts and brackets, and decorative walls, towers, and roofed elements shall not be considered a sign, or part of a sign face, and is not regulated by following standards:

1. Maximum sign face size shall be 80 square feet.
2. Maximum sign face height shall be a maximum height of 10' as measured from surrounding grade.

TOWNHOME ARCHITECTURAL STANDARDS

(Regulated by the HOA)

General

1. Rhythm of ground floor architectural features shall harmonize with rhythm of upper stories.
2. Architectural features and treatments shall be consistent with the architectural style chosen.
3. Long, uninterrupted wall planes on public streets or paths shall be avoided.

Walls

1. Materials
 - a. Building walls shall be finished in brick, stone, wood siding, shingles, fiber cement siding/shingles, and stucco.
2. Configurations & Techniques
 - a. Building walls shall only change material along a horizontal line or at an intersection of two walls, i.e. brick may be combined with siding when the material change occurs horizontally (typically at floor or sill line), with the heavier material below the lighter, or at a building corner. This provision does not apply to detailing around attachments, windows and doors.
 - b. Siding shall be horizontal or vertical, maximum of 8" exposure.
 - c. Shingles shall be horizontal, maximum of 8" exposure.

Attachments

1. Materials
 - a. Chimneys shall be finished with masonry or masonry-like product.
 - b. The exterior masonry of fireplaces shall extend to grade.
 - c. Piers and arches shall be finished in masonry or stucco.
 - d. Porches may be enclosed with glass or screens: however, glass enclosures are not permitted on the principal front façade.
 - e. Decks shall not be permitted in front or side yards.
 - f. Awnings shall have a metal structure covered with canvas or synthetic canvas.
2. Configurations & Techniques
 - a. Balconies shall be structurally supported by piers, columns, brackets, tapered beams, or cantilevered.
 - b. Porches, arcades and breezeways shall have square or vertically proportioned openings (must be taller than wide).
 - c. Piers shall be no less than 12" x 12".
 - d. Posts shall be no less than 4" x 4".
 - e. Wood elements must be painted or sealed with an opaque or semisolid stain.

Roofs

1. Materials
 - a. Roofs, if sloped, shall be clad in wood shingles, fiberglass shingles or asphalt shingles.
2. Configurations & Techniques
 - a. All pitched roofs shall have a slope of 3:12 to 12:12.
 - b. Flat roofs shall be permitted on commercial buildings but shall constitute no more than 40% of the roof surface area.
 - c. Eaves shall be continuous, unless overhanging a balcony or porch.
 - d. Dormers shall have shed roofs with a minimum slope of 3:12, or hipped or gable roofs with slope to match the principal structure. Eyebrow dormers are also permitted.
 - e. Any single gable, hipped or shed dormer (on a single façade) shall be a minimum of 3'-0" wide (exterior) and shall have window.

Openings

1. Materials
 - a. Windows shall be wood (painted), aluminum clad, or vinyl and shall be glazed with clear glass or divided light.
 - b. Doors at frontages (including garage doors) shall be wood or metal. Doors shall be painted, stained, or pre-finished. Glass is permitted in doors.
 - c. Shutters shall be louvered, paneled, or board and batten.