

PLANNING AND DESIGN COMMISSION SUBMITTAL FOR 95 GLENROSE AVENUE SP NASHVILLE, DAVIDSON COUNTY, TENNESSEE CASE NO. 2013SP-045-001



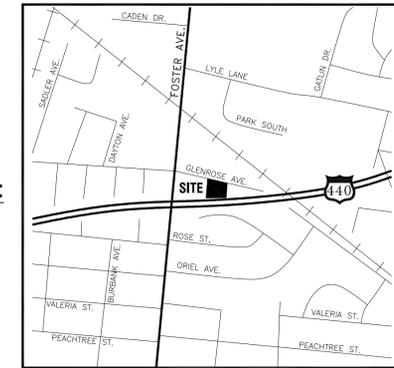
Know what's below.
Call before you dig.

SOURCE OF VERTICAL DATUM:

BM
NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING
USER SERVICE (OPUS) GPS STATIC OR GPS RAPID STATIC
SURVEY SESSION DATED SEPTEMBER 11, 2013.

TBM
P.K. NAIL SET IN THE ASPHALT ALONG THE SOUTHERLY
CURB LINE OF GLENROSE AVENUE.
ELEVATION = 513.48 (NAVD 88)

CONTRACTOR TO RELOCATE THE TEMPORARY
BENCHMARK AS NEEDED PRIOR TO CONSTRUCTION.



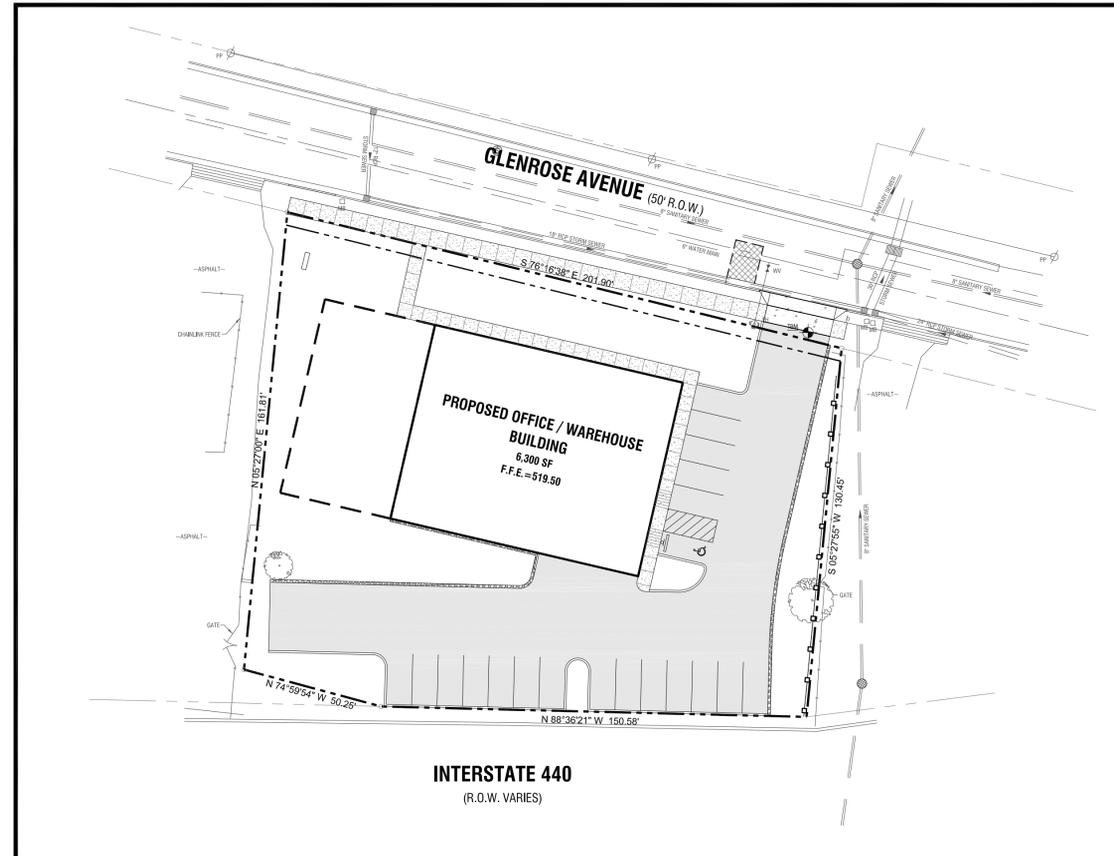
VICINITY MAP

PLANS PREPARED FOR:
MTLC
BUILDING GROUP
1237 BEECH HOLLOW DR.
NASHVILLE, TN 37211
(615) 567.5865

PLANS PREPARED BY:
Development Management Group, LLC
4209 GALLATIN PIKE
NASHVILLE, TN 37216
TEL: (615) 227-5865; FAX: (615) 227-5866

INDEX OF DRAWINGS

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- A4.01 ELEVATIONS
- A4.02 ELEVATIONS



SITE DATA TABLE

CITY:	NASHVILLE
COUNTY:	DAVIDSON
STATE:	TENNESSEE
COUNCILMANIC DISTRICT:	17th, SANDRA MOORE
ZONING CLASSIFICATION:	RS-5 (EXISTING); SP (PROPOSED)
PERMITTED LAND USE:	GENERAL OFFICE & WAREHOUSE & RETAIL
TOTAL ACREAGE OF SITE:	0.69 ± ACRES
TOTAL SQUARE FOOTAGE OF SITE:	30,084 ± SF
MAXIMUM FLOOR AREA RATIO (FAR):	0.60
MAXIMUM IMPERVIOUS SURFACE RATIO (ISR):	0.80
MINIMUM BULK REQUIREMENTS:	
- BUILD TO ZONE REQUIRED:	5' - 20'
- SIDE YARD SETBACK REQUIRED:	5'
- REAR YARD SETBACK REQUIRED:	20'
SITE LOCATION:	95 GLENROSE AVENUE
PROPOSED BUILDING AREA:	6,300 SF + 2,800 SF (FUTURE)
MAXIMUM BUILDING HEIGHT:	25' - ONE STORY
PARKING REQUIREMENTS:	OFFICE: 1 SPACE PER 300 SF WAREHOUSE: 1 SPACE PER 1,000 SF
TOTAL PARKING REQUIRED:	16 SPACES
PARKING PROVIDED:	20 SPACES (INCL 1 ADA ACCESSIBLE SPACE)

GENERAL NOTE:

FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MUN-A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

PURPOSE NOTE:

THE PURPOSE OF THIS PLAN IS TO PERMIT AN OFFICE/WAREHOUSE BUILDING AND REQUIRED PARKING FOR FACILITY.

PROPOSED
OFFICE / WAREHOUSE
95 GLENROSE AVENUE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE
CASE NO. 2013SP-045-001



NO.	DATE	DESCRIPTION

DATE: 11-18-13
DMG Project No: 12137

COVER SHEET

C0.0



MAP 119-02 PARCEL 97



SCALE: 1"=20'

ISSUED FOR: CHECKSET AGENCY REVIEW BID PURPOSES CONSTRUCTION

LEGEND

- FOUND PIN OR PIPE (F/P)
- SET IRON PIN (I/P)
- FOUND MONUMENT MON(O)
- SET MONUMENT MON(N)
- ELECTRIC JUNCTION BOX
- ⊠ CABLE PEDESTAL
- ☼ LIGHT POLE
- ⚡ POWER POLE
- GUY WIRE
- ⊕ BENCHMARK
- ⊙ DECIDUOUS TREE
- ⊙ CONIFEROUS TREE
- ⊙ FLOWERING TREE
- SHRUB / BUSH
- ⊙ TELEPHONE MANHOLE
- ⊠ PHONE PEDESTAL
- ⊙ GAS METER
- ⊙ GAS VALVE
- ⊙ STORM SEWER MANHOLE
- ⊙ CATCH BASIN OR CURB INLET
- ⊙ SANITARY SEWER MANHOLE
- ⊙ FENCE
- ⊙ GUARDRAIL
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ POST INDICATOR VALVE
- ⊙ MONITORING WELL
- ⊙ TP GEOTECHNICAL TEST PIT

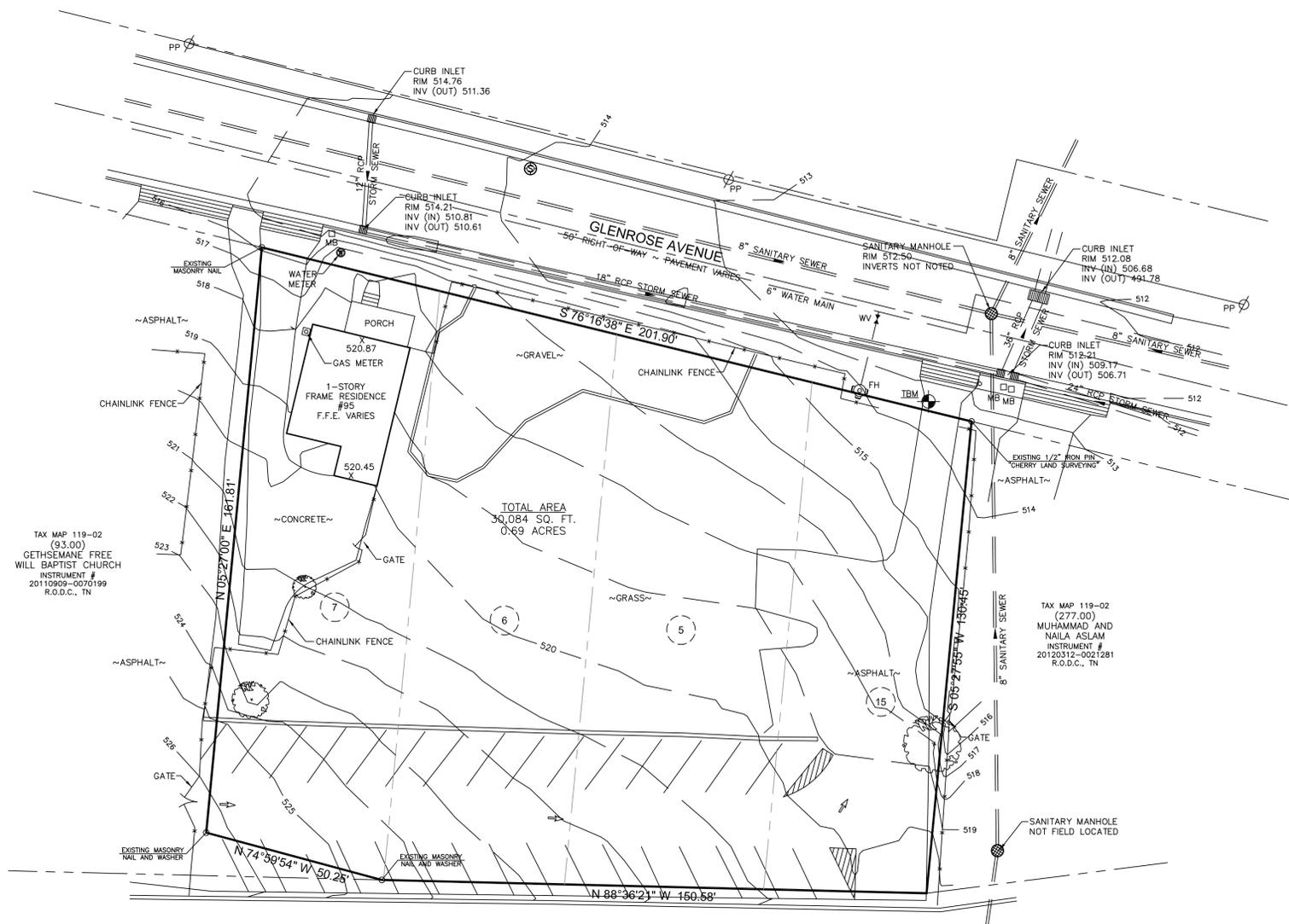


VICINITY MAP
(N.T.S.)

SURVEYOR'S NOTES:

1. The utility information shown hereon was taken from actual field evidence, utility agency records, or any other available evidence. Other utilities may exist and may not be shown, or may vary from where shown. No guarantee is expressed or implied in regard to the utility locations shown hereon. The Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth, and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.
2. Subsurface and environmental conditions were not examined or considered as a part of this survey. No statement is made concerning the existence of underground containers, facilities, wells, wetlands, sinkholes, unmarked grave sites, or debris that may affect the use or development of this tract.
3. This drawing was prepared in accordance with my field survey notes. It shows improvements as they exist to the best of my knowledge, but is not guaranteed to be correct in each and every detail.
4. The property shown hereon is located within the City of Nashville, City limits and Davidson County, Tennessee. All matters pertaining to construction, use, location of improvements, signage, parking, noise, vibration, emissions, fire hazards, landscaping, radiation, illumination, setback provisions, etc., are subject to the Zoning Regulations as interpreted and regulated by the Department of Planning and Codes.

Current Zoning is "RS-5" Residential Single Family
Front Setback - 70'
Side Setback - 15'
Rear Setback - 20'
5. The total area of the parcel as shown hereon is 0.69± Acres or 30,084± Square feet.
6. This property currently identified as Parcel 97.00 on Tax Map No. 119-02. For designation shown thus (XXX) indicates Parcel Numbers for said map.
7. Deed reference: Instrument # 20120713-0061745, as recorded in the Register's Office, Davidson County, Tennessee.
8. Plat reference: Deed Book 332, Page 42, as recorded in the Register's Office, Davidson County, Tennessee.
9. Bearings based on: Tennessee State Plane (NAD 83).
10. By my review of available information, which is subject to map inaccuracies and scaling, this property is in Zone "X" of the Flood Insurance Rate Map Community Panel Number 47037C0238F effective date of April 20, 2001.
Only an elevation certificate can determine the exact designation. Based on the information above, this property IS NOT in a special flood hazard area.
11. This survey was prepared from current deeds of record without the benefit of facts and does not represent a title search or a guarantee of title, and is subject to any state of facts a current, full, or accurate search may reveal. No investigation or independent search for easements, encumbrances, restrictive covenants, or ownership title evidence has occurred. The surveyor reserves the right to revise any easement(s) not provided for or known of per the date of this survey.
12. The Surveyor's liability for this document shall be limited to the party shown in the title of the survey, and does not extend to any unnamed person or entities without an expressed re-certification.
13. Elevations and contours were derived using digital terrain modeling by: 1. Radial trigonometry with a Topcon 8205A Robotic Total Station and/or 2. GPS with a Topcon Hiper Lite + Dual Frequency RTK base and rover. Contour intervals are one (1) foot, and the source of vertical datum is as listed below.



TAX MAP 119-02
(93.00)
GETHEMANE FREE
WILL BAPTIST CHURCH
INSTRUMENT #
20110909-0070199
R.O.D.C., TN

TAX MAP 119-02
(277.00)
MUHAMMAD AND
NAILA ASLAM
INSTRUMENT #
20120312-0021281
R.O.D.C., TN

INTERSTATE 440
RIGHT-OF-WAY VARIES ~ PAVEMENT VARIES

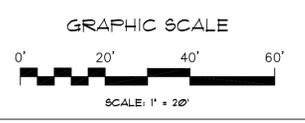
UTILITY OWNERS

- | | |
|--|--|
| WATER AND SEWER
METRO WATER AND SEWERAGE SERVICES
1600 SECOND AVENUE NORTH
NASHVILLE, TN 37208
(615) 862-4505 | GAS
PIEDMONT NATURAL GAS
665 MAINSTREAM DRIVE
NASHVILLE, TN 37228
(704) 364-3120 |
| CABLE
COMCAST
660 MAINSTREAM DRIVE
NASHVILLE, TN 37228
(615) 244-5900 | ELECTRIC
NES NASHVILLE ELECTRIC SERVICE
1214 CHURCH STREET
NASHVILLE, TN 37203
(615) 747-3641 |

SOURCE OF VERTICAL DATUM

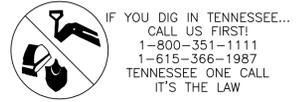
BM
NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICE (OPUS)
GPS STATIC OR GPS RAPID STATIC SURVEY SESSION DATED 9/11/13.

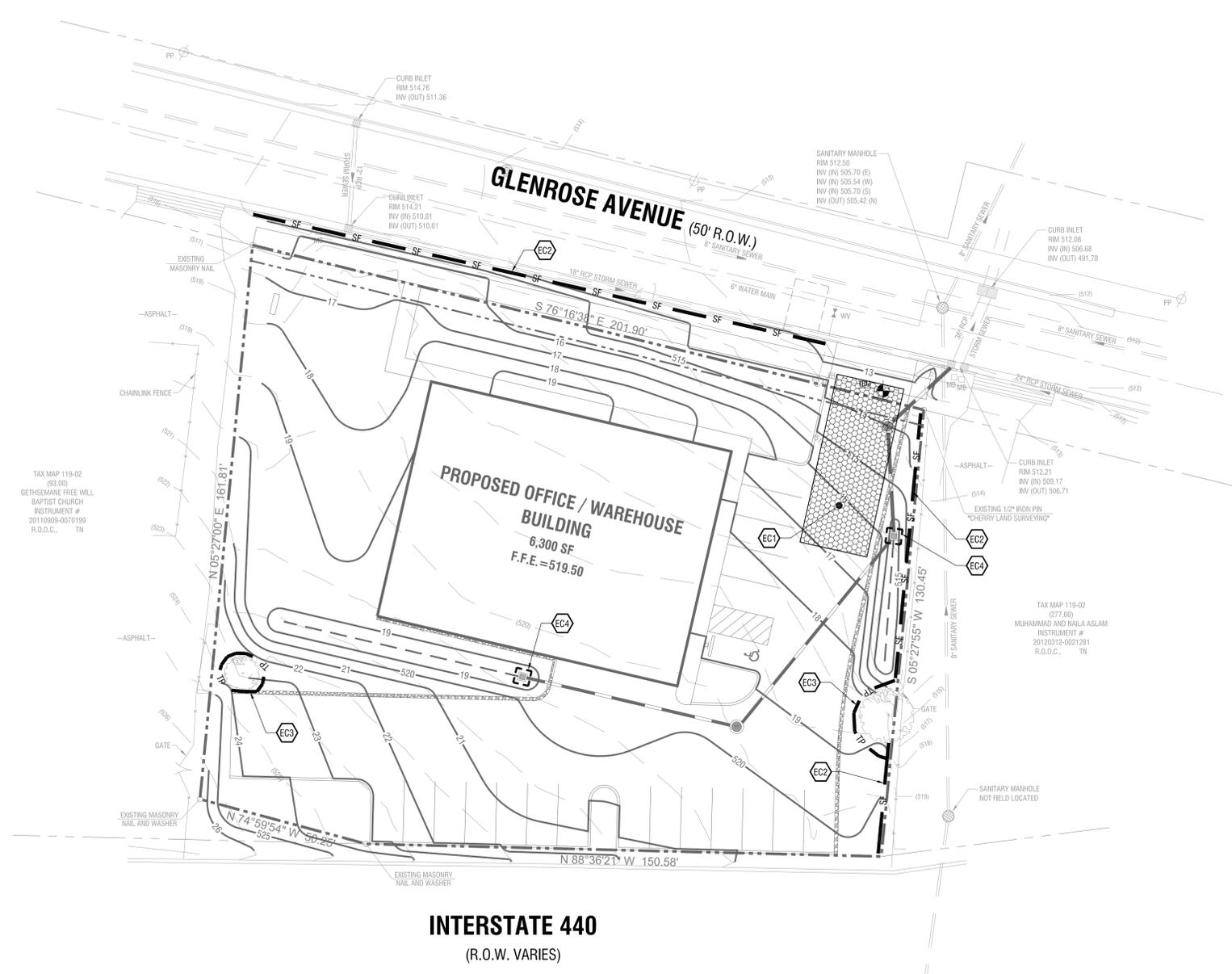
TRM
P.K. NAIL SET IN THE ASPHALT ALONG THE SOUTHERLY CURB LINE OF
GLENROSE AVENUE.
ELEVATION 513.48 (NAVD 88)



SURVEYED BY:
BLUE RIDGE SURVEYING, INC.
1148 WEST MAIN STREET, P.O. BOX 8073, GALLATIN, TENNESSEE
OFFICE (615) 491-6199 CELL (615) 426-4449
BLUERIDGESURVEYING@YAHOO.COM

PARTIAL TOPOGRAPHIC SURVEY
OF
LOTS 5, 6, 7 AND 15
OF
CUMBERLAND NURSERIES PLAN
ALSO KNOWN AS
MTLC PROPERTIES, LLC PROPERTY
95 GLENROSE AVENUE, 17TH COUNCILMANIC DISTRICT
NASHVILLE, DAVIDSON COUNTY, TENNESSEE
PREPARED FOR
DEVELOPMENT MANAGEMENT GROUP, LLC
4209 GALLATIN PIKE
NASHVILLE, TENNESSEE 37216
DATE OF SURVEY: SEPTEMBER 11, 2013
DATE OF DRAWING: SEPTEMBER 13, 2013





Know what's below.
Call before you dig.

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BH NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICE (OPUS) GPS STATIC OR GPS RAPID STATIC SURVEY SESSION DATED SEPTEMBER 11, 2013.

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CONTRACTOR TO RELOCATE THE TEMPORARY BENCHMARK AS NEEDED PRIOR TO CONSTRUCTION.



VICINITY MAP

TYPICAL NOTES

- ALL CONTROL MEASURES MUST BE PROPERLY SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND THE CONTRACT DOCUMENTS. IF PERIODIC INSPECTIONS OR OTHER INFORMATION INDICATES A CONTROL HAS BEEN USED INAPPROPRIATELY OR INCORRECTLY, THE CONTRACTOR MUST REPLACE OR MODIFY THE CONTROL FOR SITE SITUATIONS.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT THAT HAVE NOT REACHED A STREAM MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS. PERMITTEES SHALL NOT INITIATE REMEDIATION/RESTORATION OF A STREAM WITHOUT CONSULTING THE DIVISION (TDEC) FIRST. THIS PERMIT DOES NOT, HOWEVER, AUTHORIZE ACCESS TO PRIVATE PROPERTY.
- SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS, AND OTHER SEDIMENT CONTROLS AS NECESSARY, AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
- LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
- PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 CALENDAR DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
- CLEARING AND GRUBBING MUST BE HELD TO THE MINIMUM NECESSARY FOR GRADING AND EQUIPMENT OPERATION.
- CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENuded AREAS.
- EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY.
- THE FOLLOWING RECORDS SHALL BE MAINTAINED ON SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; AND THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED, EXCEPT IN THE FOLLOWING TWO SITUATIONS: (1) WHERE THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL; OR (2), WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE.
- CONSTRUCTION MUST BE PHASED FOR PROJECTS IN WHICH OVER 50 ACRES OF SOIL WILL BE DISTURBED. AREAS OF THE COMPLETED PHASE MUST BE STABILIZED WITHIN 15 DAYS AFTER ANOTHER PHASE HAS BEEN INITIATED OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES; AFTER USE, SILT FENCES SHOULD BE REMOVED OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
- TEMPORARY OR PERMANENT SOIL STABILIZATION SHALL BE ACCOMPLISHED WITHIN 15 DAYS AFTER FINAL GRADING OR OTHER EARTH WORK. PERMANENT STABILIZATION WITH PERENNIAL VEGETATION OR OTHER PERMANENTLY STABLE, NON-ERODING SURFACE SHALL REPLACE ANY TEMPORARY MEASURES AS SOON AS PRACTICABLE.
- NO SOLID MATERIALS INCLUDING BUILDING MATERIAL, SHALL BE DISCHARGED TO WATERS OF THE UNITED STATES EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT AND/OR TENNESSEE AQUATIC RESOURCE ALTERATION PERMIT
- OFFSITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED.

SCHEDULE OF INSPECTIONS AND MAINTENANCE NOTES

- INSPECTIONS SHALL BE DONE BEFORE ANTICIPATED STORM EVENTS (OR SERIES OF STORM EVENTS SUCH AS INTERMITTENT SHOWERS OVER ONE OR MORE DAYS), AND WITHIN 24 HOURS AFTER THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER, AND AT LEAST TWICE A WEEK, BUT AT LEAST 72 HOURS APART. WHEN PORTIONS OF THE SITE HAVE BEEN FINALLY OR TEMPORARILY STABILIZED, OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS (E.G. SITE COVERED WITH SNOW, ICE OR FROZEN GROUND), SUCH INSPECTION ONLY HAS TO BE CONDUCTED ONCE PER MONTH.
- INSPECTIONS AND ASSOCIATED NECESSARY REPAIRS DONE 60 HOURS BEFORE A RAIN EVENT CONSTITUTE COMPLIANCE WITH "BEFORE ANTICIPATED STORM EVENTS" AND INSPECTIONS AND REPAIRS ON A FRIDAY MEET THE REQUIREMENTS FOR RAIN EVENTS OVER THE WEEKEND.
- QUALIFIED PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN AND IN THE CONTRACT DOCUMENTS SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY.
- OUTFALL POINTS (WHERE DISCHARGES FROM THE SITE ENTER STREAMS OR WET WEATHER CONVEYANCES) SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS, WHERE DISCHARGE LOCATIONS ARE INACCESSIBLE, NEARBY DOWNSTREAM LOCATIONS SHALL BE INSPECTED IF POSSIBLE. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
- BASED ON THE RESULTS OF THE INSPECTION, ANY INADEQUATE CONTROL MEASURES OR CONTROL MEASURES IN DISREPAIR SHALL BE REPLACED OR MODIFIED, OR REPAIRED AS NECESSARY, BEFORE THE RAIN EVENT IF POSSIBLE, BUT IN NO CASE MORE THAN SEVEN DAYS AFTER THE NEED IS IDENTIFIED. IF MAINTENANCE PRIOR TO THE NEXT ANTICIPATED STORM EVENT IS IMPRACTICABLE, MAINTENANCE MUST BE SCHEDULED AND ACCOMPLISHED AS SOON AS PRACTICABLE.
- BASED ON THE RESULTS OF THE INSPECTION, THE SITE DESCRIPTION PROVIDED, AND THE POLLUTION PREVENTION MEASURES PRESENTED IN THIS PLAN MAY BE REVISED AS APPROPRIATE, BUT IN NO CASE LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION. SUCH MODIFICATIONS SHALL PROVIDE FOR TIMELY IMPLEMENTATION OF ANY CHANGES TO THIS PLAN IN NO CASE LATER THAN 14 CALENDAR DAYS FOLLOWING THE INSPECTION.
- INSPECTIONS SHALL BE DOCUMENTED AND INCLUDE THE SCOPE OF THE INSPECTION, NAME(S) AND TITLE OR QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN (INCLUDING THE LOCATION(S) OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE AND OF ANY CONTROL DEVICE THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION AND ACTIONS TAKEN IN ACCORDANCE IN PARAGRAPH 6 ABOVE.

STORMWATER NOTE:

- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- CONTRACTOR TO PROVIDE AN AREA FOR TRUCK WASH AND/OR EQUIPMENT FUELING, IF PROPOSED, IN ACCORDANCE WITH METRO CP-10 AND/OR CP-13, RESPECTIVELY. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT.
- ALL EROSION CONTROL MEASURES ARE TO BE REMOVED PRIOR TO ANY AS-BUILT APPROVALS.

NOTE:

GRADING PERMITTEE TO INCLUDE BMP'S DESIGNED TO CONTROL SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY. THE LOCATION OF AND/OR NOTES REFERRING TO SAID BMP'S SHALL BE SHOWN ON THE EPSC PLAN.

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

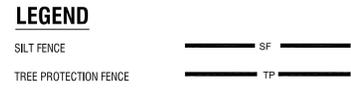
- UNDERGROUND DETENTION & WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION & WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOODPLAIN
- SINKHOLE ALTERATIONS

THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS.

FLOOD NOTE:

THE DESCRIBED PROPERTY IS LOCATED IN A FLOOD HAZARD ZONE "X" AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 47037C0238F WHICH BEARS AN EFFECTIVE DATE OF APRIL 20, 2001.

NOTES BY SYMBOL		
CODE	DESCRIPTION	DETAIL
EC1	TEMPORARY CONSTRUCTION ENTRANCE - TCP-03	2/C1.1
EC2	SILT FENCE - TCP-13	1/C1.1
EC3	TREE PROTECTION FENCE	4/C1.1
EC4	INLET PROTECTION	3/C1.1



ISSUED FOR: CHECKSET AGENCY REVIEW BID PURPOSES CONSTRUCTION



SCALE: 1"=20'



MAP 119-02 PARCEL 97

PLANS PREPARED FOR:

MTLC
BUILDING GROUP

1237 BEECH HOLLOW DR.
NASHVILLE, TN 37211
(615) 867-5865

PLANS PREPARED BY:

Development Management Group, LLC

4209 GALLATIN PIKE
NASHVILLE, TN 37216
TEL: (615) 227-5863; FAX: (615) 227-5866

PROPOSED

OFFICE / WAREHOUSE

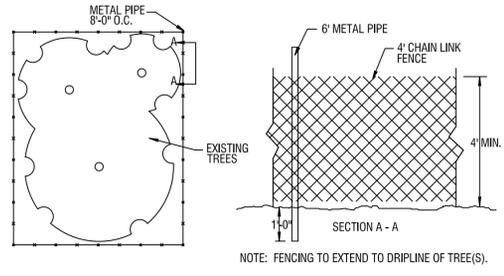
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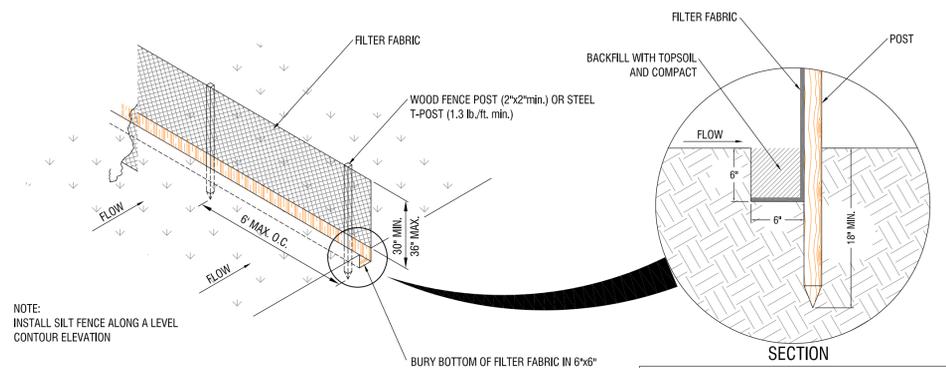
NO.	DATE	DESCRIPTION

DATE: 11-18-13
DMG Project No: 12137

EROSION & SEDIMENT CONTROL PLAN
C1.0



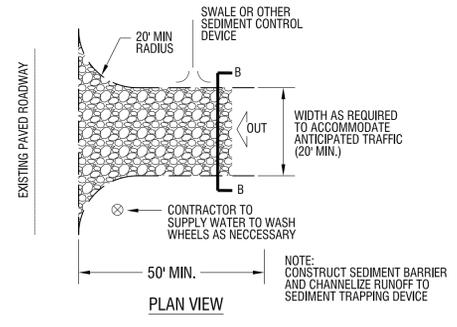
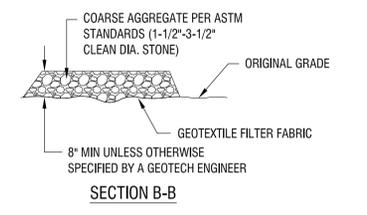
4 TREE PROTECTION DETAIL
NTS



SPECIFICATIONS

Tensile Strength (Lbs. Min.) (1) (ASTM D-4632)	Warp-120 Fill -100
Elongation (%Max.) (ASTM D-4632)	40
AOS (Apparent Opening Size) (Max. Sieve Size) (ASTM D-4751)	#30
Flow Rate (Gal/Min/Sq. Ft.) (GDT-87)	25
Ultraviolet Stability (2) (ASTM D-4632 after 300 hours weathering in accordance with ASTM D-4355)	80
Bursting Strength (PSI Min.) (ASTM D-3786 Diaphragm Bursting Strength Tester)	175
Minimum Fabric Width (Inches)	36

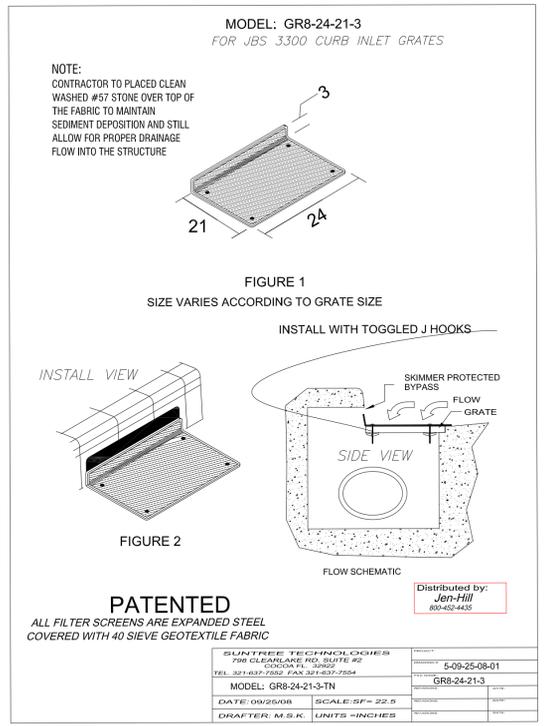
1 SILT FENCE
NTS



2 TEMPORARY CONSTRUCTION EXIT
NTS

MODEL: GR8-24-21-3
FOR JBS 3300 CURB INLET GRATES

NOTE:
CONTRACTOR TO PLACED CLEAN WASHED #57 STONE OVER TOP OF THE FABRIC TO MAINTAIN SEDIMENT DEPOSITION AND STILL ALLOW FOR PROPER DRAINAGE FLOW INTO THE STRUCTURE



INSTALL WITH TOGGLED J HOOKS

PATENTED
ALL FILTER SCREENS ARE EXPANDED STEEL COVERED WITH 40 SIEVE GEOTEXTILE FABRIC

Distributed by:
Jen-Hill
800-452-4435

SUNTREE TECHNOLOGIES 798 CLEARLAKE RD. SUITE #2 KODOLAK, FL 33622	5-09-25-08-01
MODEL: GR8-24-21-3-TN	GR8-24-21-3
DATE: 02/28/08	SCALE: 1/8" = 1'-0"
DRAFTER: M.S.K.	UNITS: INCHES

3 INLET PROTECTION
NTS

ISSUED FOR: CHECKSET AGENCY REVIEW BID PURPOSES CONSTRUCTION

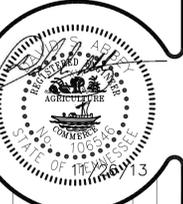


SCALE: AS NOTED

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Development Management Group, LLC
4209 GALLATIN PIKE
NASHVILLE, TN 37216
TEL: (615) 227-5865; FAX: (615) 227-5866

PROPOSED
OFFICE / WAREHOUSE
95 GLENROSE AVENUE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE
CASE NO. 2013SP-045-001



NO.	DATE	DESCRIPTION

DATE: 11-18-13
DMG Project No: 12137

EROSION & SEDIMENT CONTROL DETAILS

C1.1



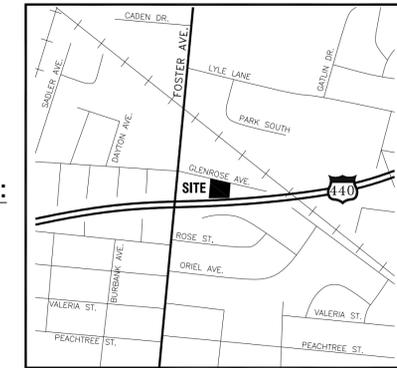
Know what's below.
Call before you dig.

SOURCE OF VERTICAL DATUM:

BM NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICE (OPUS) GPS STATIC OR GPS RAPID STATIC SURVEY SESSION DATED SEPTEMBER 11, 2013.

TBM P.K. NAIL SET IN THE ASPHALT ALONG THE SOUTHERLY CURB LINE OF GLENROSE AVENUE. ELEVATION = 513.48 (NAVD 88)

CONTRACTOR TO RELOCATE THE TEMPORARY BENCHMARK AS NEEDED PRIOR TO CONSTRUCTION.



VICINITY MAP

PLANS PREPARED FOR:
MTLC
BUILDING GROUP
1237 BEECH HOLLOW DR.
NASHVILLE, TN 37211
(615) 567-5855

PLANS PREPARED BY:
Development Management Group, LLC
4209 GALLATIN PIKE
NASHVILLE, TN 37216
TEL: (615) 227-5863; FAX: (615) 227-5866

PROPOSED
OFFICE / WAREHOUSE
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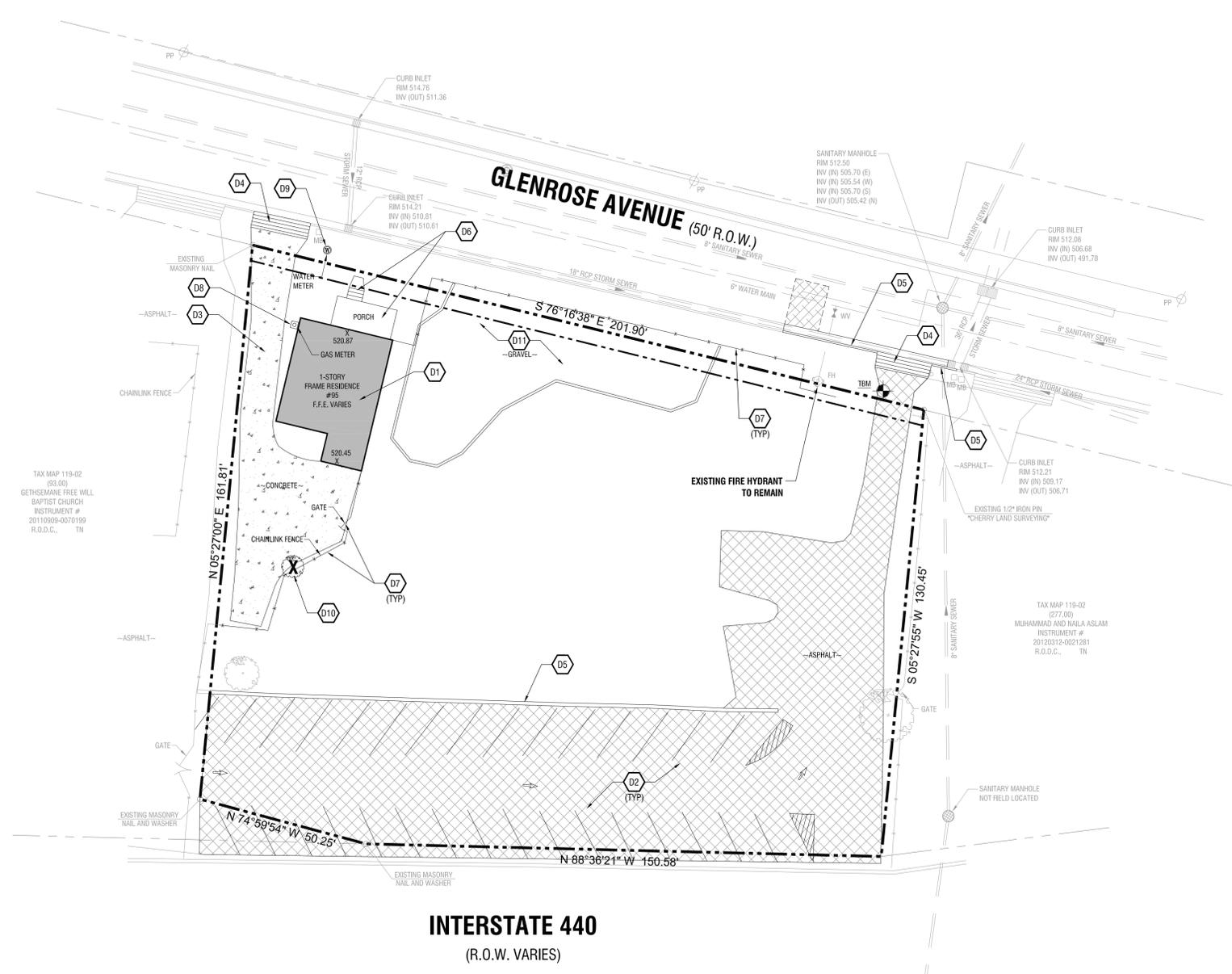


REVISIONS

NO.	DATE	DESCRIPTION

DATE: 11-18-13
DMG Project No: 12137
SITE DEMOLITION PLAN

C2.0



TAX MAP 119-02 (03.00) GETHSEMANE FREE WILL BAPTIST CHURCH INSTRUMENT # 20110909-0070199 R.O.D.C., TN

TAX MAP 119-02 (277.00) MUHAMMAD AHMED HALA ASLAM INSTRUMENT # 20120312-0021281 R.O.D.C., TN

INTERSTATE 440
(R.O.W. VARIES)

UTILITY NOTES & OWNERS:

The utility information shown hereon was taken from actual field evidence, utility agency records, or any other available evidence. Other utilities may exist and may not be shown, or may vary from where shown. No guarantee is expressed or implied in regard to the utility locations shown hereon. The Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth, and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.

WATER AND SEWER
METRO WATER AND SEWERAGE SERVICES
1600 SECOND AVENUE NORTH
NASHVILLE, TN 37208
(615) 862-4505

GAS
PIEDMONT NATURAL GAS
665 MAINSTREAM DRIVE
NASHVILLE, TN 37228
(704) 364-3120

CABLE
COMCAST
660 MAINSTREAM DRIVE
NASHVILLE, TN 37228
(615) 244-5900

ELECTRIC
NES NASHVILLE ELECTRIC SERVICE
1214 CHURCH STREET
NASHVILLE, TN 37203
(615) 747-3641

TELEPHONE
AT&T
2501 PARK PLAZA
NASHVILLE, TN 37203
(615) 344-5288

DEMOLITION NOTES BY SYMBOL		
CODE	DESCRIPTION	DETAIL
D1	REMOVE EXISTING BUILDING, SLAB, FOOTINGS & FOUNDATIONS	
D2	REMOVE EXISTING ASPHALT PAVEMENT	
D3	REMOVE EXISTING CONCRETE PAVEMENT	
D4	REMOVE EXISTING CONCRETE SIDEWALK/DRIVEWAY RAMP	
D5	REMOVE EXISTING CONCRETE CURB	
D6	REMOVE EXISTING PORCH AND STEPS	
D7	REMOVE EXISTING CHAIN LINK FENCE & GATES	
D8	REMOVE EXISTING GAS METER & SERVICE	
D9	REMOVE EXISTING WATER METER & SERVICE & CAP	
D10	REMOVE EXISTING TREE	
D11	REMOVE EXISTING GRAVEL	

PROPOSED FEATURE LEGEND

- BUILDING TO BE REMOVED
- ASPHALT TO BE REMOVED
- CONCRETE TO BE REMOVED
- TREE TO BE REMOVED

ISSUED FOR: CHECKSET AGENCY REVIEW BID PURPOSES CONSTRUCTION



SCALE: 1"=20'

MAP 119-02 PARCEL 97



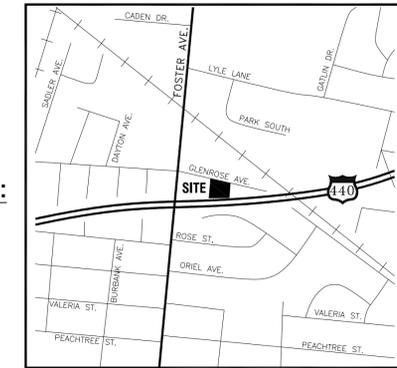
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SOURCE OF VERTICAL DATUM:

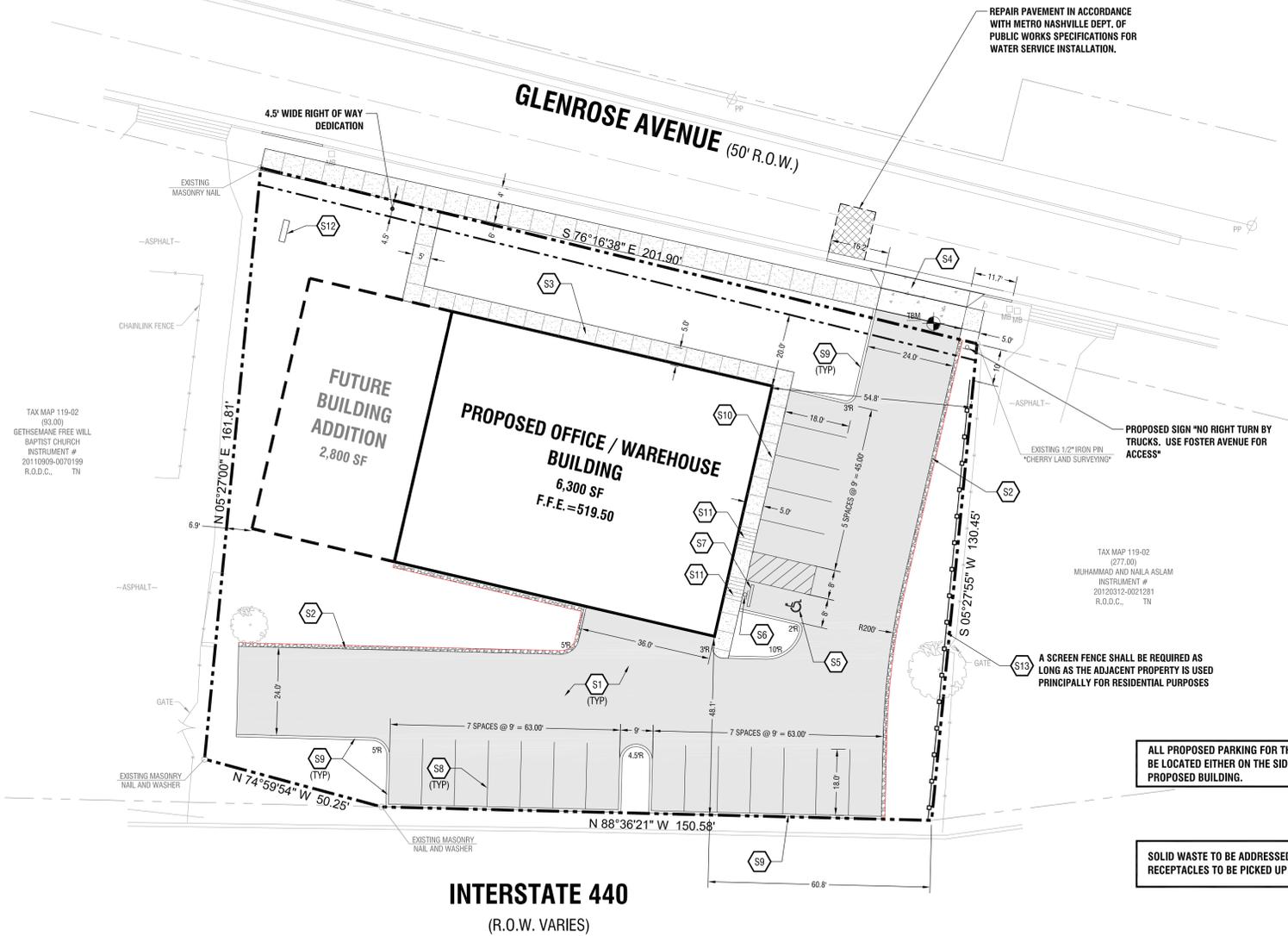
BH NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICE (OPUS) GPS STATIC OR GPS RAPID STATIC SURVEY SESSION DATED SEPTEMBER 11, 2013.

TBM P.K. NAIL SET IN THE ASPHALT ALONG THE SOUTHERLY CURB LINE OF GLENROSE AVENUE. ELEVATION = 513.48 (NAVD 88)

CONTRACTOR TO RELOCATE THE TEMPORARY BENCHMARK AS NEEDED PRIOR TO CONSTRUCTION.



VICINITY MAP



TAX MAP 119-02 (93.00) GETHSEMANE FREE WILL BAPTIST CHURCH INSTRUMENT # 20110909-0070199 R.O.D.C. TN

TAX MAP 119-02 (277.00) MUHAMMAD AND NAILA ASLAM INSTRUMENT # 20120312-0021281 R.O.D.C. TN

ALL PROPOSED PARKING FOR THE PROJECT SITE SHALL BE LOCATED EITHER ON THE SIDE OR REAR OF THE PROPOSED BUILDING.

SOLID WASTE TO BE ADDRESSED WITH SMALL RECEPTACLES TO BE PICKED UP BY A PRIVATE SERVICE.

A SCREEN FENCE SHALL BE REQUIRED AS LONG AS THE ADJACENT PROPERTY IS USED PRINCIPALLY FOR RESIDENTIAL PURPOSES

PROPOSED SIGN "NO RIGHT TURN BY TRUCKS. USE FOSTER AVENUE FOR ACCESS"

REPAIR PAVEMENT IN ACCORDANCE WITH METRO NASHVILLE DEPT. OF PUBLIC WORKS SPECIFICATIONS FOR WATER SERVICE INSTALLATION.

SITE IMPROVEMENT NOTES:

- 1. BASE INFORMATION WAS TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PREPARED BY BLUE RIDGE SURVEYING, INC. DATED SEPTEMBER, 2013. DEVELOPMENT MANAGEMENT GROUP, LLC SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
- 2. THE PROJECT SITE IS LOCATED AT 95 GLENROSE AVENUE, NASHVILLE, TENNESSEE.
- 3. THE SITE LAYOUT IS BASED ON DIMENSIONS AS NOTED.
- 4. THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, (i.e. INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS) IN THE FIELD PRIOR TO COMMENCEMENT OF UTILITY WORK, REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
- 5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- 6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
- 7. EXISTING PAVEMENT OF PUBLIC ROADWAYS SHALL BE PATCHED OR AS OTHERWISE EXISTING IN ACCORDANCE WITH LOCAL AGENCY STANDARDS WHEREVER UTILITY INSTALLATION REQUIRES REMOVAL OF THE EXISTING PAVEMENT.
- 8. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT, SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. WHERE IT BECOMES NECESSARY TO REMOVE EXISTING PAVEMENT, IT SHALL BE ACCOMPLISHED WITH A SAW CUT TO ACHIEVE A SMOOTH TRANSITION.
- 9. DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- 10. CONCRETE FOR CURBS AND SIDEWALKS SHALL BE 3,500 PSI CONCRETE.
- 11. ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL GOVERNING AUTHORITY SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 12. ADA ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12.
- 13. THE CONTRACTOR SHALL PAVE IN THE DIRECTION OF TRAFFIC.
- 14. THE CONTRACTOR SHALL NOT BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
- 15. ALL ROADWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF LOCAL GOVERNING AGENCY.
- 16. ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL GOVERNING AGENCY REGULATIONS AND SPECIFICATIONS.
- 17. ALL PAVEMENT MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LOCAL GOVERNING AGENCY AND ODOT STANDARDS AND SPECIFICATIONS.
- 18. ALL CURBING WILL BE REQUIRED TO ADJUST TO THE GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES, AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
- 19. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING THE SITE UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- 20. ANY DEFICIENCIES WITHIN THE SITE PRIOR TO TOTAL ACCEPTANCE BY THE OWNER MUST BE REPLACED IN KIND PER STANDARD DRAWINGS.
- 21. CURBS SHALL BE PARALLEL TO THE CENTERLINE OF DRIVES. THE CURB SHALL BE PLACED ONLY AFTER HAVING ALL BREAK POINTS (PC & PT OF CURVES) LOCATED AT THE FACE OF CURB OR AT A CONSISTENT OFFSET BY A REGISTERED LAND SURVEYOR.
- 22. THE PROPOSED BUILDING SHALL BE LAID OUT PER THE DIMENSIONS PROVIDED AND THE ARCHITECTURAL PLANS, DIMENSIONS SHOWN TO THE PROPOSED BUILDING ARE CALCULATED TO THE FACE OF THE EXTERIOR WALL. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

GENERAL NOTE:

FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MUN-A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

PROPOSED FEATURE LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK

NOTES BY SYMBOL

CODE	DESCRIPTION	DETAIL
S1	ASPHALT PAVEMENT SECTION	1/C6.0
S2	UNCURBED PAVEMENT EDGE; PROVIDE 12" WIDE, 2" DEEP GRAVEL STRIP AT PAVEMENT EDGE	11/C6.0
S3	CONCRETE SIDEWALK	4/C6.0
S4	COMMERCIAL DRIVEWAY RAMP	10/C6.0
S5	ADA ACCESSIBLE SYMBOL	8/C6.0
S6	ADA ACCESSIBLE PARKING SIGN	9/C6.0
S7	CONCRETE WHEELSTOP	5/C6.0
S8	4" WIDE WHITE PAINTED LINE (5 MIL PAINT)	N/A
S9	CONCRETE EXTRUDED CURB	6/C6.0
S10	CONCRETE SIDEWALK WITH TURN DOWN CURB	3/C6.0
S11	ADA ACCESSIBLE RAMP	7/C6.0
S12	MONUMENT SIGN (BY OTHERS CONTRACTOR TO PROVIDE ELECTRIC TO SIGN)	
S13	6' TALL WOOD SCREEN FENCE	

SITE DATA TABLE

CITY:	NASHVILLE
COUNTY:	DAVIDSON
STATE:	TENNESSEE
COUNCILMATIC DISTRICT:	17th, SANDRA MOORE
ZONING CLASSIFICATION:	RS-5 (EXISTING); SP (PROPOSED)
PERMITTED LAND USE:	GENERAL OFFICE & WAREHOUSE & RETAIL
TOTAL ACREAGE OF SITE:	0.69± ACRES
TOTAL SQUARE FOOTAGE OF SITE:	30,084± SF
MAXIMUM FLOOR AREA RATIO (FAR):	0.60
MAXIMUM IMPERVIOUS SURFACE RATIO (ISRI):	0.80
MINIMUM BULK REQUIREMENTS:	
- BUILD TO ZONE REQUIRED:	5' - 20'
- SIDE YARD SETBACK REQUIRED:	5'
- REAR YARD SETBACK REQUIRED:	20'
SITE LOCATION:	95 GLENROSE AVENUE
PROPOSED BUILDING AREA:	6,300 SF + 2,800 SF (FUTURE)
MAXIMUM BUILDING HEIGHT:	25' - ONE STORY
PARKING REQUIREMENTS:	OFFICE: 1 SPACE PER 300 SF WAREHOUSE: 1 SPACE PER 1,000 SF
TOTAL PARKING REQUIRED:	16 SPACES
PARKING PROVIDED:	20 SPACES (INCL 1 ADA ACCESSIBLE SPACE)

ISSUED FOR: CHECKSET AGENCY REVIEW BID PURPOSES CONSTRUCTION



SCALE: 1"=20'

MAP 119-02 PARCEL 97



PLANS PREPARED FOR:
MTLC
BUILDING GROUP
1237 BEECH HOLLOW DR.
NASHVILLE, TN 37211
(615) 567.5855

PLANS PREPARED BY:
Development Management Group, LLC
4209 GALLATIN PIKE
NASHVILLE, TN 37216
TEL: (615) 227-5863; FAX: (615) 227-5866

PROPOSED
OFFICE / WAREHOUSE
95 GLENROSE AVENUE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE
CASE NO. 2013SP-045-001



NO.	DATE	DESCRIPTION

DATE: 11-18-13
DMG Project No: 12137

SITE GEOMETRY PLAN

C3.0



Know what's below.
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CONTRACTOR TO RELOCATE THE TEMPORARY BENCHMARK AS NEEDED PRIOR TO CONSTRUCTION.



VICINITY MAP

PLANS PREPARED FOR:

1237 BEECH HOLLOW DR.
NASHVILLE, TN 37211
(615) 567.5865

PLANS PREPARED BY:

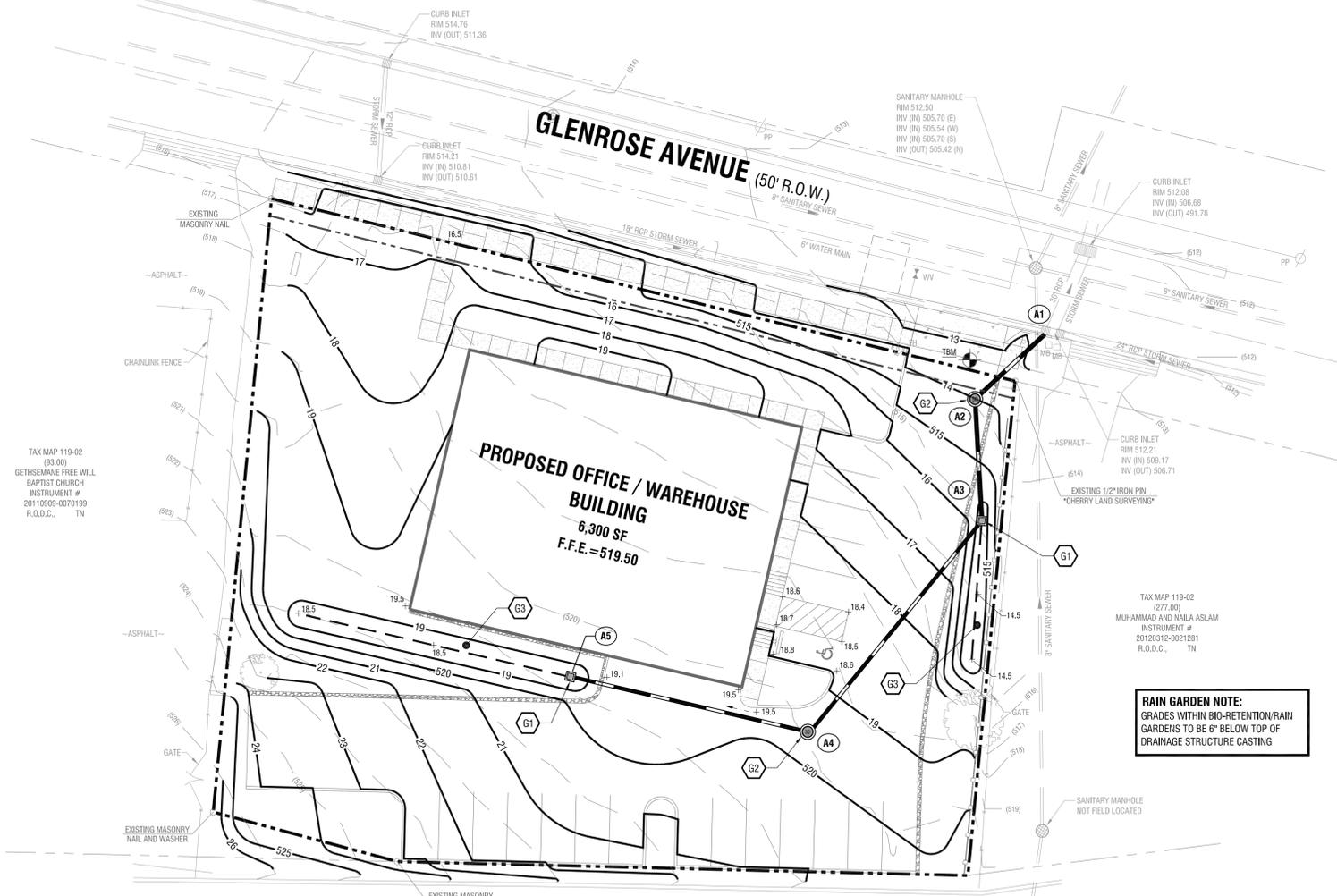
4209 GALLATIN PIKE
NASHVILLE, TN 37216
TEL: (615) 227-5865; FAX: (615) 227-5866

PROPOSED OFFICE / WAREHOUSE
95 GLENROSE AVENUE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE
CASE NO. 2013SP-045-001



NO.	DATE	DESCRIPTION

DATE: 11-18-13
DMG Project No: 12137
SITE GRADING & DRAINAGE PLAN
C4.0



TAX MAP 119-02 (03.00) GETHSEMANE FREE WILL BAPTIST CHURCH INSTRUMENT # 20110909-0079199 R.O.D.C., TN

TAX MAP 119-02 (277.00) MUHAMMAD AND NAILA ASLAM INSTRUMENT # 20120312-0021281 R.O.D.C., TN

RAIN GARDEN NOTE:
GRADES WITHIN BIO-RETENTION/RAIN GARDENS TO BE 6" BELOW TOP OF DRAINAGE STRUCTURE CASTING

FROM STRUCTURE ID	TO STRUCTURE ID	PIPE (SIZE/TYPE)	INVERT OUT	INVERT IN	LENGTH (LIN. FT.)	SLOPE (%)
A5	A4	10" HDPE	514.00	513.86	64	1.00
A4	A3	10" HDPE	513.86	510.26	72	5.00
A3	A2	12" HDPE	510.18	509.86	32	1.00
A2	A1	12" HDPE	509.76	509.26	25	2.00

STRUCTURE ID	STRUCTURE TYPE	T/GRATE ELEVATION	CASTING
A1	EXISTING INLET	N/A	
A2	JUNCTION MANHOLE	514.00	JBS 2072
A3	DRAIN INLET	515.00	JBS 4310
A4	JUNCTION MANHOLE	519.60	JBS 2072
A5	DRAIN INLET	519.00	JBS 4310

STORMWATER NOTE:
ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNCLUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.

CODE	DESCRIPTION	DETAIL
G1	CATCH BASIN (SINGLE)	1/C6.1
G2	JUNCTION MANHOLE	6/C6.1
G3	BIO-RETENTION POND	SEE LANDSCAPE PLANS

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- UNDERGROUND DETENTION & WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION & WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOODPLAIN
- SINKHOLE ALTERATIONS

THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS.

NOTE:
CONTRACTOR, ENGINEER, OR OWNERS REPRESENTATIVE SHALL NOTIFY MWS DEVELOPMENT REVIEW AT LEAST 24 HOURS PRIOR TO THE INSTALLATION OF THE PLANTING SOIL FILTER BED, AT THE COMPLETION OF INSTALLATION, THE ABOVE REFERENCED PERSON WILL COLLECT ONE SAMPLE PER BIORETENTION BED FOR ANALYSIS AND CONFIRMATION OF THE SOIL CHARACTERISTICS AS DEFINED BY G4-01, FILTER MEDIA AND SURFACE COVER, SECTION 6.6, PAGE 18.

TENNESSEE CONSTRUCTION GENERAL PERMIT NOTICE OF COVERAGE (NOC) CERTIFICATION

THE PROJECT ASSOCIATED WITH THESE PLANS IS COVERED UNDER TENNESSEE CONSTRUCTION GENERAL PERMIT TN _____ AS DISTURBANCE IS APPROXIMATELY XXX ACRES.

SIGNATURE _____ DATE _____

CIRCLE ONE: DEVELOPER - PROJECT ENGINEER - OTHER: **DAVID S. ABBEY, P.E.**
PLEASE ATTACH A COPY OF THE NOTICE OF COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT.

NOTE: A PROJECT WILL NOT BE SCHEDULED FOR A PRE-CONSTRUCTION MEETING UNTIL THE STATE CONSTRUCTION GENERAL PERMIT NOC LETTER IS SUBMITTED.

I HEREBY CERTIFY THAT THIS PROJECT DOES NOT REQUIRE COVERAGE UNDER A TENNESSEE CONSTRUCTION GENERAL PERMIT. THE TOTAL DISTURBED AREA IS 0.70 ACRES.

SIGNATURE DATE 10/28/13

CIRCLE ONE: DEVELOPER - PROJECT ENGINEER - OTHER: _____

NOTE: PROJECTS OF ONE (1) OR MORE ACRES REQUIRE STATE PERMIT COVERAGE. WHILE PROJECTS OF LESS THAN ONE (1) ACRE DO NOT REQUIRE STATE PERMIT COVERAGE, ALSO, PROJECTS LESS OF LESS THAN ONE (1) ACRE THAT ARE PART OF A TOTAL DEVELOPMENT PROJECT OF ONE (1) OR MORE ACRES REQUIRE STATE PERMIT COVERAGE. IF YOU ARE UNSURE WHETHER YOUR PARTICULAR PROJECT REQUIRES COVERAGE UNDER A TENNESSEE GENERAL STORM WATER PERMIT, PLEASE CALL THE TENNESSEE DIVISION OF WATER POLLUTION CONTROL AT (615) 687-7000.

ISSUED FOR: CHECKSET AGENCY REVIEW BID PURPOSES CONSTRUCTION



SCALE: 1"=20'

MAP 119-02 PARCEL 97



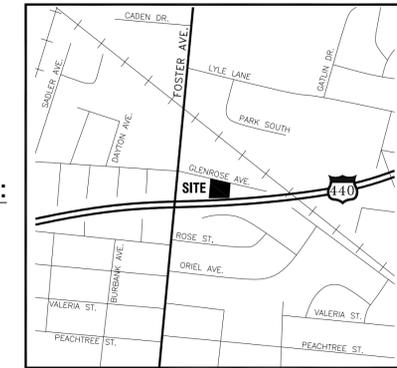
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CONTRACTOR TO RELOCATE THE TEMPORARY BENCHMARK AS NEEDED PRIOR TO CONSTRUCTION.



VICINITY MAP

SITE UTILITY NOTES:

- 1. THE PROJECT SITE IS LOCATED AT 95 GLENROSE AVENUE, NASHVILLE, DAVIDSON COUNTY, TENNESSEE.
- 2. THE SANITARY SEWER SHALL BE SDR 35 PVC UNLESS NOTED OTHERWISE. CONTRACTOR SHALL MARK THE LOCATION OF ALL NEW PVC LINES WITH 8" WIRE (16 GAUGE).
- 3. PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED AROUND UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS.
- 4. PROVIDE A MINIMUM 36" OF COVER OVER ALL WATER LINES.
- 5. THE CONTRACTOR SHALL MAINTAIN 10 FEET HORIZONTAL SEPERATION BETWEEN SANITARY SEWER LINES AND WATER LINES. WHERE THIS CRITERIA CANNOT BE MET, THE CONTRACTOR SHALL MAINTAIN 18" VERTICAL SEPERATION BETWEEN WATER AND SEWER LINES.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHARTED AND UNCHARTED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES, STORM SEWERS, OR ANY OTHER UTILITY OR STRUCTURE EXISTING OR PROPOSED.
- 8. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
- 9. BEFORE CONNECTIONS ARE MADE INTO EXISTING UTILITIES, THE NEW LINES ARE TO BE FLUSHED AND TESTED BY THE CONTRACTOR IN ACCORDANCE WITH METRO WATER SERVICES SPECIFICATIONS.
- 10. ALL TRENCHES CUT IN EXISTING ROADS OR DRIVES SHALL UTILIZE A CLEAN SAW CUT AND SHALL BE BACKFILLED (100%) TO FINAL SUBGRADE WITH #57 STONE.
- 11. REPAIR ALL DAMAGE TO EXISTING FEATURES (i.e. DRIVES, ROADS, YARDS, LANDSCAPING, ETC...) TO PRE-CONSTRUCTION CONDITION.
- 12. THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL AND VERTICAL BENDS TO THE ALIGNMENT INDICATED ON THE PLANS. PROVIDE VERTICAL BENDS WHERE NECESSARY TO ALLOW WATER LINES TO PASS UNDER OR OVER OTHER UTILITY LINES. (ALL BENDS AND BRACES NEEDED MAY NOT BE ACTUALLY SHOWN). PROVIDE BRACING AND/OR RODDING AT ALL BENDS AND TEES AS REQUIRED BY METRO WATER SERVICES SPECIFICATIONS.
- 13. REDUCED PRESSURE BACKFLOW PREVENTER (RPBP) OR DUAL CHECK WILL BE REQUIRED ON ALL TESTS AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY METRO WATER SERVICES.
- 14. COORDINATE THE EXACT LOCATION OF ALL UTILITIES ENTERING THE BUILDING WITH THE PLUMBING PLANS.
- 15. WATER METERS SHALL BE NO DEEPER THAN 24" FROM TOP OF METER TO PROPOSED FINISHED GRADE.
- 16. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA.
- 17. THE CONTRACTOR SHALL VERIFY REQUIRED PIPE LENGTHS, EXISTING PIPE MATERIAL AND SIZES AS SHOWN ON PLANS.
- 18. REPAIR EXISTING SITE FEATURES THAT ARE DAMAGED BY CONSTRUCTION ACTIVITIES TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- 19. THE PROPOSED ELECTRIC, GAS, AND TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE APPROPRIATE LOCAL GOVERNING UTILITY AGENCY BY THE CONTRACTOR.
- 20. WHERE DRAINAGE OR UTILITY LINES OCCUR IN FILL AREAS, THE FILL MATERIAL IS TO BE PLACED AND COMPACTED TO (95%) OF MAXIMUM DRY DENSITY ACCORDING TO ASTM (D-698) PRIOR TO INSTALLATION OF DRAINAGE OR UTILITY LINES. FILL IS TO BE INSPECTED BY A PROFESSIONAL GEOTECHNICAL ENGINEER TESTING FIRM EMPLOYED BY THE OWNER. RESULTS OF THE TEST SHALL BE FURNISHED TO THE OWNERS REPRESENTATIVE. CONTRACTOR TO PAY FOR ALL TESTING.
- 21. THE CONTRACTOR SHALL ADJUST THE ALIGNMENT OF THE WATER LINES (HORIZONTALLY AND/OR VERTICALLY) TO ALLOW THE REQUIRED BRACING AT BENDS AND TEES.
- 22. THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFE GUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
- 23. CONTRACTORS FOR WATER AND SEWER WORK MUST BE APPROVED BY METRO WATER SERVICES.
- 24. ALL WATER LINES AND APPURTENANCES SHALL BE OF MATERIALS AND CONSTRUCTION THAT CONFORM TO METRO WATER SERVICES SPECIFICATIONS.
- 25. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATION OF EXISTING MANHOLES OR SANITARY SEWER LINES AT THE POINT OF CONNECTION PRIOR TO THE COMMENCEMENT OF ORDERING OF MATERIALS. CONSTRUCTION OR REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- 26. CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR LOCATION OF ANY ELECTRICAL SERVICE TO THE BUILDING.
- 27. MAIN LINE WATER & SEWER TAPS WILL BE MADE BY THE CONTRACTOR AND COORDINATED WITH METRO WATER SERVICES.

METRO WATER SERVICES NOTES:

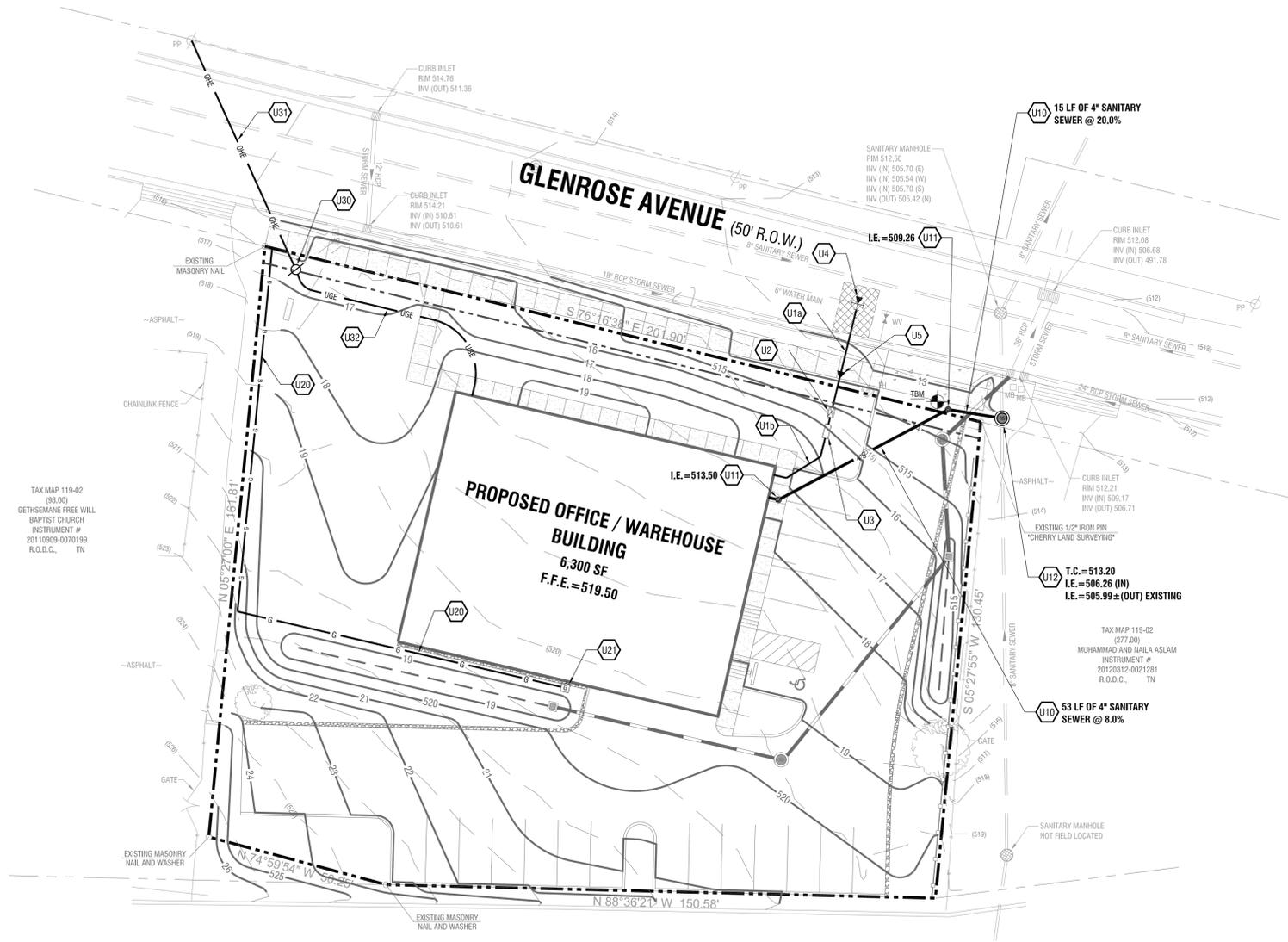
- 1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTIONS.
- 3. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
- 4. AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISIONING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDOTAPING MUST BE COORDINATED WITH THE METRO WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
- 5. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
- 6. REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
- 7. ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
- 8. UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON MOIST ERASABLE MYLARS IN REVERSE AND DIGITAL ("DWG") FORMAT. SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINES TO THE PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE. THE DEPTH OF THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE, OR PROPERTY LINE RIGHT-OF-WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
- 9. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSL.
- 10. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSL.
- 11. ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.

PROPOSED FEATURE LEGEND

- SANITARY SEWER SERVICE 4" S
- WATER SERVICE 1" W
- GAS SERVICE G



MAP 119-02 PARCEL 97



INTERSTATE 440
(R.O.W. VARIES)

UTILITY NOTES & OWNERS:

The utility information shown hereon was taken from actual field evidence, utility agency records, or any other available evidence. Other utilities may exist and may not be shown, or may vary from where shown. No guarantee is expressed or implied in regard to the utility locations shown hereon. The Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth, and availability of service, and to be solely responsible for contacting the utility location service prior to commencing construction.

WATER AND SEWER
METRO WATER AND SEWERAGE SERVICES
1600 SECOND AVENUE NORTH
NASHVILLE, TN 37208
(615) 244-4505

GAS
PIEDMONT NATURAL GAS
605 MAINSTREAM DRIVE
NASHVILLE, TN 37226
(704) 364-3120

CABLE
COMCAST
860 MAINSTREAM DRIVE
NASHVILLE, TN 37228
(615) 244-5900

ELECTRIC
NES NASHVILLE ELECTRIC SERVICE
1214 CHURCH STREET
NASHVILLE, TN 37203
(615) 747-3641

TELEPHONE
AT&T
2501 PARK PLAZA
NASHVILLE, TN 37203
(615) 344-5288

NOTES BY SYMBOL

CODE	DESCRIPTION	DETAIL
U10	1" WATER SERVICE	N/A
U11	2" WATER SERVICE	N/A
U12	1" DOMESTIC WATER METER (UNDERGROUND)	4/C6.1
U13	1" REDUCED PRESSURE BACKFLOW PREVENTER (UNDERGROUND)	5/C6.1
U14	6"x2" TAPPING SLEEVE & VALVE	N/A
U15	2"x1" REDUCER	N/A
U110	SANITARY SEWER SERVICE (4" PVC SDR-35)	N/A
U111	SANITARY SEWER CLEANOUT	2/C6.1
U112	SANITARY SEWER MANHOLE	3/C6.1
U20	GAS SERVICE	N/A
U21	GAS METER	N/A
U30	POLE MOUNTED TRANSFORMER	N/A
U31	OVERHEAD ELECTRICAL LINE	N/A
U32	UNDERGROUND ELECTRICAL LINE	N/A

ISSUED FOR: CHECKSET AGENCY REVIEW BID PURPOSES CONSTRUCTION



SCALE: 1"=20'

PLANS PREPARED FOR:
MTLC
BUILDING GROUP
1237 BEECH HOLLOW DR.
NASHVILLE, TN 37211
(615) 567-5855

PLANS PREPARED BY:
Development Management Group, LLC
4209 GALLATIN PIKE
NASHVILLE, TN 37216
TEL: (615) 227-5863; FAX: (615) 227-5866

PROPOSED
OFFICE / WAREHOUSE
95 GLENROSE AVENUE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE
CASE NO. 2013SP-045-001

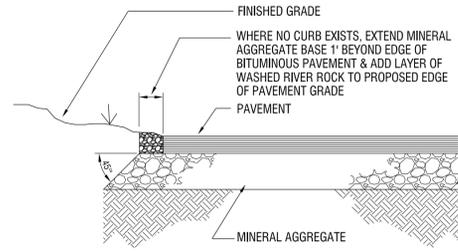


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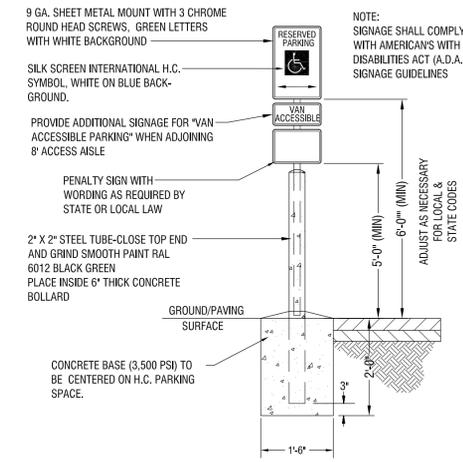
DATE: 11-18-13
DMG Project No: 12137

UTILITY SERVICES PLAN

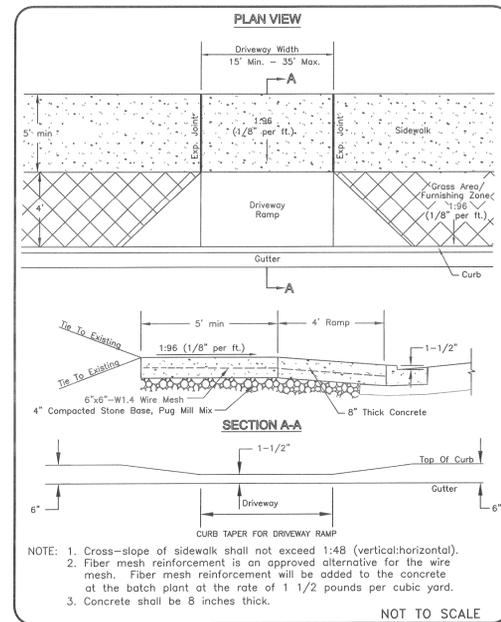
C5.0



11 **UNCURBED PAVEMENT EDGE**
NTS

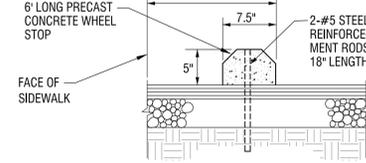


9 **ADA ACCESSIBLE SIGN**
NTS

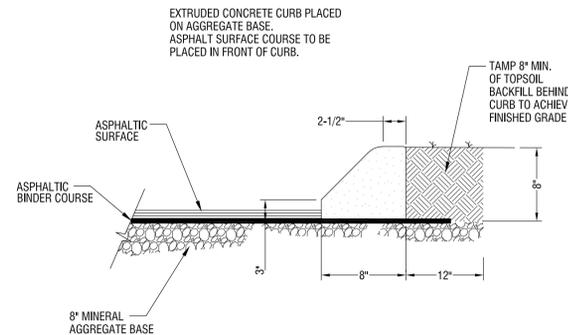


10 **COMMERCIAL DRIVEWAY RAMP**
NTS

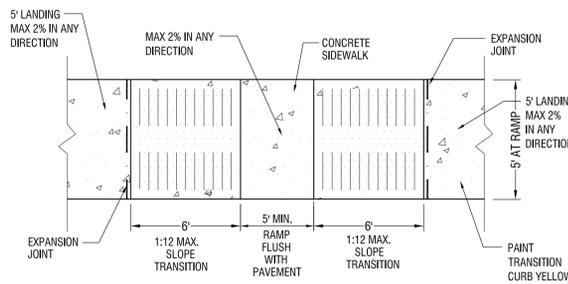
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION COMMERCIAL DRIVEWAY RAMP	DWG. NO. ST-324
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/12/02	REVISED: 07/27/02 REVISED: 05/08/03



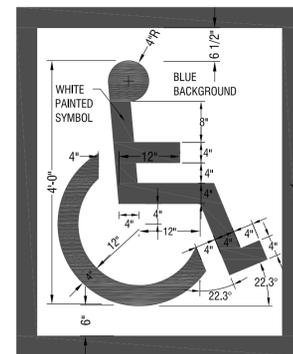
5 **CONCRETE WHEELSTOP**
NTS



6 **CONCRETE EXTRUDED CURB**
NTS

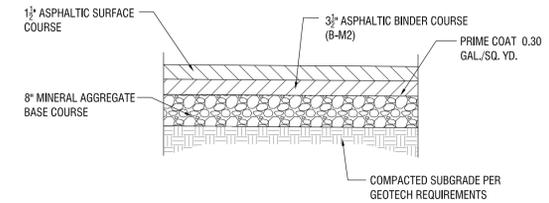


7 **ADA ACCESSIBLE RAMP**
NTS



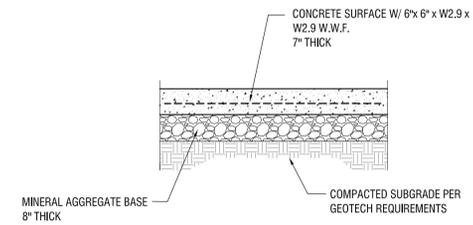
8 **ADA ACCESSIBLE SYMBOL**
NTS

ASPHALT PAVEMENT NOTE:
1. THE CONTRACTOR TO INCLUDE ADD-ALTERNATE PRICE FOR THE FOLLOWING: THE PAVEMENT SECTIONS SHOWN HEREON REFLECT A DESIGN FOR FULL DEPTH PAVEMENT AS DESCRIBED BY THE OWNER. THE PAVING CONTRACTOR IS REQUIRED TO FURNISH THE OWNER WITH A 2-YEAR WARRANTY ON THESE SECTIONS OR SHALL PROVIDE AN ALTERNATE PAVEMENT DESIGN THAT INCLUDES A 2-YEAR WARRANTY. ANY VARIATIONS FROM THE PAVING SECTIONS SHOWN REQUIRE APPROVAL BY THE OWNER PRIOR TO CONSTRUCTION.
2. AT THE TIME OF INSTALLATION, EACH AND EVERY PULL SHALL BE SUFFICIENTLY OVERLAPPED WITH THE ADJACENT PULL SUCH AS TO ELIMINATE ANY AND ALL DEPRESSIONS BETWEEN PULLS.
3. THE OWNER RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR AND ITS TESTING COMPANY TO PROVIDE AS MANY ASPHALT CORE SAMPLES AS THE OWNER DEEMS NECESSARY AND SUFFICIENT IN THE LOCATIONS SELECTED BY THE OWNER SO AS TO BE SATISFIED THAT THE WORK WAS COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. SUCH CORE SAMPLES AS DIRECTED BY THE OWNER AND THE SUBSEQUENT REPAIR WORK WILL BE CONSIDERED AN EXTRA.



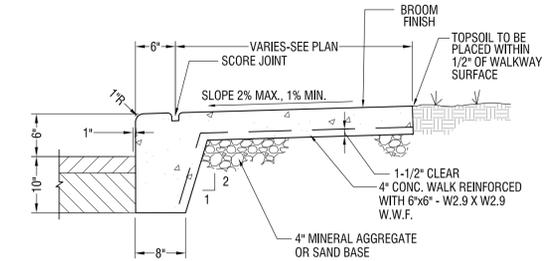
1 **ASPHALT PAVEMENT SECTION**
NTS

NOTE:
USE 4,000 PSI CONCRETE; USE GRADE 60 STEEL;
PROVIDE CONTROL JOINTS @ 10' CENTERS; PROVIDE EXPANSION JOINTS WHERE PAVEMENT ABUTS RIGID MATERIAL



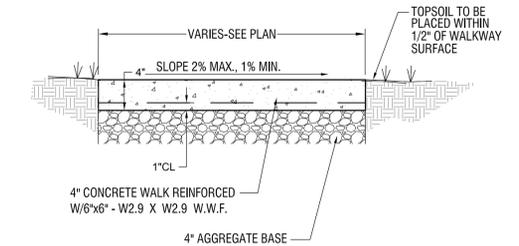
2 **CONCRETE PAVEMENT SECTIONS**
NTS

NOTE:
USE 3,500 PSI CONCRETE;
USE GRADE 60 STEEL; PROVIDE CONTROL JOINTS @ 5' CENTERS;
PROVIDE EXPANSION JOINTS @ 25' CENTERS AND WHERE SIDEWALKS ABUT RIGID MATERIAL



3 **SIDEWALK WITH TURN DOWN CURB**
NTS

NOTE:
USE 3,500 PSI CONCRETE; USE GRADE 60 STEEL;
PROVIDE CONTROL JOINTS @ 5' CENTERS
PROVIDE EXPANSION JOINTS @ 25' CENTERS AND WHERE SIDEWALKS ABUT RIGID MATERIAL

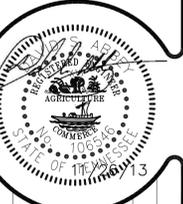


4 **CONCRETE SIDEWALK**
NTS

PLANS PREPARED FOR:
MTLC BUILDING GROUP
1237 BEECH HOLLOW DR.
NASHVILLE, TN 37211
(615) 567-5865

PLANS PREPARED BY:
Development Management Group, LLC
4209 GALLATIN PIKE
NASHVILLE, TN 37216
TEL: (615) 227-5865; FAX: (615) 227-5866

PROPOSED OFFICE / WAREHOUSE
95 GLENROSE AVENUE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE
CASE NO. 2013SP-045-001



NO.	DATE	DESCRIPTION

DATE: 11-18-13
DMG Project No: 12137

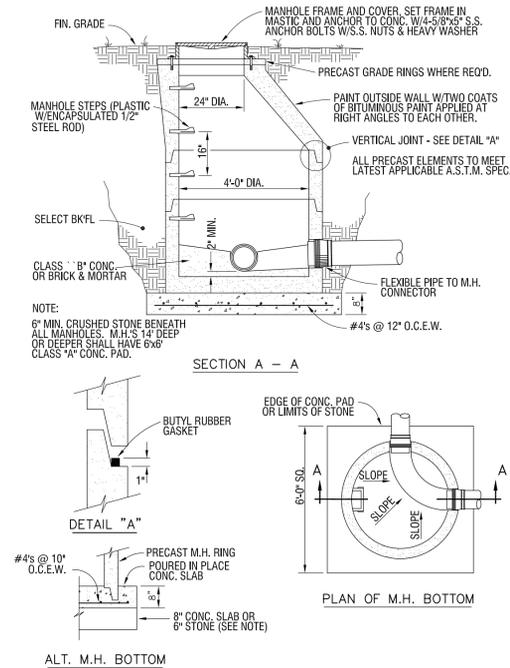
SITE DEVELOPMENT DETAILS
C6.0

ISSUED FOR: CHECKSET AGENCY REVIEW BID PURPOSES CONSTRUCTION

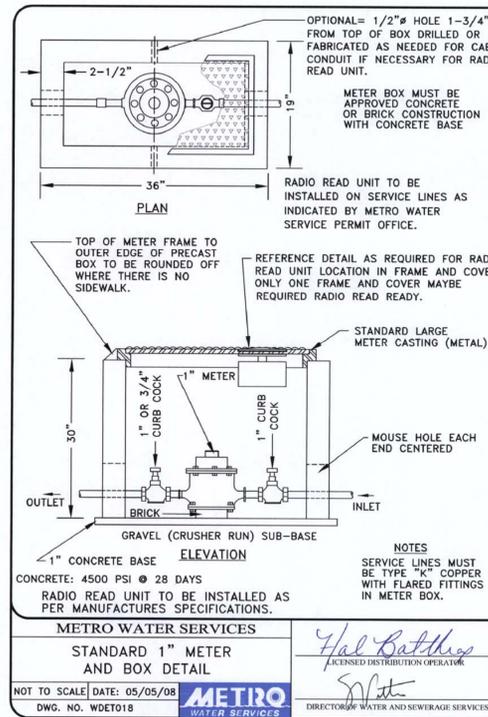


SCALE: AS NOTED

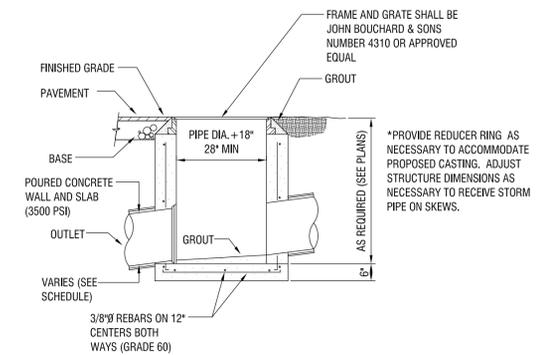
- GENERAL NOTES**
- FALL THROUGH MANHOLES SHALL BE AS PROVIDED BY THE GRADE OF THE SEWER IN STRAIGHT-THROUGH MANHOLES OR ANGLE MANHOLES UNDER 45 DEGREES WHERE THE GRADE IS 1.00% OR MORE. FOR STRAIGHT-THROUGH OR ANGLE MANHOLES OVER 45 DEGREES WHERE GRADE OF SEWER IS LESS THAN 1.00% OR FOR JUNCTION MANHOLES A MINIMUM FALL OF 0.10 SHALL BE PROVIDED THROUGH THE MANHOLES.
 - PIPE CONNECTIONS INTO MANHOLES SHALL BE MADE WITH A RESILIENT CONNECTOR CAST INTO MANHOLE SECTION AT THE TIME OF MANUFACTURE.
 - INVERTS FOR MANHOLES SHALL BE FIELD FORMED OF MASS CONCRETE USING PREFABRICATED FORMS.
 - ALL FLOORS OF MANHOLES MUST HAVE SMOOTH FLOAT AND BRUSH FINISH.
 - WHENEVER POSSIBLE THE ECCENTRIC CONE SHALL BE PLACED PERPENDICULAR TO THE LINE OF THE SEWER TO MINIMIZE FUTURE MEASUREMENT ERRORS ALONG THE SEWER LINE.
 - ALL VISIBLE LEAKS IN MANHOLES OBSERVED DURING CONSTRUCTION OR INSPECTION SHALL BE CORRECTED EVEN THOUGH INFILTRATION REQUIREMENTS HAVE ALREADY BEEN MET.
 - UNLESS OTHERWISE INDICATED OR SPECIFIED, UNREINFORCED CONCRETE FOR CRADLES AND ENCASEMENT SHALL BE CLASS "C" (2000 P.S.I.). MANHOLE INVERTS AND REINFORCED BASE AND TOP SLABS SHALL BE CLASS "B" (3000 P.S.I.) CONCRETE.



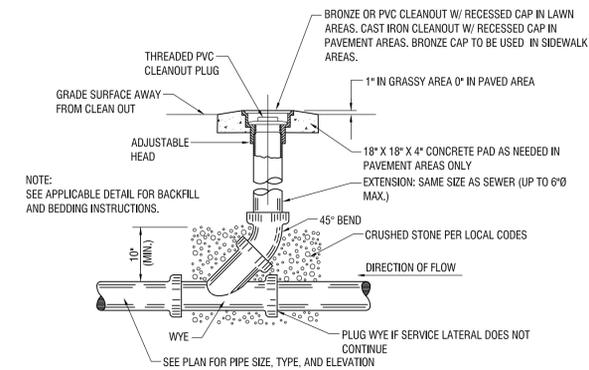
6 JUNCTION MANHOLE
NTS



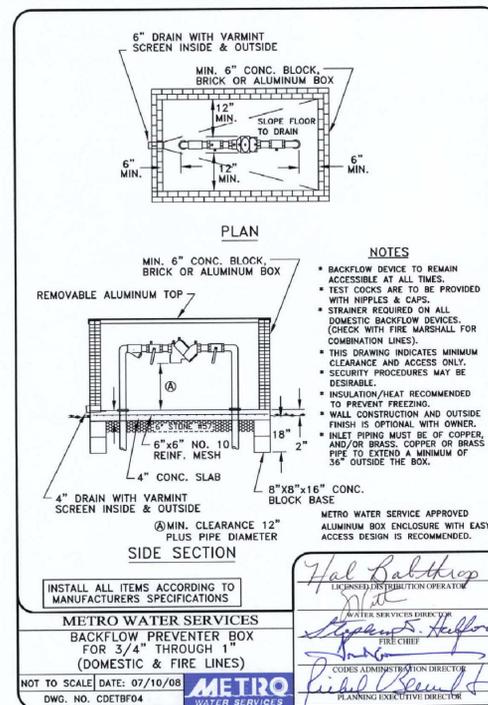
4 1" WATER METER
NTS



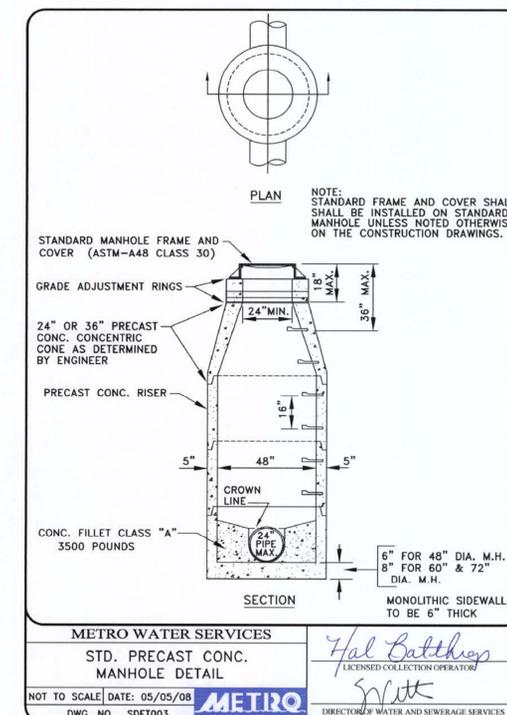
1 AREA DRAIN
NTS



2 CLEANOUT
NTS



5 1" BACKFLOW PREVENTER
NTS



3 SANITARY SEWER MANHOLE
NTS

PLANS PREPARED FOR:
MTLC
BUILDING GROUP

PLANS PREPARED BY:
Development Management Group, LLC

PROPOSED OFFICE / WAREHOUSE
95 GLENROSE AVENUE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE
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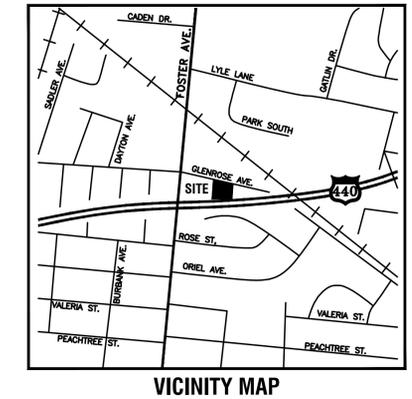
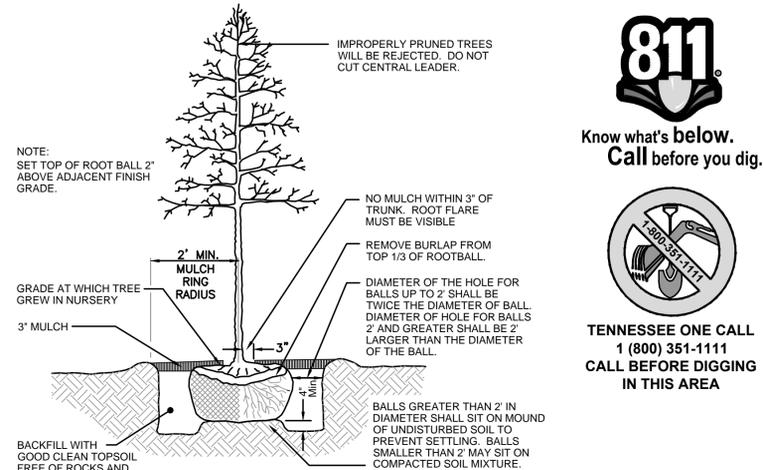
DATE: 11-18-13
DMG Project No: 12137

SITE DEVELOPMENT DETAILS
C6.1

PLANT SCHEDULE								
QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	TRUNK	TDU	COMMENTS	
CANOPY TREES								
5	River Birch	Betula nigra	12' - 14'	8' - 10'	2" Cal.	2.5	Multi-trunk	
3	Red Maple	Acer rubrum	12' - 14'	8' - 10'	2" Cal.	1.5	Strong Central Leader	
4	Green Giant Arborvitae	Thuja plicata 'Green Giant'	6' Min.	4' Min.	2" Cal.	2.0	Full to ground	
4	Tulip Poplar	Liriodendron tulipifera	12' - 14'	6' - 8'	2" Cal.	2.0	Strong Central Leader	
4	Shumard Oak	Carpinus betulus 'Fastigiata'	12' - 14'	6' - 8'	2" Cal.	2.0	Well formed	
20	TOTAL - CANOPY TREES						10.0	
UNDERSTORY TREES								
3	Yoshino Cherry	Prunus yedoensis	8' - 10'	5' - 6'	2" Cal.	1.5	Specimen	
3	Nellie R. Stevens Holly	Ilex x 'Nellie R. Stevens'	6' Min.	2' Min.		1.5	Full to ground	
6	TOTAL - UNDERSTORY TREES						3.0	
26	TOTAL - ALL TREES						13.00	
SHRUBS								
30	Dwarf Burford Holly	Ilex cornuta 'Burfordii nana'	18" Min.	18" Min.	3 Gal.		Full and heavy	
13	English Laurel	Prunus laurocerasus	30" Min.	24" Min.	5 Gal.		Full and heavy	
8	'Magic Carpet' Spirea	Spiraea japonica 'Magic Carpet'	12" Min.	12" Min.	3 Gal.		Full and heavy	
30	Inkberry Holly	Ilex glabra	18" Min.	18" Min.	3 Gal.		Full and heavy	
81	TOTAL - SHRUBS							
ORNAMENTAL GRASSES								
6	'Morning Light' Miscanthus	Miscanthus sinensis 'Morning Light'	24" Min.	24" Min.	5 Gal.			
GROUND COVER / PERENNIALS								
TURF								
SOD	Hybrid Fescue	Festuca x hybrid 'Falcon IV, Hound Dog V, Jaguar 3, Ultimate Inferno'					Hogan's Blend 888-224-6426	

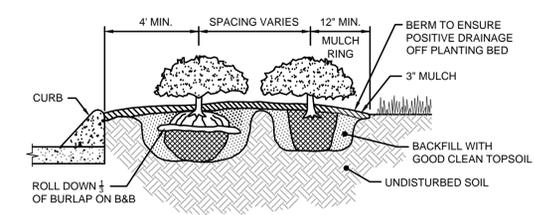
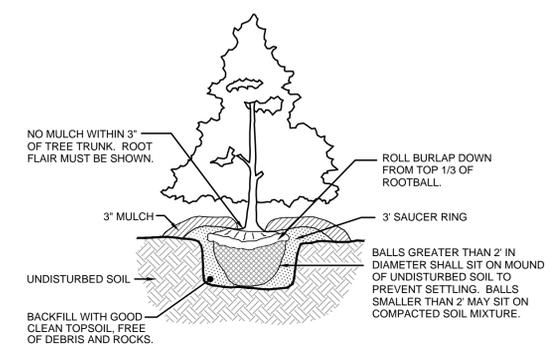
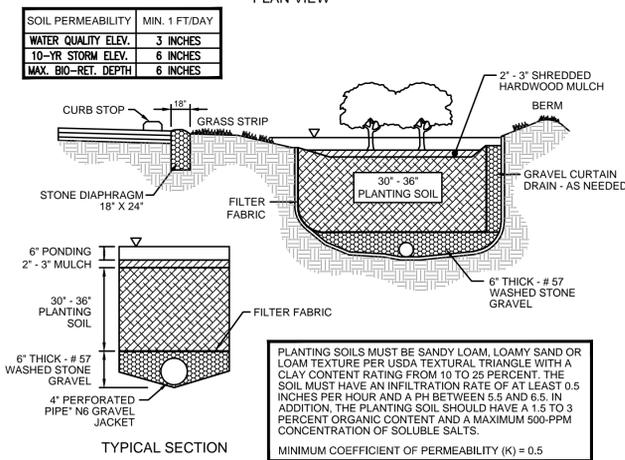
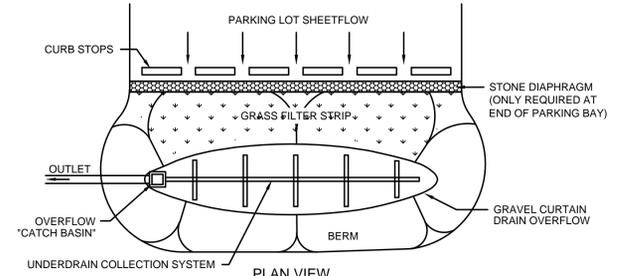
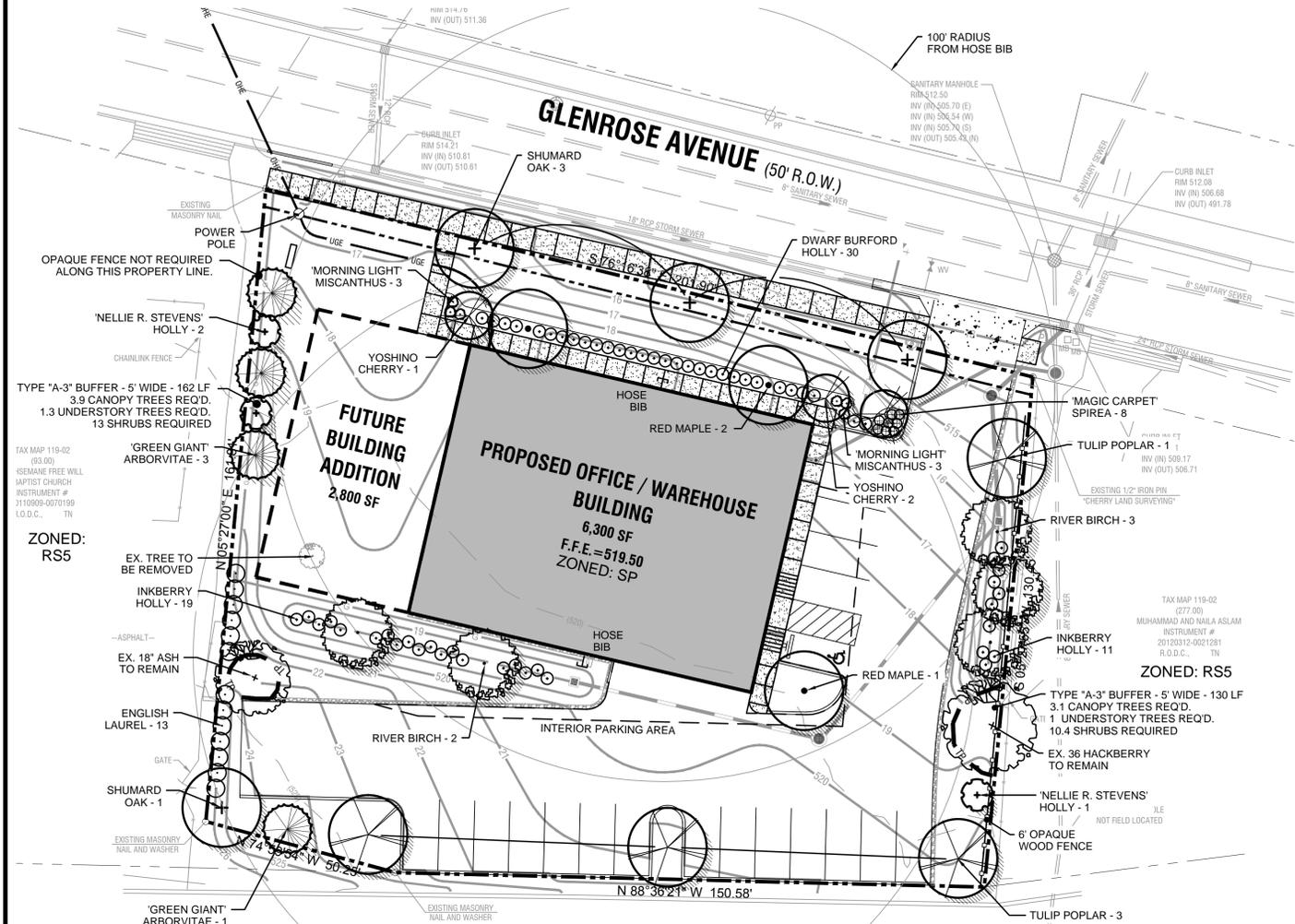
TREE DENSITY CALCULATIONS	
SITE ACREAGE:	(30,020 SF) 0.69 AC
MINUS BLDG. AREA:	(6,300 SF) -0.14 AC
ADJUSTED SITE ACREAGE:	0.55 AC X 14 TDU
TDU REQUIRED:	7.7 TDU
PROTECTED TREES:	0.0
EX. TREES (3)	
26 - 2" CAL. X 0.5 =	13.0
TOTAL TDU PROVIDED:	13.0

INTERIOR PLANTING	
INTERIOR PARKING SPACES:	5
1 TREE/15 SPACES:	
TREES REQUIRED:	1
TREES PROVIDED:	1
INTERIOR PARKING AREA:	1,350 SF
X 0.08	0.08%
PLANTING AREA REQUIRED:	108 SF
PLANTING AREA PROVIDED:	250 SF



LANDSCAPE NOTES:

- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THESE UTILITIES.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANIES AND SHALL BE RESPONSIBLE FOR ALL DAMAGE TO UTILITIES.
- ALL PLANTING BEDS OR MULCH BEDS SHALL BE SPRAYED WITH ROUND-UP OR HAND WEDED (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS. INSURE POSITIVE DRAINAGE OFF LANDSCAPE BERMS.
- ALL PLANTING AREAS SHALL BE FERTILIZED WITH 10 lbs./1000 S.F. OF 12-24-12 FERTILIZER.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF MULCH. NO MULCH WITH 3" OF TREE TRUNK.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- SOD ALL DISTURBED AREAS. SEE PLANT SCHEDULE FOR SEED VARIETY.
- ANY SHRUBS PLANTED WITHIN THE SIGHT TRIANGLE MUST BE MAINTAINED AT A MAXIMUM HEIGHT OF 24".
- ALL TREES AND SHRUBS TO BE GRADE "A" QUALITY. INTERIOR PLANTS WILL BE REJECTED. ALL PLANTS MUST MEET OR EXCEED THE SPECIFICATIONS SET FORTH IN ANSI Z60.1-2004 OR LATEST REVISION.
- ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN ONE YEAR, OR BY THE NEXT PLANTING PERIOD, WHICHEVER COMES FIRST. OTHER DEFECTIVE PLANT MATERIAL SHALL BE REPLACED OR REPAIRED WITHIN THREE (3) MONTHS.
- SITE TO BE IRRIGATED BY HOSE BIBS LOCATED ON THE BUILDING OR BY YARD HYDRANTS. WATER MUST BE PROVIDED WITHIN 100' OF ALL NEW PLANTINGS.



ISSUED FOR: CHECKSET AGENCY REVIEW BID PURPOSES CONSTRUCTION



SCALE: 1"=20'

CASE NO: 2013SP-045-001

MAP 119-02 PARCEL 97

PERMIT NO: T201329507

PLANS PREPARED FOR:

MTLTC
BUILDING GROUP

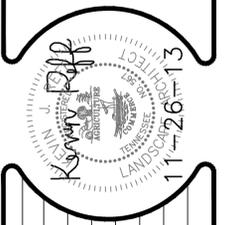
1237 BEECH HOLLOW DR.
NASHVILLE, TN 37211
(615) 587-5865

PLANS PREPARED BY:

Development Management Group, LLC

4208 GALLATIN PIKE
NASHVILLE, TN 37216
TEL: (615) 227-5866; FAX: (615) 227-5866

95 GLENROSE AVENUE SP
95 GLENROSE AVENUE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE



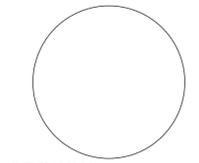
NO.	DATE	DESCRIPTION

DATE: 10-31-13

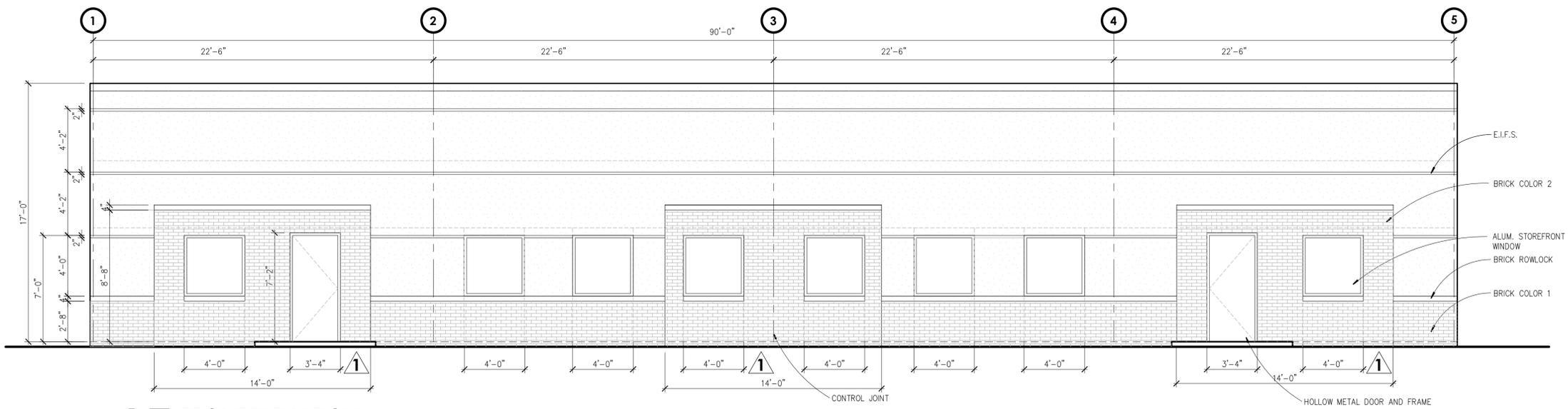
DMG Project No: 12137

LANDSCAPE PLAN

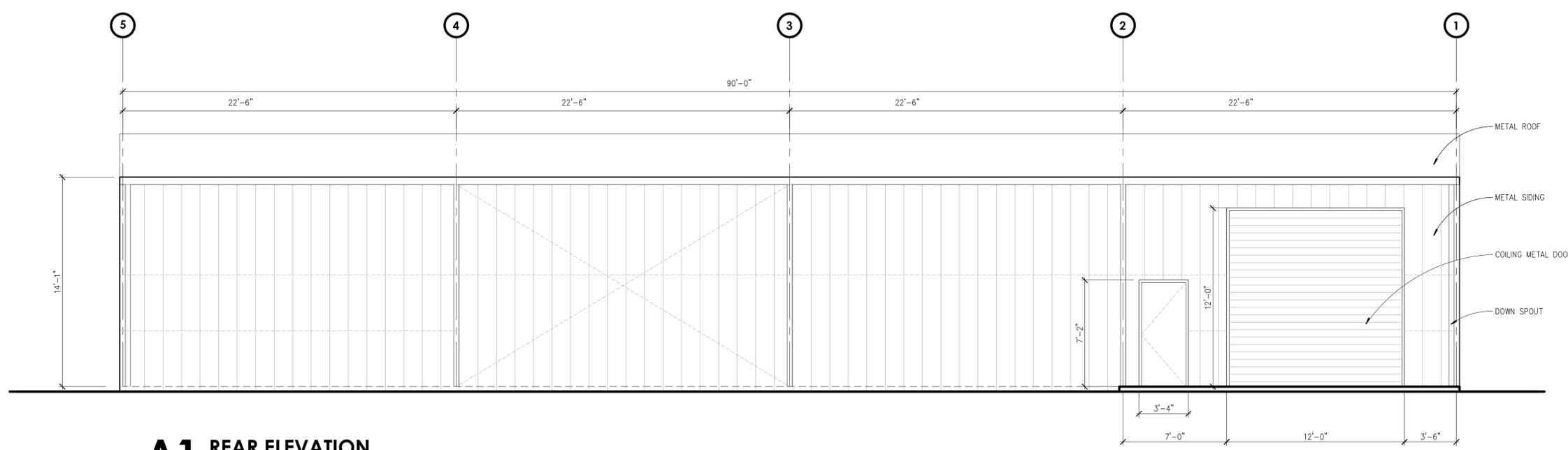
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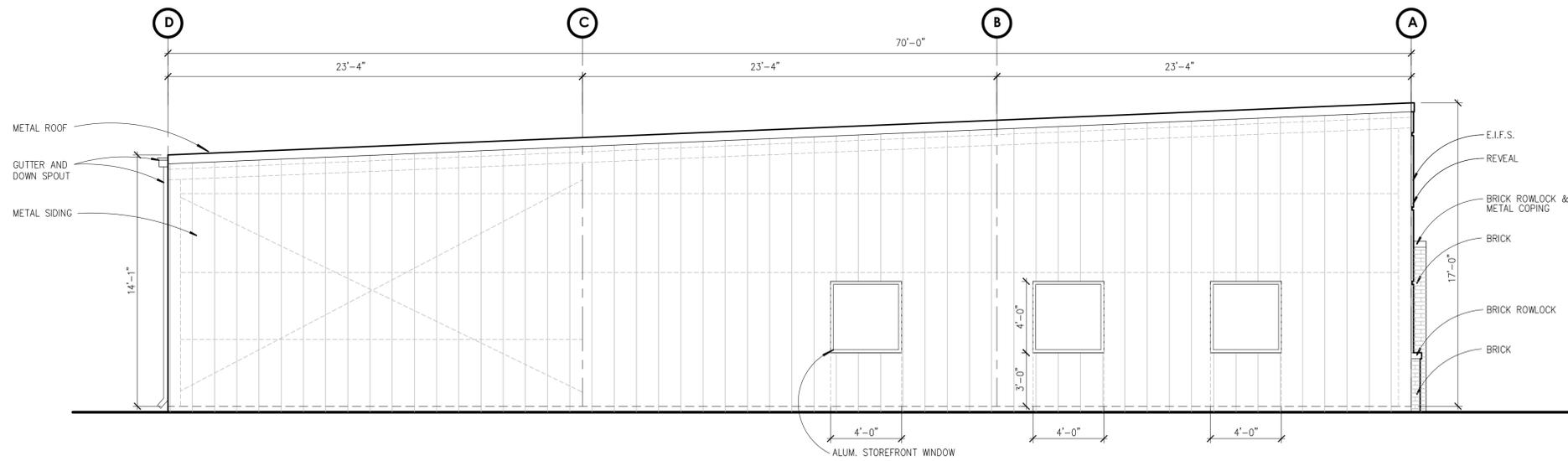
#	DATE	NOTE
-	10.31.13	FOR REVIEW
△	12.03.13	REVISION FOR REVIEW



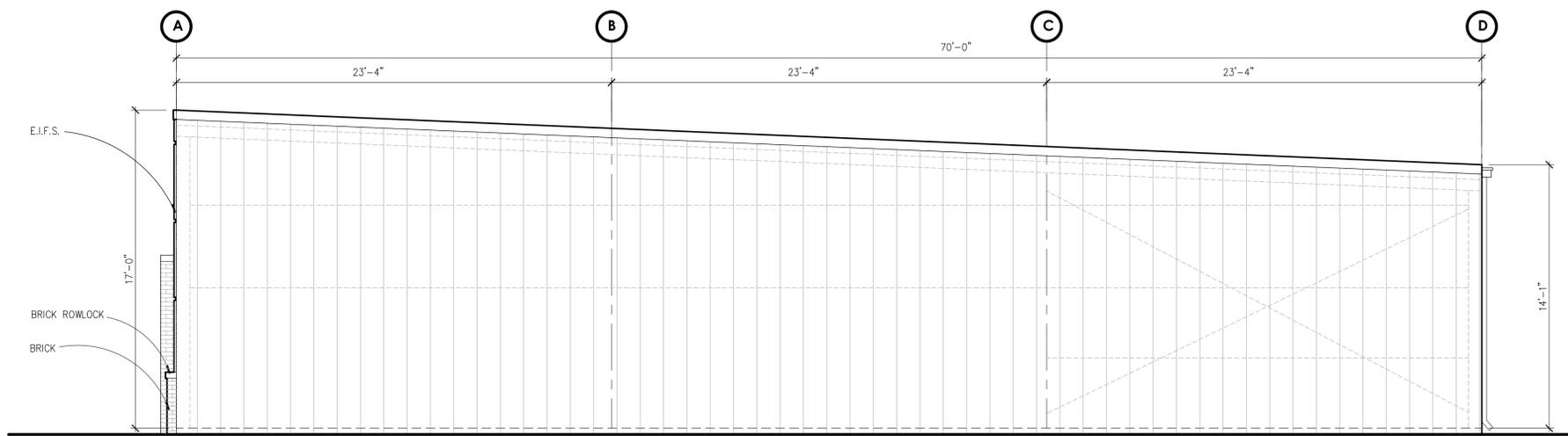
A7 FRONT ELEVATION
 1/4" = 1'-0"



A1 REAR ELEVATION
 1/4" = 1'-0"



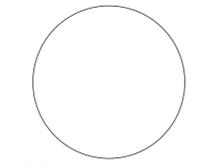
A7 SIDE ELEVATION
 1/4" = 1'-0"



A1 SIDE ELEVATION
 1/4" = 1'-0"

MTC ELEVATION

NASHVILLE TN



REVISION:

#	DATE	NOTE
-	10.31.13	FOR REVIEW
△	12.03.13	REVISION FOR REVIEW

DRAWING & SHEET #
 ELEVATIONS

A4.02