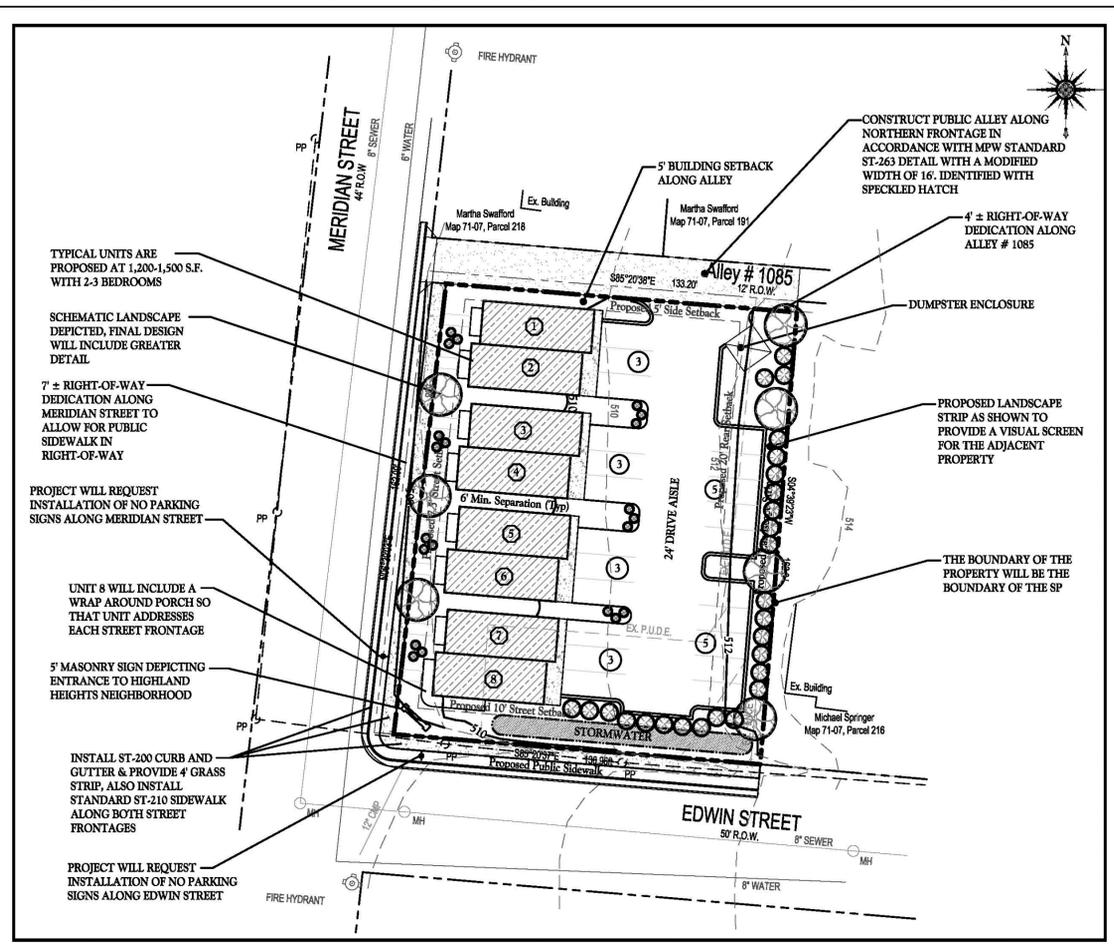


GRADING & UTILITY PLAN
Scale 1" = 30'



LAYOUT PLAN
Scale 1" = 30'

DEVELOPMENT NOTES:

1. THE PURPOSE OF THIS SPECIFIC PLAN IS TO PERMIT THE DEVELOPMENT OF THE PROPERTIES INTO A MULTI-UNIT RESIDENTIAL DEVELOPMENT.
2. FOR ANY DEVELOPMENT STANDARDS, REGULATIONS, AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE PLAN AND/OR INCLUDED AS A CONDITION OF APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE RM20 ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
3. SOLID WASTE PICKUP FOR THIS DEVELOPMENT WILL BE PROVIDED VIA ROLL-OFF CANS OR DUMPSTERS. IF NECESSARY, OWNER SHALL COORDINATE PRIVATE PICKUP IF REQUIRED BY METRO PUBLIC WORKS.
4. NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED ON FEMA FIRM PANEL 47037C0209 F, DATED APRIL 20, 2001.
5. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE METRO WATER AND SEWER DEPARTMENT.
6. THE REQUIREMENTS OF THE NASHVILLE FIRE DEPARTMENT FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
7. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH THE STORM WATER MANAGEMENT ORDINANCE # 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
8. THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE APPLICATION.
9. METRO WATER SERVICES MUST BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
10. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO R.O.W. IS 15" CMP).
11. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
12. THIS PROJECT WILL BE A SINGLE PHASE DEVELOPMENT.
13. BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPLE ENTRANCE (DOORWAY) ONTO STREET AND A MINIMUM OF 25% GLAZING.
14. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 2:1 OR GREATER.
15. EIFS AND VINYL SIDING SHALL BE PROHIBITED.
16. FINISHED GROUND FLOORS AND PORCHES SHALL BE ELEVATED A MINIMUM OF 18 INCHES TO A MAXIMUM OF 30 INCHES FROM THE ABUTTING GROUND ELEVATION.
17. PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.

SPECIFIC PLAN SUMMARY

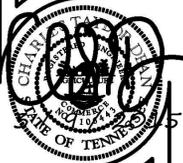
SP NAME:	The Row @ Meridian
SP NUMBER:	2014SP - 0034 - 001
PROPERTY ACREAGE:	0.48 acres (20,923 s.f.)
PROPERTY OWNER:	Capital Homes, LP Contact: Brandon McDonald (615-594-6838) 203 Point East Drive Nashville, TN 37216
COUNCIL DISTRICT:	5 [Scott Davis]
CURRENT ZONING:	R55
ALLOWABLE USE:	Medium Density Residential
PROPOSED USE:	Townhouses
PROPOSED DENSITY:	8 Dwelling Units or 16.7 Units per Acre
FLOOR AREA RATIO:	0.48 Proposed; 0.80 Max. Allowable
IMPERVIOUS SURFACE:	0.70 Proposed; 0.80 Max. Allowable
STREET SETBACK:	7.5 Feet from R.O.W. on Meridian
SIDE SETBACK:	10 Feet along Edwin; 5' along Alley
REAR SETBACK:	20 Feet
MAXIMUM HEIGHT:	2 Stories or 30 feet
REQUIRED PARKING:	2 Spaces per unit x 8 Units 2 x 8 = 16 Spaces Required
PROPOSED PARKING:	22 Spaces (2.75 per Unit)
FLOOD ZONE:	47037C0209 F

Preliminary SP Plan
Metro SP # 2015SP-0034-001

Initial Submittal:
January 29, 2015
Revisions:
February 25, 2015
March 9, 2015

30 Scale
Designed By:
Charley Dean, PE

Dean Design Group, LLC
Civil Engineering, Land Planning & Zoning
1633 West Main Street, Suite 1002, Lebanon TN 37087
Phone: 615-300-6316; Email: charley@deandesigngroupllc.com



The Row @ Meridian
Tax Map 71-07, Parcel 217
1901 Meridian Street, Nashville 37207

Permit Info:

Project: 14028

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Sheet 1 of 1