

# SP (SPECIFIC PLAN) PRELIMINARY DEVELOPMENT PLAN FOR STEPHENS VILLAGE WEST NASHVILLE, TENNESSEE

**RAGAN SMITH**  
LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS  
RAGAN SMITH ASSOCIATES, INC.  
315 WOODLAND ST. P.O. BOX 60070 NASHVILLE, TN 37206  
(615) 244-4891 FAX (615) 244-4759 WWW.RAGANSMITH.COM



## CONTACTS

### OWNER:

W.E. STEPHENS JR - TRUSTEE  
6160 PASQUO ROAD  
NASHVILLE, TN 37221  
(615) 604-2200  
(615) 646-7082 FAX

### CONSULTANT:

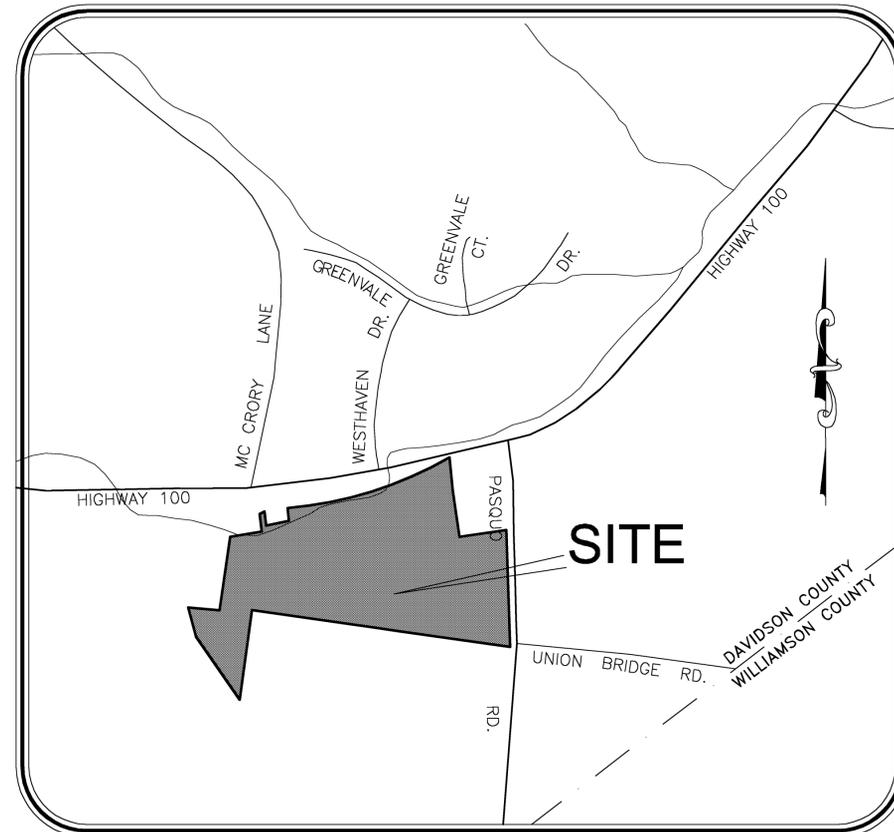
ROB PEASE  
LAND INNOVATIONS, LLC  
213 OVERLOOK CIRCLE, SUITE B-2  
BRENTWOOD, TN 37027  
(615) 376-5177 (X239)  
ROB.PEASE@CPSLAND.COM

### CIVIL ENGINEER:

RAGAN SMITH ASSOCIATES, INC.  
GEORGE WELCH, P.E.  
315 WOODLAND STREET  
NASHVILLE, TN 37206  
(615) 244-8591  
GWELCH@RAGANSMITH.COM

### LANDSCAPE ARCHITECT:

RAGAN SMITH ASSOCIATES, INC.  
SCOTTY BERNICK  
315 WOODLAND STREET  
NASHVILLE, TN 37206  
(615) 244-8591  
SBERNICK@RAGANSMITH.COM



VICINITY MAP  
NOT TO SCALE

## INDEX OF SHEETS

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### PURPOSE NOTE:

THE APPLICANT IS REQUESTING A CHANGE FROM THE CURRENT ZONING OF RS-30 AND RS-40 TO SP. THIS REQUEST IS NECESSARY FOR THE IMPLEMENTATION OF A RESIDENTIAL AND COMMERCIAL VILLAGE IN ORDER TO CREATE A DEVELOPMENT OF APPROPRIATE USE AND DENSITY. STANDARDS SET FORTH IN THIS REQUEST WILL ALLOW THE DEVELOPMENT TO MAXIMIZE OPEN SPACE AND TREE PRESERVATION.

### CONDITIONS OF APPROVAL

- USES IN THE DISTRICT SHALL BE LIMITED TO THE USES SPECIFIED IN THE SP DEVELOPMENT PLAN.
- NO DRIVE THRU FACILITIES SHALL BE PERMITTED.
- THE MAXIMUM HEIGHT OF ANY MONUMENT SIGNS SHALL NOT EXCEED SIX FEET.
- THE DEVELOPER SHALL WORK WITH METRO GREENWAYS IN COORDINATING SPECIFIC DETAILS REGARDING THE NATCHEZ TRACE CONNECTOR PROPOSED ALONG HIGHWAY 100. PRIOR TO THE APPROVAL OF ANY FINAL SITE PLAN, THE DEVELOPER SHALL OFFER THE PROPOSED GREENWAY FOR DEDICATION TO METRO. PRIOR TO FINAL SITE PLAN APPROVAL METRO GREENWAYS SHALL ACCEPT THE GREENWAY OR GREENWAYS SHALL RELIEVE THE PROJECT FROM THIS REQUIREMENT. IF METRO DOES NOT ACCEPT THE PROPOSED PATHWAY FOR GREENWAYS, THEN THE PATHWAYS SHALL REMAIN OPEN TO PUBLIC BY ACCESS EASEMENTS.
- COUNCIL APPROVED TRAFFIC CONDITIONS MAY BE MODIFIED BASED ON SUBSEQUENT REVIEW AND APPROVAL OF A NEW TRAFFIC IMPACT STUDY BY THE METRO TRAFFIC ENGINEER AND/OR THE PLANNING COMMISSION.
- FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MUL ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

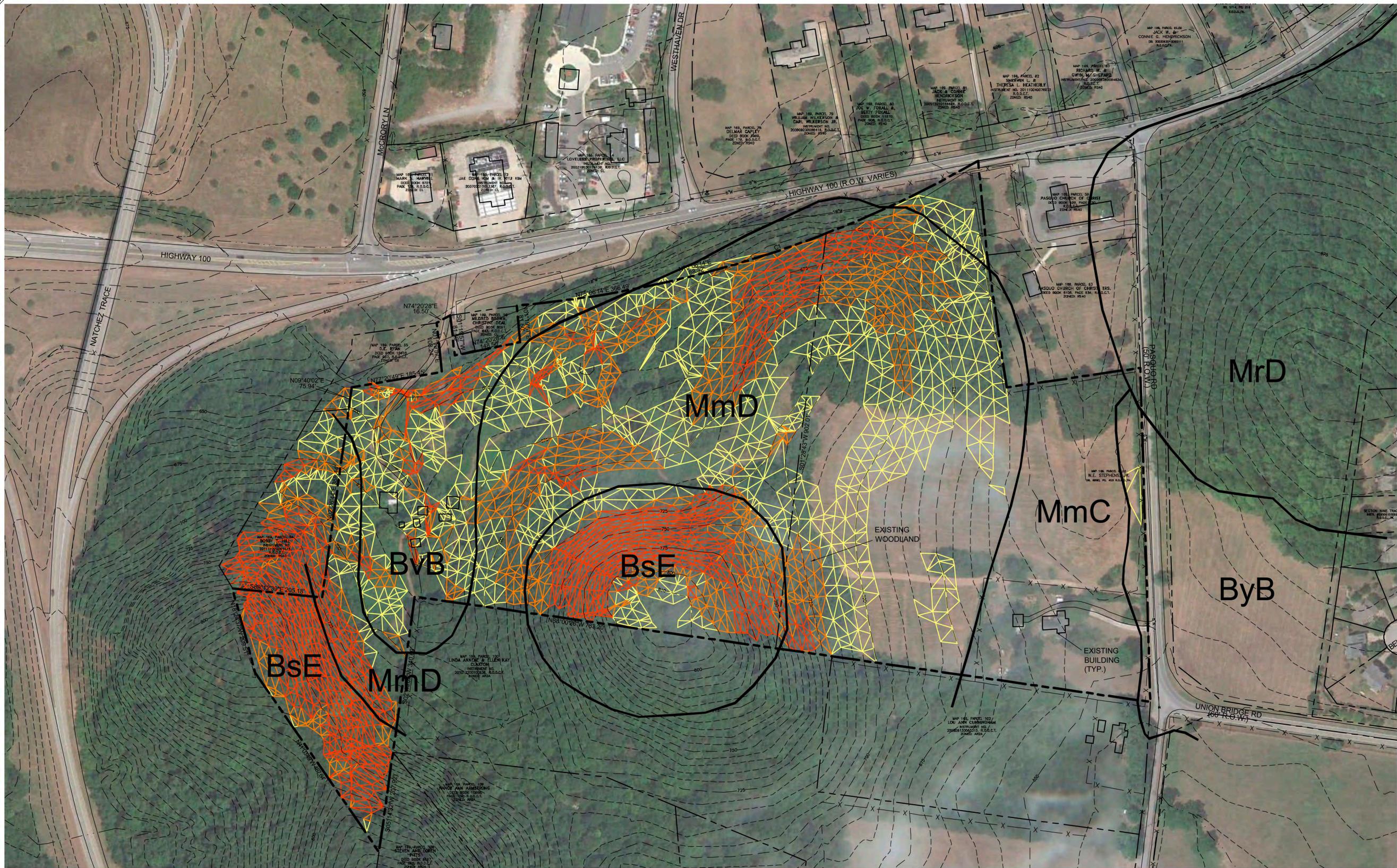
**35th COUNCILMANIC DISTRICT  
METROPOLITAN NASHVILLE  
DAVIDSON COUNTY, TENNESSEE**

**STEPHENS VILLAGE WEST**  
PRELIMINARY SP - METRO CASE # 2012SP-013-001  
35th COUNCILMANIC DISTRICT OF METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

DATE:	March 29, 2012
DESIGNED:	S. Bernick
DRAWN:	D. Kirsham
SCALE:	N/A
JOB NO.	WK ORDER 87-041
REVISIONS:	9398

COVER SHEET

**CVR**



**SLOPE AND SOIL ANALYSIS & NOTES**

Slope Range (%)	Plan Area (sq ft)	% of Total Area
0.00 - 15.00	512,831 S.F.	34.46
15.00 - 20.00	258,918 S.F.	17.67
20.00 - 25.00	226,436 S.F.	15.59
25.00 - VERT	444,447 S.F.	32.29
Totals	929,801 S.F.	100.00

**CURVE TABLE**

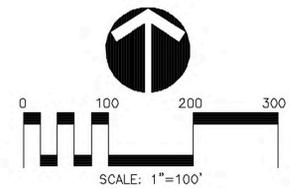
CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	09°58'41"	1400.00'	243.81'	N70°06'53.5"E	243.50'

SOILS FOR THE ENTIRE SITE ARE COMPRISED OF VARIOUS SOIL TYPES. FIRST IS BSE, (BODINE SULPHURA COMPLEX). THE BODINE SERIES CONSISTS OF VERY DEEP, SOMEWHAT EXCESSIVELY DRAINED, GRAVELLY SOILS. THESE SOILS FORMED IN COLLUVIUM OR RESIDUUM WEATHERED FROM CHERY Limestone. THEY ARE ON SHARPLY DISSECTED UPLANDS. SLOPES RANGE FROM 5 TO 70 PERCENT. NEXT IS BVB, (BRADYVILLE SILT LOAM). THE BRADYVILLE SERIES CONSISTS OF DEEP, WELL DRAINED SOILS ON UPLANDS. THESE SOILS FORMED IN RESIDUUM OF LIMESTONE OR IN A THIN SILTY MANTLE AND THE UNDERLYING CLAYEY RESIDUUM OF LIMESTONE. SLOPES RANGE FROM 0 TO 30 PERCENT. BYB, (BYLER SILT LOAM). THE BYLER SERIES CONSISTS OF VERY DEEP, MODERATELY WELL DRAINED SOILS WITH A FRAGIPAN. IT IS ON NEARLY LEVEL TO UNDULATING STREAM TERRACES. THE SOIL FORMED IN SILTY ALLUVIUM AND THE UNDERLYING CLAYEY RESIDUUM OF LIMESTONE. SLOPES RANGE FROM 0 TO 12 PERCENT. SECOND AND THIRD ARE MmC, MmD AND MrD, THE MIMOSA RESIDUUM FROM PHOSPHATIC LIMESTONE. THESE SOILS ARE ON GENTLY SLOPING TO STEEP UPLANDS WITH MEDIUM TO RAPID RUNOFF. NEAR THE TYPE LOCATION, AVERAGE ANNUAL PRECIPITATION IS 49 INCHES AND AVERAGE ANNUAL AIR TEMPERATURE IS 60 DEGREES F. SLOPES RANGE FROM 2 TO 45 PERCENT.

A SOIL RESOURCE REPORT WAS CREATED USING THE USDA - NATURAL RESOURCES CONSERVATION SERVICE ONLINE SOFTWARE ON MARCH 28, 2012. NO ON-SITE SOIL REPORT/ANALYSIS HAS BEEN CONDUCTED ON THIS PROPERTY. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.



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**STEPHENS VILLAGE WEST**  
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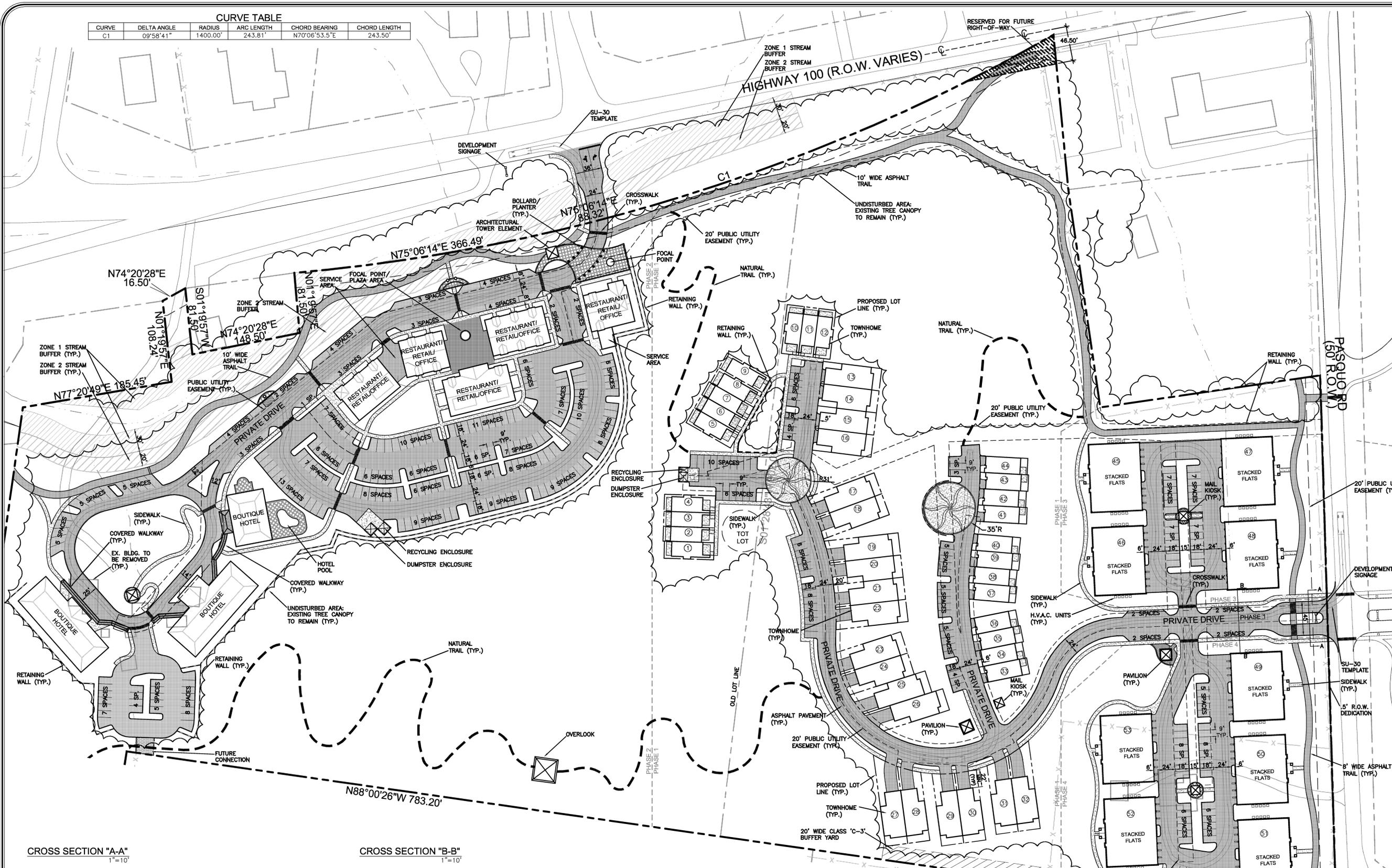
DATE:	March 29, 2012
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DRAWN:	D. Kirsham
SCALE:	1"=100'
JOB NO.:	WK ORDER 87-041
REVISIONS:	05/15/12 - (JDK) PER PLANNING COMMENTS
	9398

EXISTING CONDITIONS PLAN  
**C1.1**

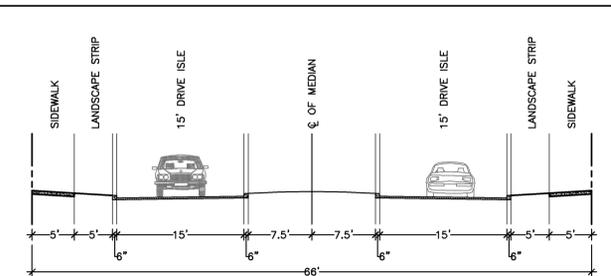
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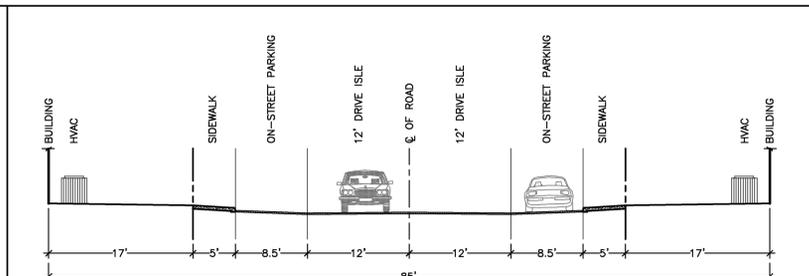
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CROSS SECTION "A-A"  
1"=10'



CROSS SECTION "B-B"  
1"=10'

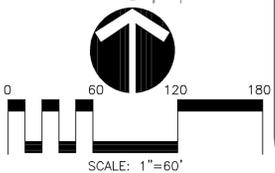


PAVEMENT LEGEND

- PERVIOUS PAVEMENT
- ASPHALT PAVEMENT
- SCORED CONCRETE, PAVERS, OR LANDSCAPE AREA
- CONCRETE WALK
- CONCRETE PAVERS

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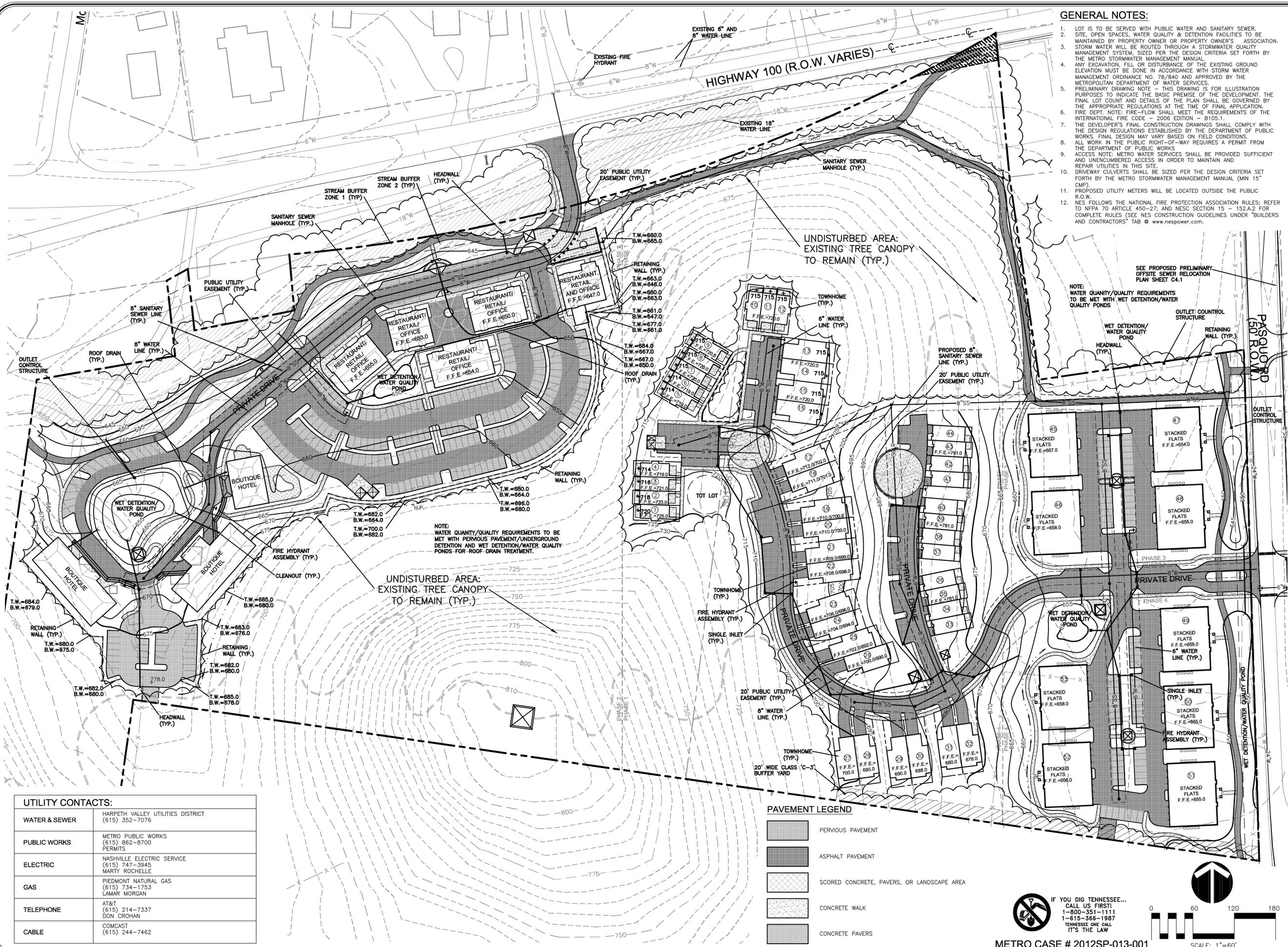


**STEPHENS VILLAGE WEST**  
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DATE:	March 29, 2012
DESIGNED:	S. Bemick
DRAWN:	D. Kirham
SCALE:	1"=60'
JOB NO.:	05/29/12-(JDK) PER CITY COMMENTS
REVISIONS:	05/15/12-(JDK) PER PLANNING COMMENTS
WK. ORDER NO.:	9398
87-041	

PRELIMINARY LAYOUT PLAN

C2.2



- GENERAL NOTES:**
1. LOT IS TO BE SERVED WITH PUBLIC WATER AND SANITARY SEWER. SITE, OPEN SPACES, WATER QUALITY & DETENTION FACILITIES TO BE MAINTAINED BY PROPERTY OWNER OR PROPERTY OWNER'S ASSOCIATION.
  2. STORM WATER WILL BE ROUTED THROUGH A STORMWATER QUALITY MANAGEMENT SYSTEM, SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL.
  3. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
  4. PRELIMINARY DRAWING NOTE - THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
  5. FIRE DEPT. NOTE: FIRE-FLOW SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE - 2006 EDITION - B105.1.
  6. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
  7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
  8. ACCESS NOTE: METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
  9. DRIVEWAY CULVERTS SHALL BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MIN 15" CMP).
  10. PROPOSED UTILITY METERS WILL BE LOCATED OUTSIDE THE PUBLIC R.O.W.
  11. NES FOLLOWS THE NATIONAL FIRE PROTECTION ASSOCIATION RULES; REFER TO NFPA 70 ARTICLE 450-27; AND NESC SECTION 15 - 152.A.2 FOR COMPLETE RULES (SEE NES CONSTRUCTION GUIDELINES UNDER "BUILDERS AND CONTRACTORS" TAB @ www.nespower.com).
  12. SEE PROPOSED PRELIMINARY OFFSITE SEWER RELOCATION PLAN SHEET C4.1
- NOTE: WATER QUANTITY/QUALITY REQUIREMENTS TO BE MET WITH WET DETENTION/WATER QUALITY PONDS

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 35th COUNCILMANIC DISTRICT OF METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

**UTILITY CONTACTS:**

WATER & SEWER	HARPEATH VALLEY UTILITIES DISTRICT (615) 352-7076
PUBLIC WORKS	METRO PUBLIC WORKS (615) 862-8700 PERMITS
ELECTRIC	NASHVILLE ELECTRIC SERVICE (615) 747-3945 MARTY ROCHELLE
GAS	PIEDMONT NATURAL GAS (615) 734-1753 LAMAR MORGAN
TELEPHONE	AT&T (615) 214-7337 DON CROHAN
CABLE	COMCAST (615) 244-7462

**PAVEMENT LEGEND**

	PERVIOUS PAVEMENT
	ASPHALT PAVEMENT
	SCORED CONCRETE, PAVERS, OR LANDSCAPE AREA
	CONCRETE WALK
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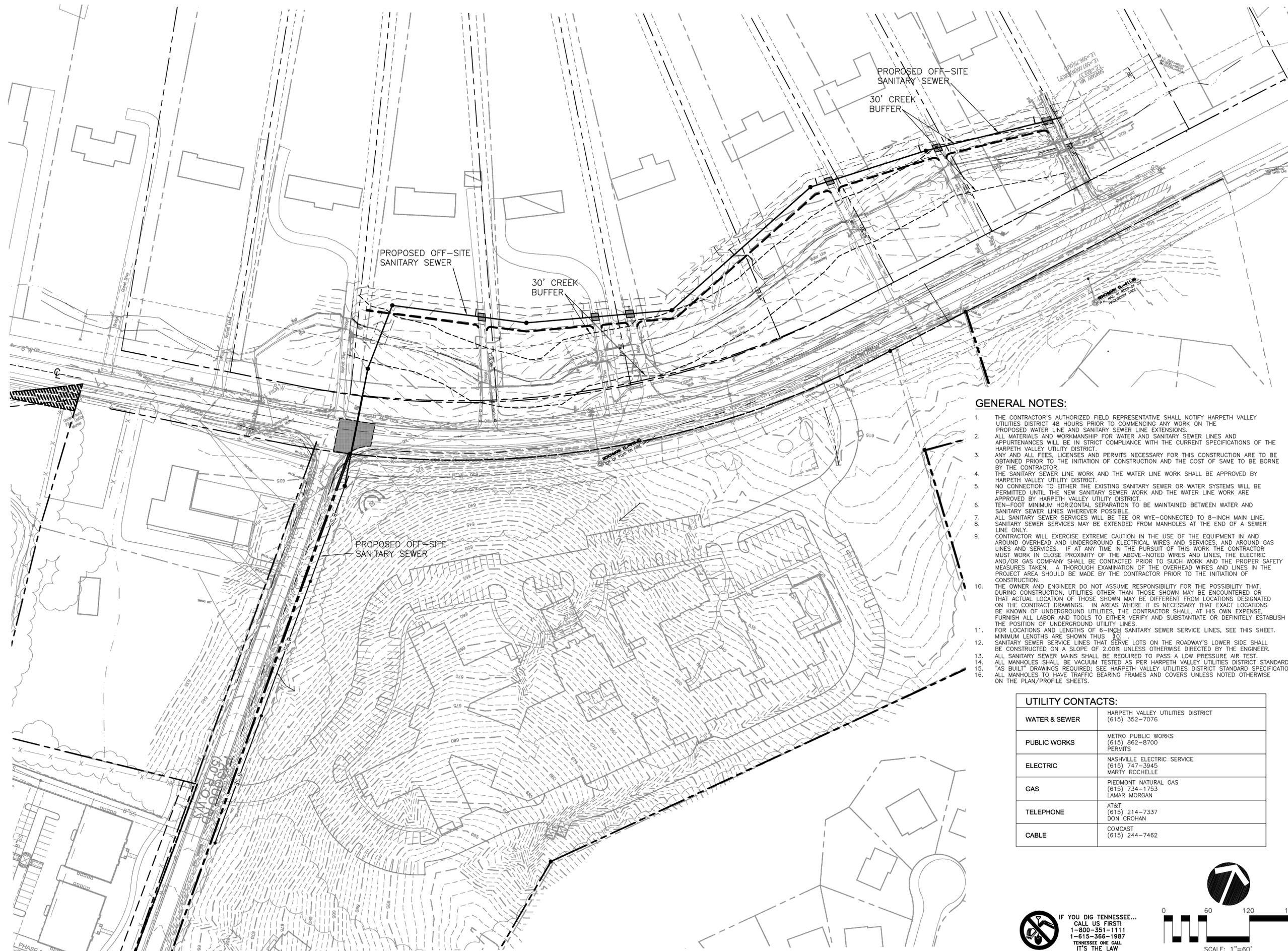
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 05/15/12 (JDK) PER  
 PLANNING COMMENTS  
 REVISIONS

PRELIMINARY  
 GRADING, DRAINAGE  
 AND UTILITIES PLAN

**C3.1**

9398  
 87-041

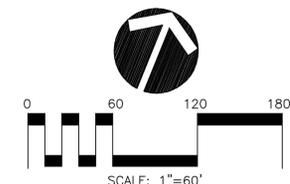


**GENERAL NOTES:**

1. THE CONTRACTOR'S AUTHORIZED FIELD REPRESENTATIVE SHALL NOTIFY HARPETH VALLEY UTILITIES DISTRICT 48 HOURS PRIOR TO COMMENCING ANY WORK ON THE PROPOSED WATER LINE AND SANITARY SEWER LINE EXTENSIONS.
2. ALL MATERIALS AND WORKMANSHIP FOR WATER AND SANITARY SEWER LINES AND APPURTENANCES WILL BE IN STRICT COMPLIANCE WITH THE CURRENT SPECIFICATIONS OF THE HARPETH VALLEY UTILITY DISTRICT.
3. ANY AND ALL FEES, LICENSES AND PERMITS NECESSARY FOR THIS CONSTRUCTION ARE TO BE OBTAINED PRIOR TO THE INITIATION OF CONSTRUCTION AND THE COST OF SAME TO BE BORNE BY THE CONTRACTOR.
4. THE SANITARY SEWER LINE WORK AND THE WATER LINE WORK SHALL BE APPROVED BY HARPETH VALLEY UTILITY DISTRICT.
5. NO CONNECTION TO EITHER THE EXISTING SANITARY SEWER OR WATER SYSTEMS WILL BE PERMITTED UNTIL THE NEW SANITARY SEWER WORK AND THE WATER LINE WORK ARE APPROVED BY HARPETH VALLEY UTILITY DISTRICT.
6. TEN-FOOT MINIMUM HORIZONTAL SEPARATION TO BE MAINTAINED BETWEEN WATER AND SANITARY SEWER LINES WHEREVER POSSIBLE.
7. ALL SANITARY SEWER SERVICES WILL BE TEE OR WYE-CONNECTED TO 8-INCH MAIN LINE. SANITARY SEWER SERVICES MAY BE EXTENDED FROM MANHOLES AT THE END OF A SEWER LINE ONLY.
8. CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF THE EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND ELECTRICAL WIRES AND SERVICES, AND AROUND GAS LINES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED WIRES AND LINES, THE ELECTRIC AND/OR GAS COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES AND LINES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
9. THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITY LINES.
10. FOR LOCATIONS AND LENGTHS OF 6-INCH SANITARY SEWER SERVICE LINES, SEE THIS SHEET. MINIMUM LENGTHS ARE SHOWN THUS TO
11. SANITARY SEWER SERVICE LINES THAT SERVE LOTS ON THE ROADWAY'S LOWER SIDE SHALL BE CONSTRUCTED ON A SLOPE OF 2.00% UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
12. ALL SANITARY SEWER MAINS SHALL BE REQUIRED TO PASS A LOW PRESSURE AIR TEST.
13. ALL MANHOLES SHALL BE VACUUM TESTED AS PER HARPETH VALLEY UTILITIES DISTRICT STANDARDS.
14. "AS BUILT" DRAWINGS REQUIRED; SEE HARPETH VALLEY UTILITIES DISTRICT STANDARD SPECIFICATIONS.
15. ALL MANHOLES TO HAVE TRAFFIC BEARING FRAMES AND COVERS UNLESS NOTED OTHERWISE ON THE PLAN/PROFILE SHEETS.
- 16.

UTILITY CONTACTS:	
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PRELIMINARY  
OFFSITE SEWER  
PLAN

**C4.1**



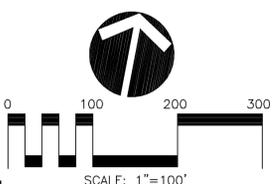
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PHASE I  
 PRELIM ROADWAY  
 IMPROVEMENTS PLAN

**C5.1**



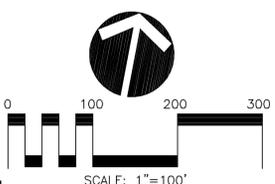
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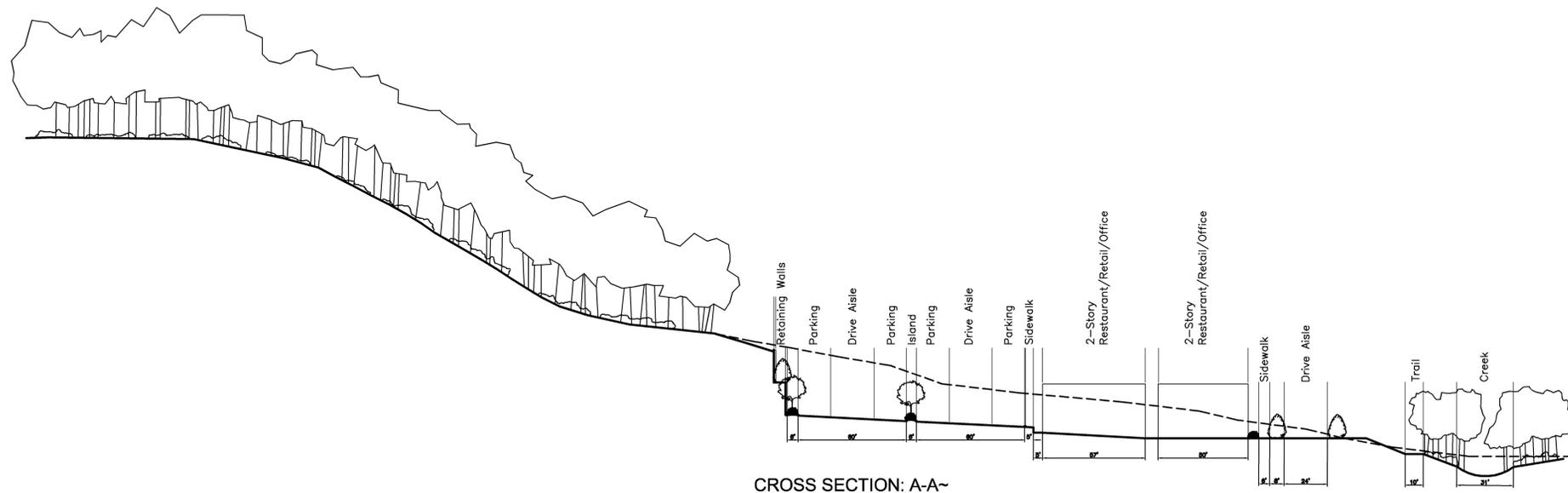
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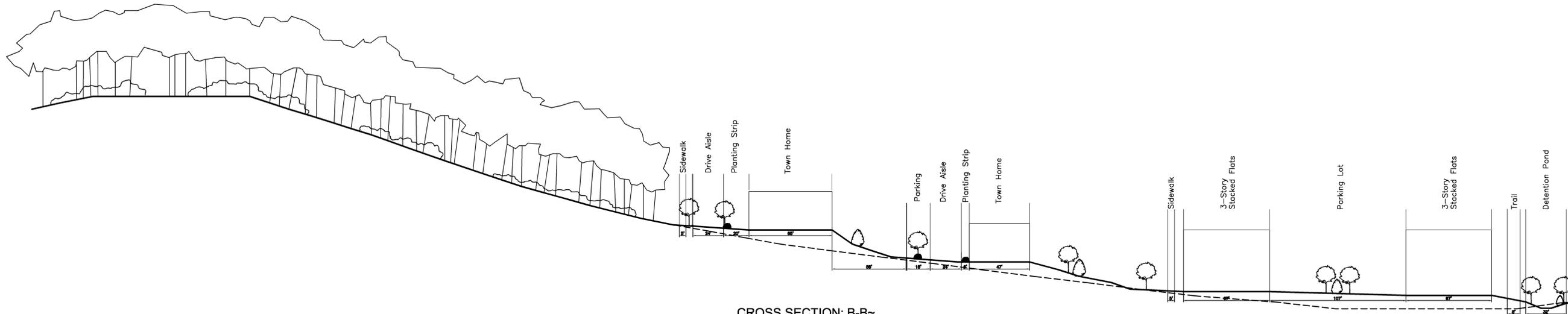
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PHASE II  
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**C5.2**

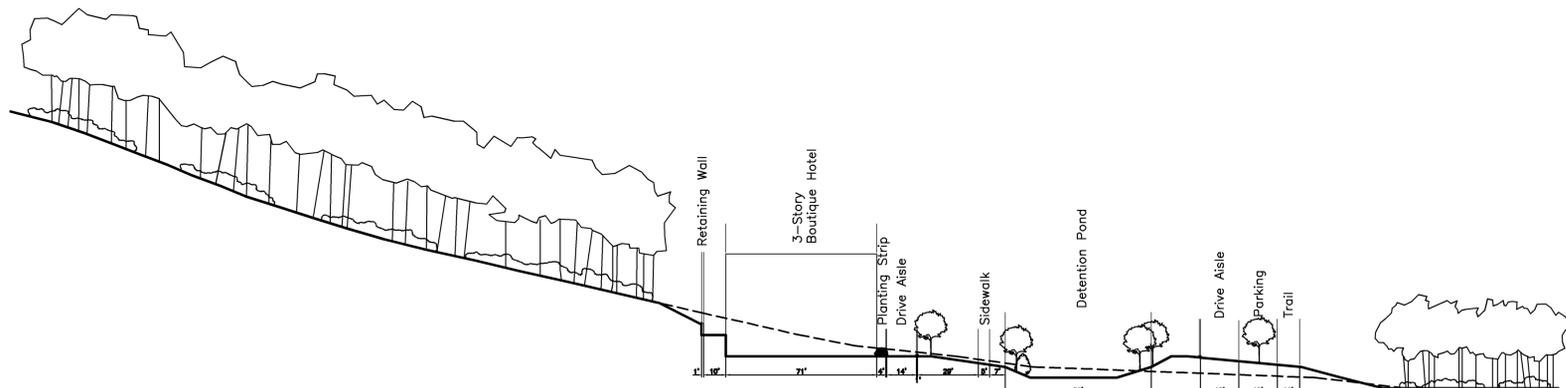
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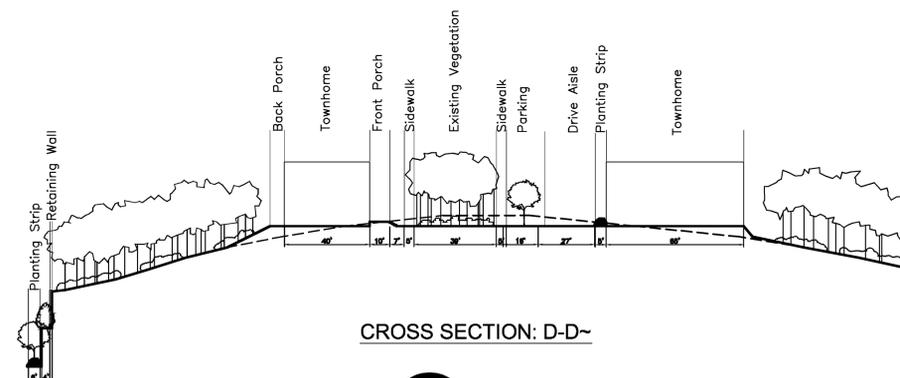
CROSS SECTION: A-A~



CROSS SECTION: B-B~



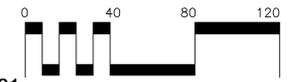
CROSS SECTION: C-C~



CROSS SECTION: D-D~



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TENNESSEE WE CALL IT'S THE LAW



METRO CASE # 2012SP-013-001

**RAGAN SMITH**  
LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS  
RAGAN SMITH ASSOCIATES, INC.  
315 WOODLAND ST. P.O. BOX 60070 NASHVILLE, TN 37206  
(615) 244-9891 FAX (615) 244-6128 WWW.RAGANSMITH.COM



# STEPHENS VILLAGE WEST

## PRELIMINARY SP - METRO CASE # 2012SP-013-001

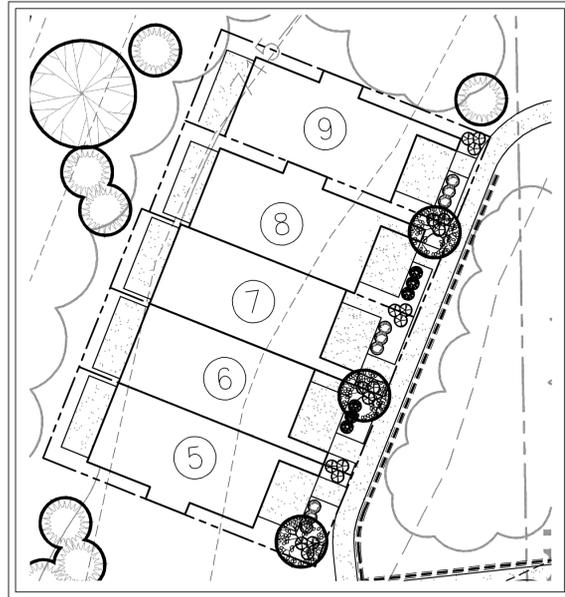
35th COUNCILMANIC DISTRICT OF METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

DATE:	March 29, 2012
DESIGNED:	S. Bemick
DRAWN:	D. Kirham
SCALE:	1"=40'
JOB NO.	87-041
WK. ORDER	9398
REVISIONS	05/29/12-(JBK) PER CITY COMMENTS

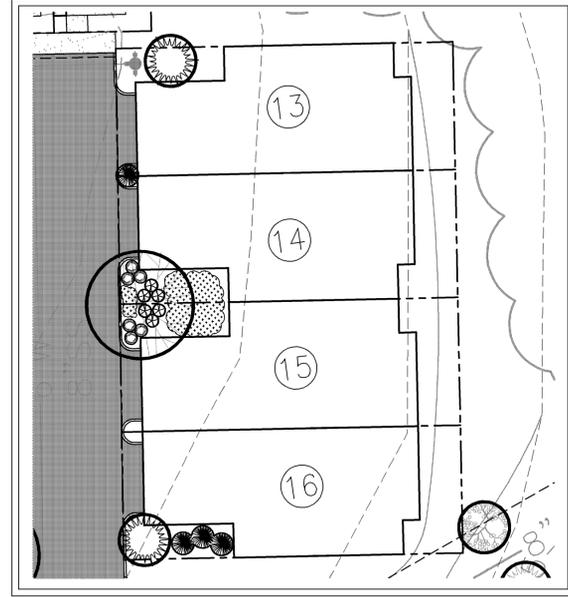
PRELIMINARY CROSS SECTIONS

# C6.1

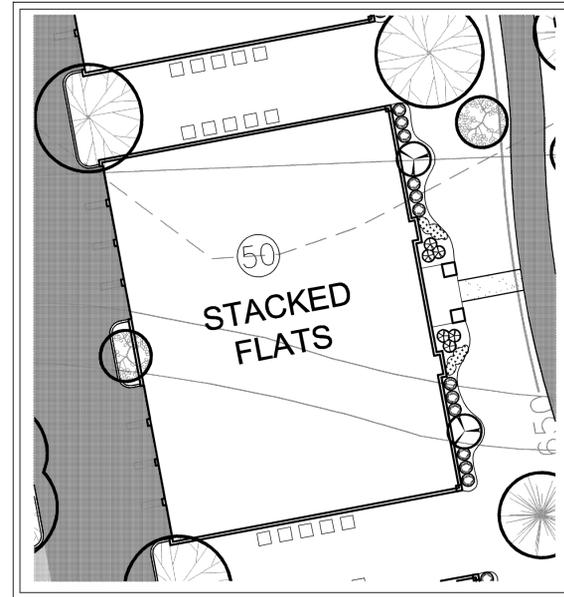




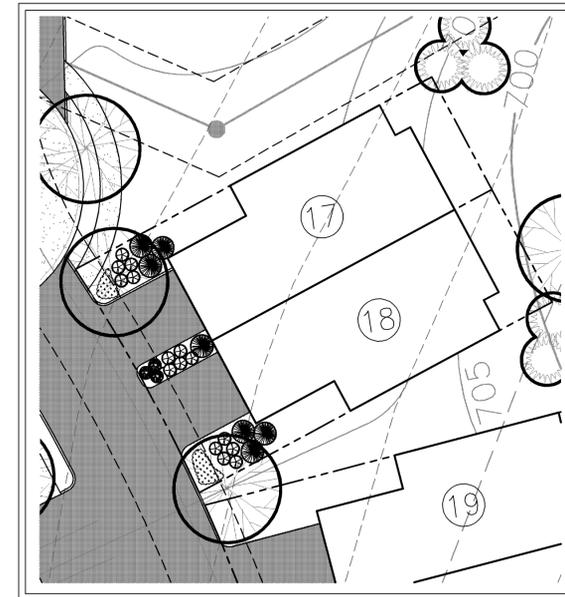
PRELIMINARY TOWNHOUSE FOUNDATION PLANTINGS



PRELIMINARY TOWNHOUSE FOUNDATION PLANTINGS



PRELIMINARY STACKED FLATS FOUNDATION PLANTINGS



PRELIMINARY TOWNHOUSE FOUNDATION PLANTINGS

**SITE DATA:**

**PROPERTY INFORMATION:**

SITE APPLICATION NUMBER:	2012SP-013-001
COUNCIL DISTRICT NUMBER:	35th
DISTRICT COUNCIL MEMBER:	MR. BO MITCHELL
SP NAME:	STEPHENS VILLAGE WEST
PROPERTY OWNER:	W.E. STEPHENS JR.
PARCEL/S ACREAGE:	35.31 AC. +/- (1,538,103 S.F.)
EX. BUILDING S.F. / USE:	6,545 S.F. / SINGLE FAMILY-FARM BLDGS.
TAX MAP:	169.00
PARCELS:	58.00, 60.00
STREET ADDRESS:	5948 PASQUO RD & 8426 HWY 100
<b>OWNER:</b>	<b>PROJECT LANDSCAPE ARCHITECT:</b>
W.E. STEPHENS JR. - TRUSTEE	MR. SCOTTY M. BERNICK, R.L.A.
6160 PASQUO ROAD	RAGAN-SMITH-ASSOCIATES, INC.
NASHVILLE, TN 37221	315 WOODLAND STREET
(615) 604-2200	NASHVILLE, TN 37206
(615) 646-7082 FAX	(615) 244-8591
	(615) 244-6739 FAX

**LANDSCAPE LEGEND**

- CANOPY TREE - (DECIDUOUS OR EVERGREEN)  
INSTALLED AT 2.5" CAL (14'-16" HT) - SPACING AS SHOWN
- UNDERSTORY TREE - 1.5" CAL - SPACING AS SHOWN
- EVERGREEN TREE - INSTALLED AT 2" CAL (6-8" HT)  
SPACING AS SHOWN
- LARGE ORNAMENTAL SHRUB - SPACING AS SHOWN
- EVERGREEN SHRUB - INSTALLED AT 18"-24" HT - 48" O.C.
- EVERGREEN SHRUB - INSTALLED AT 12"-18" HT - 30" O.C.
- DECIDUOUS SHRUB - INSTALLED AT 12"-18" HT - 30" O.C.
- ORNAMENTAL GRASS - 30" O.C.
- PERENNIAL/GROUND COVER/TURF

**NOTES:**

1. SCREENING FOR DUMPSTERS AND OTHER TRASH RECEPTACLES SHALL COMPLY WITH THE PROVISIONS OF SECTION 17.24.060 OF THE METRO ZONING CODE.
2. PLANTS SHALL MEET THE STANDARDS FOR SIZE, FORM AND QUALITY SET OUT IN THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1, LATEST EDITION).
3. EXISTING TREES TO REMAIN ON SITE SHALL WILL COUNT TOWARDS TDU REQUIREMENTS.
4. ALL LANDSCAPE MATERIAL AND LOCATION IS PRELIMINARY AND IS SUBJECT TO CHANGE DUE TO UTILITIES, LAYOUT CHANGES, GRADING, & DESIGN PROCESS. DETAILED LANDSCAPE/PLANTING PLAN TO BE PROVIDED WITH SUBMITTAL OF FINAL SP DEVELOPMENT PLANS. LANDSCAPE PLANS TO MEET METRO REQUIREMENTS.

**PAVEMENT LEGEND**

- PERVIOUS PAVEMENT
- ASPHALT PAVEMENT
- SCORED CONCRETE, PAVERS, OR LANDSCAPE AREA
- CONCRETE WALK
- CONCRETE PAVERS

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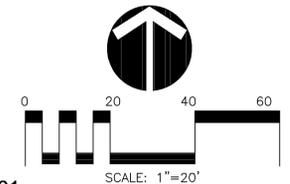
**STEPHENS VILLAGE WEST**  
PRELIMINARY SP - METRO CASE # 2012SP-013-001  
35th COUNCILMANIC DISTRICT OF METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

DATE:	March 29, 2012
DESIGNED:	S. Bernick
DRAWN:	D. Kirham
SCALE:	1"=20'
JOB NO.	WK. ORDER
87-041	9398
	REVISIONS

PRELIMINARY  
LANDSCAPE PLAN

L1.2

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METRO CASE # 2012SP-013-001

DRAWING FILE PATH



STACKED FLATS

MITCHELL BARNETT ARCHITECT, P.C.  
ARCHITECT-PLANNERS  
2204 8th AVENUE SOUTH  
NASHVILLE, TN 37204 (615)286-3033  
Web: mitchellbarnettarchitect.com



VILLAGE COMMERCIAL- RETAIL, RESTAURANT & OFFICE

MITCHELL BARNETT ARCHITECT, P.C.  
ARCHITECT-PLANNERS  
2204 8th AVENUE SOUTH  
NASHVILLE, TN 37204 (615)286-3033  
Web: mitchellbarnettarchitect.com



VILLAGE COMMERCIAL- BOUTIQUE HOTEL

MITCHELL BARNETT ARCHITECT, P.C.  
ARCHITECT-PLANNERS  
2204 8th AVENUE SOUTH  
NASHVILLE, TN 37204 (615)286-3033  
Web: mitchellbarnettarchitect.com



TOWNHOMES - 2 CAR GARAGE UNITS

MITCHELL BARNETT ARCHITECT, P.C.  
ARCHITECT-PLANNERS  
2204 8th AVENUE SOUTH  
NASHVILLE, TN 37204 (615)286-3033  
Web: mitchellbarnettarchitect.com



TOWNHOMES



TOWNHOMES - 1 CAR GARAGE UNITS



TOWNHOMES - NO GARAGE UNITS

NOTE:  
DRAWINGS ARE CONCEPTUAL ONLY AND MAY CHANGE IN ACCORDANCE WITH THE FINAL SITE DESIGN, BUT SHALL BE CONSISTENT WITH THE OVERALL CONCEPT.

**ARCHITECTURAL STANDARDS** (Regulated by the HOA)

- General**
- Rhythm of ground floor architectural features shall harmonize with rhythm of upper stories.
  - Architectural features and treatments shall be consistent with the architectural style chosen.
  - Long, uninterrupted wall planes on public streets or paths shall be avoided.
  - Residential buildings at entrance should adequately address both road frontages.
- Walls**
- Materials
    - Building walls shall be finished in brick, stone, wood siding, shingles, fiber cement siding/shingles, and stucco.
  - Configurations & Techniques
    - Building walls shall only change material along a horizontal line or at an intersection of two walls, i.e. brick may be combined with siding when the material change occurs horizontally (typically at floor or sill line), with the heavier material below the lighter, or at a building corner. This provision does not apply to detailing around attachments, windows and doors.
    - Siding shall be horizontal or vertical, maximum of 8" exposure.
    - Shingles shall be horizontal, maximum of 8" exposure.
- Attachments**
- Materials
    - Chimneys shall be finished with masonry or masonry-like product.
    - The exterior masonry of fireplaces shall extend to grade.
    - Piers and arches shall be finished in masonry or stucco.
    - Porches may be enclosed with glass or screens; however, glass enclosures are not permitted on the principal front façade.
    - Decks shall not be permitted in front or side yards.
    - Awnings shall have a metal structure covered with canvas or synthetic canvas.
  - Configurations & Techniques
    - Balconies shall be structurally supported by piers, columns, brackets, tapered beams, or cantilevered.
    - Porches, arcades and breezeways shall have square or vertically proportioned openings (must be taller than wide).
    - Piers shall be no less than 12" x 12".
    - Posts shall be no less than 4" x 4".
    - Wood elements must be painted or sealed with an opaque or semisolid stain.
- Roofs**
- Materials
    - Roofs, if sloped, shall be clad in wood shingles, fiberglass shingles or asphalt shingles.
  - Configurations & Techniques
    - All pitched roofs shall have a slope of 3:12 to 12:12.
    - Flat roofs shall be permitted on commercial buildings but shall constitute no more than 40% of the roof surface area.
    - Eaves shall be continuous, unless overhanging a balcony or porch.
    - Dormers shall have shed roofs with a minimum slope of 3:12, or hipped or gable roofs with slope to match the principal structure. Eyebrow dormers are also permitted.
    - Any single gable, hipped or shed dormer (on a single façade) shall be a minimum of 3'-0" wide (exterior) and shall have window.
- Openings**
- Materials
    - Windows shall be wood (painted), aluminum clad, or vinyl and shall be glazed with clear glass or divided light.
    - Doors at frontages (including garage doors) shall be wood or metal. Doors shall be painted, stained, or pre-finished. Glass is permitted in doors.
    - Shutters shall be louvered, paneled, or board and batten.