

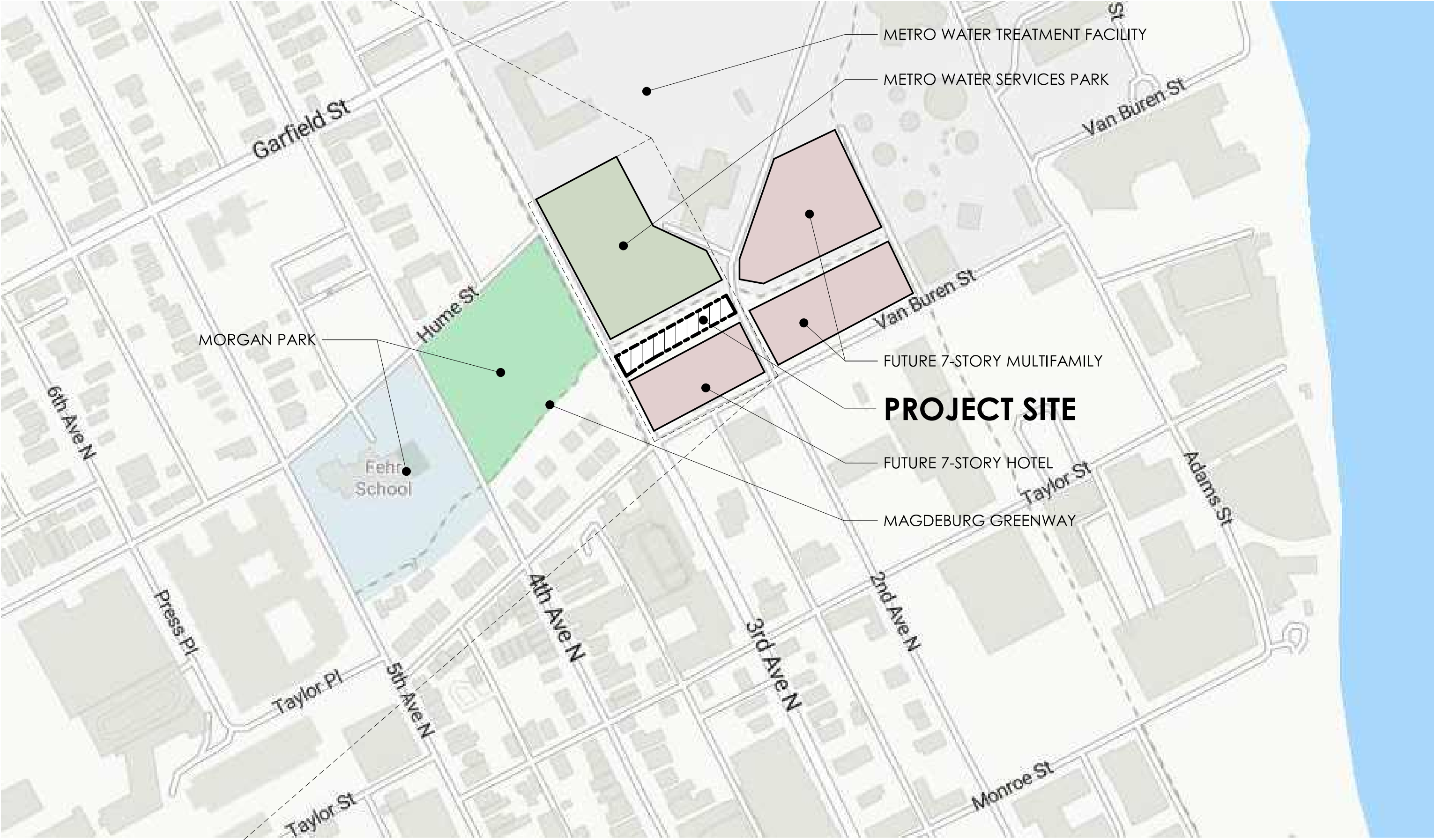
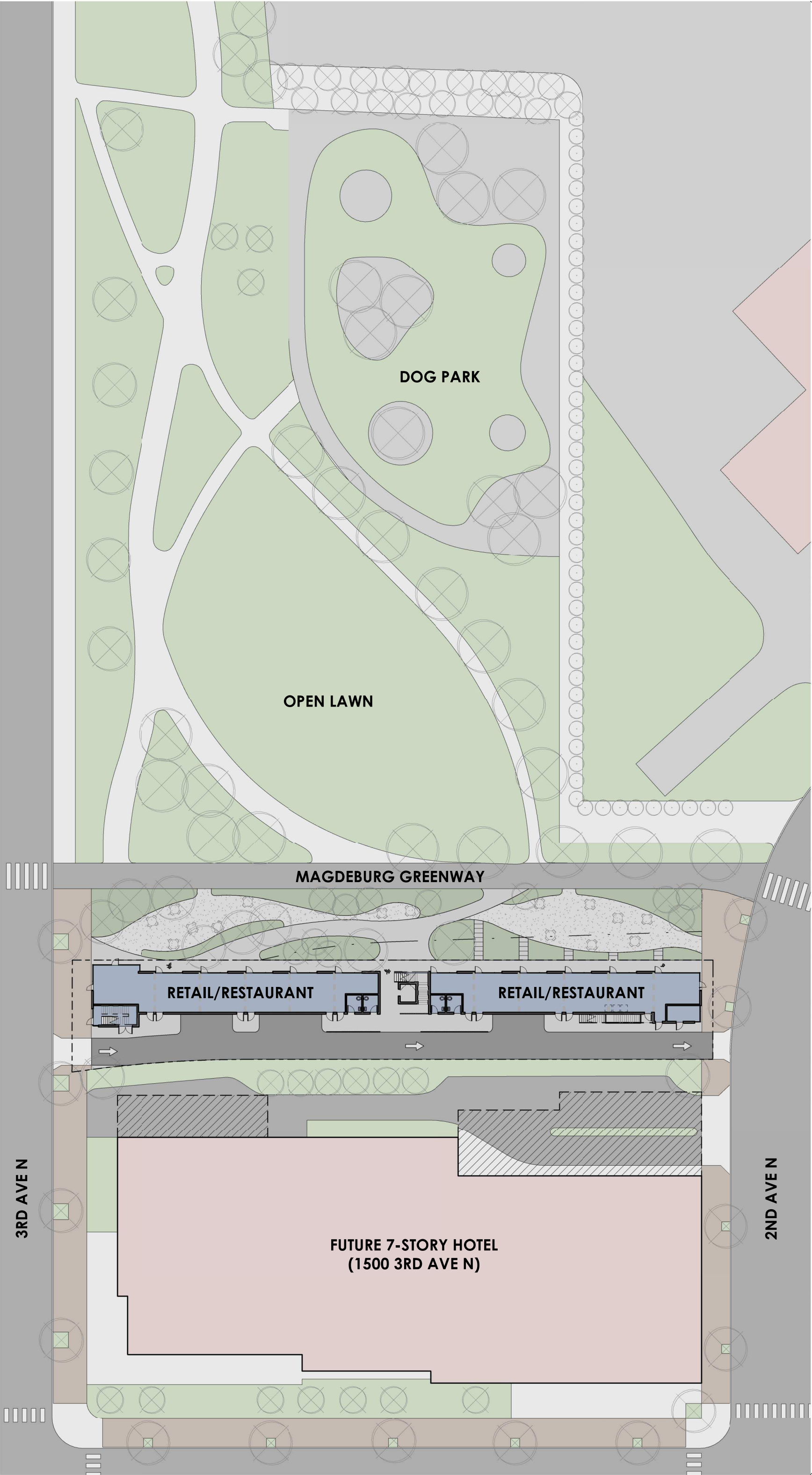
AMENDMENT TO THE ORIGINAL SPECIFIC PLAN

GERMANTOWN GREEN

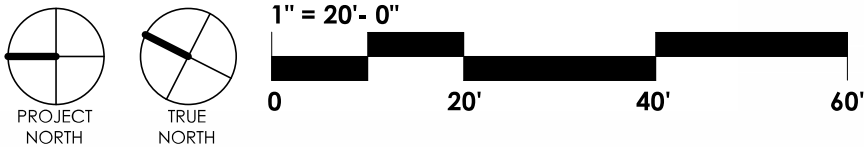
BEING PARCEL 173 ON TAX MAP 82-05

NASHVILLE, DAVIDSON COUNTY, TN 37208





1 MASTER SITE PLAN
1" = 40'-0"



Erosion Control and Grading Notes

- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 10-10-10 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
- Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section TCP-14.
- Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 6" thick.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
- The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
- The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
- All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
- All erosion control measures shall remain in place until site is stabilized & construction is complete.
- Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro CP-10 and CP-13, respectively. Contractor to coordinate exact location with NPDES department during the pre-construction meeting. Grading permittee to include bmp's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the EPSC plan.
- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.
- Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Storm Water approval /comments only. The final lot count and details of the plan shall be governed by the appropriate Storm Water regulations at the time of final application.

Landscape Notes

- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities. the landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
- All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- All planting areas shall be fertilized with 12#/1000 s.f. of 10-10-10 fertilizer.
- All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
- No plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
- All wire baskets shall be completely removed and disposed of, burlap should be removed or punctured in at least 5 places. Remove all twine from burlapped materials.
- Guying is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period.
- No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.
- Lighting plan to be coordinated with proposed planting plan, no light poles to be located in tree islands. See lighting plan for proposed light locations.

NDOT Notes

- All work within the public right of way requires an excavation permit from NDOT.
- Proof-rolling of all street subgrades is required in the presence of the NDOT inspector. Inspection of the binder course is required prior to final paving in the presence of the NDOT. These requests are to be made 24 hours in advance.
- Stop signs are to be 30 inch by 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade, high intensity reflective.
- All pavement marking are to be thermoplastic.
- Final construction plans and road grades shall comply with the design regulations established by NDOT. Slopes along roadways shall not exceed 3:1.

MWS Standard Private Utility Plan Notes

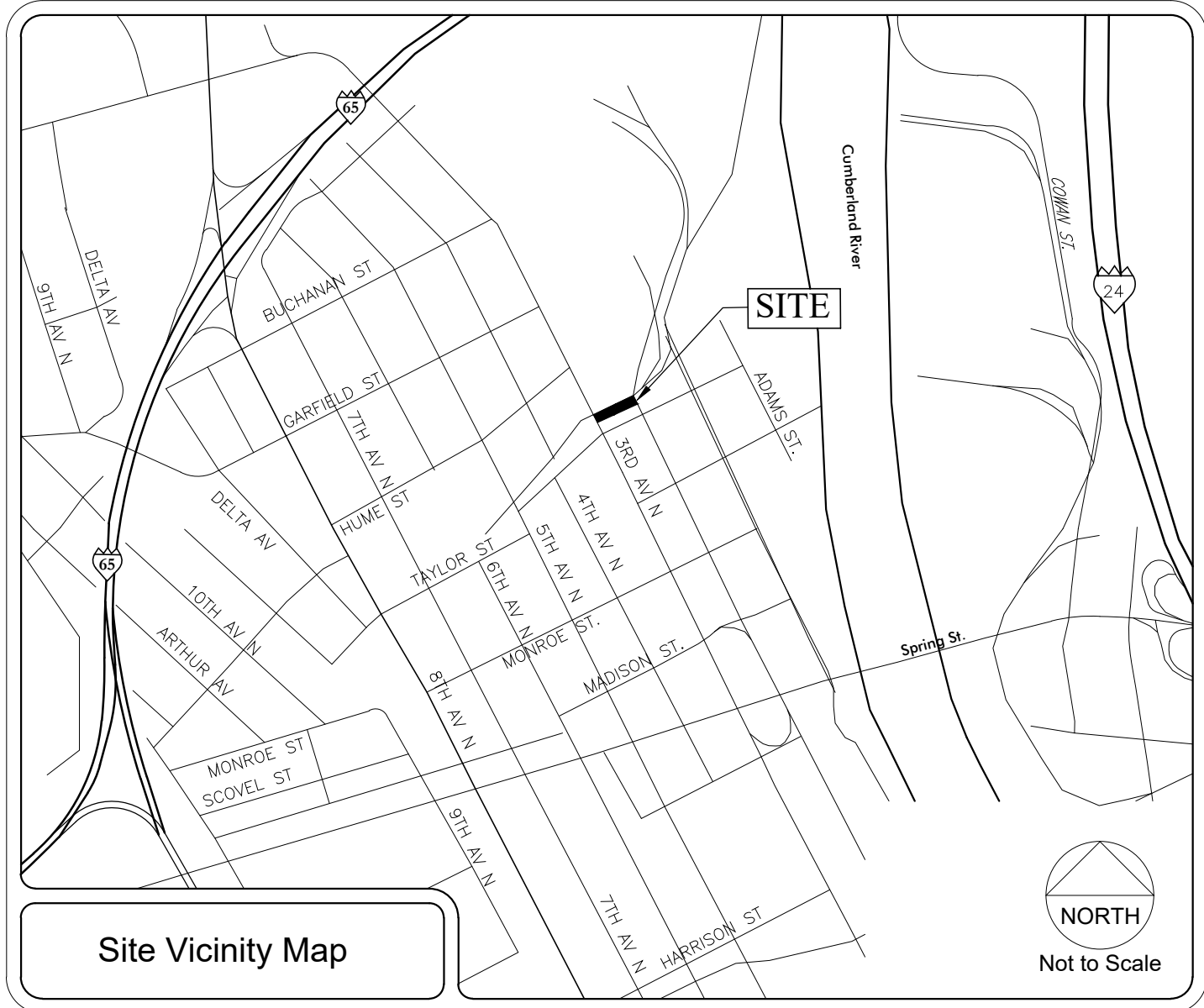
- All water and sewer construction shall be in accordance with specifications and standard details of the metro Water Services.
- All connections to existing manholes shall be by coring and resilient connector method.
- Vertical Double Check Valve Assemblies, that are located in interior rooms, can only be used for fire services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Irrigation line shall be copper from the meter to the backflow preventer.
- The minimum fees outlined in the capacity letter must be paid before commercial construction plans can be reviewed.
- All sewer services shall be minimum 6 inches in diameter, from connection at the main until the fires clean out assembly.
- Backflow device to remain accessible at all times.
- Plan size shall be 24" x 36" and shall show contours around meter boxes.
- Any unused existing water meters must be cut and capped at the public main.
- All lead or galvanized water service lines encountered with the project shall be reinstated with copper of like size from the water main to the meter box.
- Domestic and irrigation water meters and associated appurtenances shall be placed in or under a paved or improved surface other than the portion of the service located within the right of way.
- Sanitary sewer taps shall be placed at the lowest adjacent sewer main elevation for each premises and shall not be located in or under a paved or improved surface other than the portion within the right of way.

Water and Sewer Notes

- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the developer.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans in digital (DWG & PDF) format. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made. (A) Sewer plans shall be sealed by a license professional engineer and/or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service to property corners and lines and/or stationing and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. (B) Water line plans shall be sealed by a Licensed Professional Engineer and/or a Registered Land Surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, location of hydrants, valves, reducers, tees and pressure reducing devices where applicable.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- All water mains must be located within the paved areas including all blow-off assemblies.
- All lead or galvanized water service lines encountered with this project shall be reinstated with copper of like size from the water main to the meter box.
- Domestic and irrigation water meters and associated appurtenance shall not be placed in or under a paved or improved surface other than the portion of the service located within the right of way
- Sanitary sewer taps shall be placed at the lowest adjacent sewer main elevation for each premises and shall not be located in or under a paved or improved surface other than the portion within the right of way.

Standard SP Notes

- The purpose of this SP is to obtain Preliminary approval for a mixed use development.
- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78-840 & Approved by the Metropolitan Department of Water Services.
- This property does not lie within a flood hazard area as identified by FEMA ON MAP 47037C0241H", Dated: April 5, 2017.
- All public sidewalks are to be constructed in conformance with metro public works sidewalk design standards.
- Wheel chair accessible curb ramps, complying with applicable metro public works standards, shall be constructed at street crossings.
- The required fire flow shall be determined by the metropolitan fire marshal's office, prior to the issuance of a building permit.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro right of way is 18" RCP).
- Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
- Individual water and/or sanitary sewer service lines are required for each unit.
- Solid waste pickup to be provided by individual roll-away cans.
- Landscape and tree density requirements per Metro Zoning Ordinance.
- Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.
- For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of commission or council approval, the property shall be subject to the standards, regulations and requirements of the MUL-A zoning district as of the date of the applicable request or application.
- The final Site Plan/building permit site plan shall depict any required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within any required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of any required sidewalk. Vertical obstructions are only permitted within any required grass strip or frontage zone.



Council Bill 2022-1286

An ordinance to amend Title 17 of the Metropolitan Code of Laws, the Zoning Ordinance of The Metropolitan Government of Nashville and Davidson County, by changing from IR to SP zoning for property located at 3rd Avenue North (unnumbered), approximately 145 feet north of Van Buren Street (0.33 acres), to permit five multi-family residential units, all of which is described herein (Proposal No. 2021SP-044-001).

NOW, THEREFORE, BE IT ENACTED BY THE COUNCIL OF THE METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY:

Section 1. That Title 17 of the Code of Laws of The Metropolitan Government of Nashville and Davidson County, is hereby amended by changing the Official Zoning Map for Metropolitan Nashville and Davidson County, which is made a part of Title 17 by reference, as follows:

By changing from IR to SP zoning for property located at 3rd Avenue North (unnumbered), approximately 145 feet north of Van Buren Street (0.33 acres), to permit five multi-family residential units, being Property Parcel No. 173 as depicted on Map 082-05 of the Official Property Identification Maps of The Metropolitan Government of Nashville and Davidson County, all of which is described by lines, words and figures on the plan that was duly considered by the Metropolitan Planning Commission, and which is on file with the Metropolitan Planning Department and Metropolitan Clerk's Department and made a part of this ordinance as though copied herein.

Section 2. Be it further enacted, that the Metropolitan Clerk is hereby authorized and directed, upon the enactment and approval of this ordinance, to cause the change to be made on Map 082 of said Official Zoning Map for Metropolitan Nashville and Davidson County, as set out in Section 1 of this ordinance, and to make notation thereon of reference to the date of passage and approval of this amendatory ordinance.

Section 3. Be it further enacted, that the uses of this SP shall be limited to a maximum of 5 multi-family units as identified on the proposed SP plan. Short term rental property owner-occupied and short term rental property not owner-occupied shall be prohibited.

Section 4. Be it further enacted, that the following conditions shall be completed, bonded or satisfied as specifically required:

- Units that front onto right-of-way shall address the right-of-way with the buildings architecture and typical architectural elevations shall be provided with the final site application.

- Interior units are required to front onto Greenway. Elevation will be reviewed by staff with submission of the final site plan
- Height of structures limited to height of 30' at eave of pitched roof.
- Replace Architectural Note C with the following: Building facades shall be constructed of brick, brick veneer, stone, cast stone, cementitious siding, glass, or materials substantially similar in form and function, unless otherwise approved on detailed building elevations included with the preliminary SP.

Section 5. Be it further enacted, a corrected copy of the preliminary SP plan incorporating the conditions of approval by Metro Council shall be provided to the Planning Department prior to or with final site plan application.

Section 6. Be it further enacted, minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Section 7. Be it further enacted, if a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulation and requirements of the RM20 zoning district as of the date of the applicable request or application. Uses are limited as described in the Council ordinance.

Section 8. Be it further enacted, that this ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of The Metropolitan Government of Nashville and Davidson County requiring it.

Specific Notes:

- Brick Sidewalks Along 2nd & 3rd Avenue North are Subject to NDOT Approval. Historic Germantown Neighborhood Association in Agreement with NDOT that All New Sidewalks in Germantown to be Brick.
- No Short-Term Rentals.
- Decorative Street Lights Along 2nd & 3rd Avenue North to be required.

Amendment to the Preliminary SP

Germantown Green

Being Parcel 173 on Tax Map 82-05

Nashville, Davidson County, Tennessee

Case No. 2021SP-044-002

Council Bill 2022-1286

SPECIFIC PLAN DEVELOPMENT SUMMARY

USE	USES PERMITTED UNDER MUL-A ZONING DISTRICT
TOTAL SITE AREA	0.29 ACRES
CURRENT PROPERTY ZONING SP	SURROUNDING ZONING IR
MINIMUM LOT SIZE	NOT APPLICABLE
FAR	1.50 MAXIMUM
ISR	0.60 MAXIMUM
STREET YARD SETBACK	0-15' BUILT TO
SIDE YARD	NONE REQUIRED
REAR YARD	NONE REQUIRED
HEIGHT STANDARDS	3 STORIES IN 45 FEET MAX. HEIGHT SHALL BE MEASURED FROM THE AVERAGE ELEVATION (AVERAGE OF 4 MOST EXTERIOR CORNERS) AT THE FINISHED GRADE (FINAL GROUND ELEVATION) TO THE MIDPOINT OF THE PRIMARY ROOF PITCH (THE VERTICAL DISTANCE FROM EAVE TO MIDPOINT) OR TO THE TOP OF PARAPET FOR A FLAT ROOF.

PARKING AND ACCESS

RAMP LOCATION AND NUMBER	ONE WAY DRIVE WITH ACCESS FROM 2nd & 3rd AVENUES
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30')	+/- 55' EAST ALONG 3rd AVENUE
DISTANCE TO INTERSECTION	+/- 150' SOUTEAST TO 3rd & VAN BUREN
REQUIRED PARKING	NO PARKING REQUIRED (UZO)
PARKING PROVIDED	NO PARKING PROVIDED
NOTE: BEARING REFERENCE OF NAD83 OR 'STATE PLANE' ARE ACCEPTABLE.	

PLANS SHOWN HEREIN IS PROPOSED AS THE FINAL USE OF THE LAND. IF CONSTRUCTION OF THIS DESIGN AS LAID OUT DOES NOT BEGIN IN THE NEAR FUTURE, AN INTERIM USE OF A FOOD TRUCK COURT MAY BE PERMITTED. TRUCKS MUST BE LIMITED TO 10 TRUCKS MAXIMUM. TEMPORARY PARKING SHALL BE COORDINATED WITH NDOT & GREEN SPACE W/ OUTDOOR DINING AREAS MUST BE PROVIDED. IF THE FOOD TRUCK COURT IS DESIRED AS A TEMPORARY OR INTERIM USE, A FINAL SP SITE PLAN WILL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND APPROVAL.

SOLID WASTE & RECYCLING TO BE COORDINATED WITH A PRIVATE HAULER. LOCATION MAY BE WITHIN THE PROPOSED STRUCTURE TO BE DEFINED WITH THE FINAL SP.

Property Information
0 3rd Avenue North
Nashville, Tennessee 37208
0.29 Total Acres
Council District 19: Jacob Kupin

Owner of Record
Jeff Zeitlin
1806 B 5th Avenue North
Nashville, Tennessee 37208
Phone: 615.300.3228
Email: jefzeitlin@gmail.com

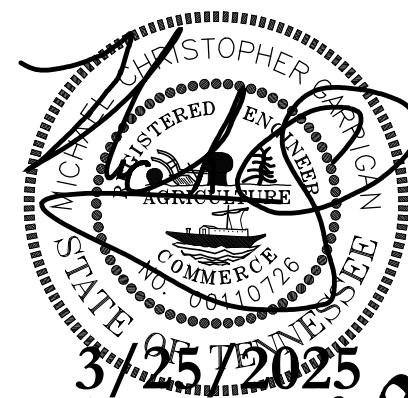
This site does not lie within a flood hazard area as depicted on the most current FIRM Panel Number 47037C0241H, dated April 5, 2017.

Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to stormwater approval / comments only.

SHEET SCHEDULE

C0.0 Cover Sheet
C1.0 SP Layout & Utility Plan
L1.00 SP Landscape Plan
A1.0-A2.1 Architectural Elevations & Perspectives

Permits/Case Numbers
MPC Case No 2021SP-044-002
Metro Council Bill BL2022-1286



Dale & Associates
3/25/2023
516 Leadville Place
Nashville, TN 37204
(615) 297-5366
Civil Engineering
Land Planning & Zoning
Surveying

D&A Project #20147
Preliminary SP Amendment

C0.0

Date	3/25/2025
Map	Parcel 8205017300
Application Number	
Project Name	Germantown Green
Address	0 3rd Avenue North

1	Acreage (area of parcel including building site)	0.5
2	Minus Building Coverage Area	(-) 0.1652
		(-) 0
3	Equals Adjusted Acreage	(=) 0.3348
4	Multiply by Required Tree Density Unit per acre choose one	(x) 22
5	Required TDU for Project	(=) 7.4

0.5
(-) 0.1652
(-) 0

(=) 0.3348

(x) 22

(=) 7.4

All but Single Family and 1 & 2 Family	14
	(=) NA

Single Family and 1 & 2 Family

HERITAGE TREE(S) RETAINED

DBH	# of Trees	Value	TDU
8"		x 3.2	0
10"		x 4.0	0
12"		x 4.8	0
14"		x 5.6	0
16"		x 6.4	0
18"		x 7.2	0
20"		x 8.0	0
22"		x 8.8	0
24"		x 9.6	0
*Greater than 24" equals DBH x .5 per inch			
total			0

add total to line 6

RETAINED TREE(S)

DBH	# of Trees	Value	TDU
24"		x 8.4	0
26"		x 9.1	0
28"		x 9.8	0
30"		x 10.5	0
32"		x 11.2	0
34"		x 11.9	0
36"		x 12.6	0
38"		x 13.3	0
40"		x 20.0	0
total			0

add total to line 6

REPLACEMENT TREE(S)- LARGE & MEDIUM CANOPY TREES			
DBH	# of Trees	Value	TDU
2"		x .5	0
3"		x .6	0
4"	6	x .7	4.2
5"		x .9	0
6"		x 1.0	0
7"		x 1.2	0
8"		x 1.3	0
total			4.2
add total to line 7			
EXAMPLES but not limited to:			
Deciduous- Oak, Maple, Poplar, Planetree, Ginkgo			
Evergreen- Am. Holly, So. Magnolia, Pine, Hemlock, Spruce, Cedar			
Mature height greater than 30'			

6	Total TDU Retained on-site	0
7	Total TDU for Replacement Trees- On-site	(+) 7.5
8	Total Credits Paid to Tree Mitigation Bank*	(+)
9	Total Density Units Provided	(=) 7.5

The total density units provided (line 9) must equal or exceed the requirements of line 5 above.

All Retained and Replacement trees must be shown on site plan.

Trees not protected in accordance with 17.24.110 - Protection of trees during development activities, cannot be counted towards TDU.

Canopy Street Trees with less than 600 c.f. or Understory with less than 400 c.f. root volume receive no TDU credit.

* Tree Bank cannot be used for Buffer, Screening, Frontage, Perimeter or other requirements. Only for balancing Required TDU.

RETAINED TREE(S)

DBH	# of Trees	Value	TDU
6"		x 1.8	0
8"		x 2.4	0
10"		x 3.0	0
12"		x 3.6	0
14"		x 4.2	0
16"		x 4.8	0
18"		x 5.4	0
20"		x 6.0	0
22"		x 6.6	0
total			0

add total to line 6

RETAINED TREE(S)

DBH	# of Trees	Value	TDU
42"		x 23.1	0
44"		x 26.1	0
46"		x 27.6	0
48"		x 28.8	0
50"		x 30.0	0
52"		x 31.2	0
54"		x 35.1	0
56"		x 36.4	0
58"		x 37.7	0
60"		x 42.0	0
total			0

add total to line 6

REPLACEMENT TREE(S)- LARGE & MEDIUM COLUMNAR, SMALL UNDERSTORY TREES and STREET TREES*			
DBH	# of Trees	Value	TDU
2"		x .25	0
3"	11	x .3	3.3
4"		x .4	0
5"		x .5	0
6"		x .5	0
7"		x .6	0
8"		x .7	0
total			3.3
add total to line 7			
EXAMPLES but not limited to:			
Columnar (Fastigate)-Deciduous: Slender Silhouette Sweetgum, Arnold Tulip Poplar, Princeton Sentry Ginkgo			
Understory Deciduous-Deciduous- Redbud, Dogwood, Flowering Cherry, Japanese Magnolia, Japanese Maple			
Understory Evergreen- Dwf. Magnolia, Hybrid Holly, Cherry Laurel (tree form)			
Mature height avg. 30' or less.			
Small Understory Columnar varieties receive no TDU credit			

PLANTING NOTES

1. VERIFY ALL UTILITY LOCATIONS IN THE FILED BEFORE BEGINNING WORK. REPAIR DAMAGED UTILITIES TO OWNER'S SATISFACTION AT NO ADDITIONAL COST.
2. SUBMIT A MINIMUM OF THREE PHOTOGRAPHS OF EACH TREE TYPE FOR REVIEW AND COMMENT PRIOR TO DIGGING. IMAGES MUST ADEQUATELY SHOW THE TREE'S SYMMETRY, CENTRAL LEADER (IF APPLICABLE), OVERALL FORM, AND HEALTH. IMAGES THAT DO NOT REFLECT THIS WILL BE REJECTED WITHOUT ANY FURTHER REVIEW.
3. TREES SHALL BE FIRST QUALITY REPRESENTATIVES OF THEIR SPECIES AND SHALL MEET ALL REQUIREMENTS OTHERWISE STIPULATED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL IN THE FIELD, AT THE GROWING LOCATION, OR AT THE JOB SITE AT ANY TIME DURING THE PROJECT.
4. PLANTS SHALL MEET SPECIFICATIONS/SPECIAL PROVISIONS. ROOTBALLS SHALL MEET OR EXCEED SIZE STANDARDS AS SET FORTH IN AMERICAN STANDARDS FOR NURSERY STOCK.
5. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER AT ANY TIME.
6. TOPSOIL SHALL MEET CLASSIFICATIONS ASSOCIATED WITH SANDY LOAM. IN THE EVENT IT DOES NOT, TOPSOIL SHALL BE AMENDED UNTIL IT DOES. TEST RESULTS SHALL BE PROVIDED.
7. PROVIDE MIN. 6" OF SPECIFIED TOPSOIL FOR LAWN AREAS (MAINTAIN 12" MIN. OVER ROCK), MIN. 24" OF SPECIFIED TOPSOIL FOR SHRUB ZONES, AND MIN. 48" DEEP FOR TREE PITS. REFER TO SPECIFIC ROOT BALL SIZE FOR THE MINIMUM DIAMETER TREE PIT. ENSURE THAT ALL PLANT PITS ARE TESTED FOR ADEQUATE DRAINAGE PRIOR TO PLACING ANY TOPSOIL.
8. ONCE UNLOADED FROM THE TRUCK, IMMEDIATELY STAND ALL TREES UP. DO NOT LIE THE TREES DOWN. THIS WILL REDUCE THE RISK OF SUNSCALD.
9. INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES. OBTAIN ANY REQUIRED PERMITS NECESSARY TO COMPLETE THE WORK.
10. MULCH PLANT PITS AND PLANTING BEDS WITH SPECIFIED MULCH TO THE DEPTH INDICATED ON THE DRAWINGS.
11. ALL TREES MUST HAVE VISIBLE ROOT FLARES. ANY TREE THAT DOES NOT MUST BE CORRECTED AND REMOVE ANY / ALL GIRDLING ROOTS. **ANY TREE NOT CORRECTED WILL BE REJECTED.**
12. IF TREES ARE STAKED, THE TREE STAKE AND GUYS SHALL BE REGULARLY MONITORED TO ENSURE THERE ARE NO DETRIMENTAL EFFECTS TO THE TREE. ALL TREE STAKES AND GUYS SHALL BE REMOVED **NO LATER THAN ONE GROWING SEASON AFTER PLANTING.**
13. REMOVE FROM THE SITE ANY MATERIAL WHICH TURNS BROWN OR DEFOLIATES WITHIN FIVE (5) DAYS AFTER PLANTING. REPLACE IMMEDIATELY WITH APPROVED SPECIFIED MATERIAL.
14. MAINTAIN AND WATER ALL PLANT MATERIAL UNTIL PROJECT IS ACCEPTED IN FULL BY THE LANDSCAPE ARCHITECT, UNLESS OTHERWISE SPECIFIED.
15. GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE-(1) CALENDAR YEAR.

FOR QUALITY CONTROL SHADE AND ORNAMENTAL TREES FOR THIS PROJECT HAS BEEN SELECTED FROM THE FOLLOWING TREE NURSERY. PROVIDE PHOTOGRAPHS OF THE SELECTED TREES FOR REVIEW PRIOR TO PURCHASING.

SELECT TREES, ATHENS, GA (706) 743-5124 SALES@SELECTTREES.COM
BOLD SPRINGS, MONROE, GA (770) 267-9196
HUNTER TREES, ALPINE, AL (866) 348-6837

NOTE: CONTRACTOR TO TEST ALL PROPOSED TREE PITS AND PLANTING BEDS FOR DRAINAGE. ANY PLANT PIT THAT HOLDS WATER FOR MORE THAN 24 HOURS MUST BE ADDRESSED. ALL DRAINAGE MITIGATION MUST REMOVE THE HARDPAN. DRAINAGE OF ALL PLANTING PITS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DOCUMENTED PRIOR TO SPREADING TOPSOIL.

GERMANTOWN GREEN

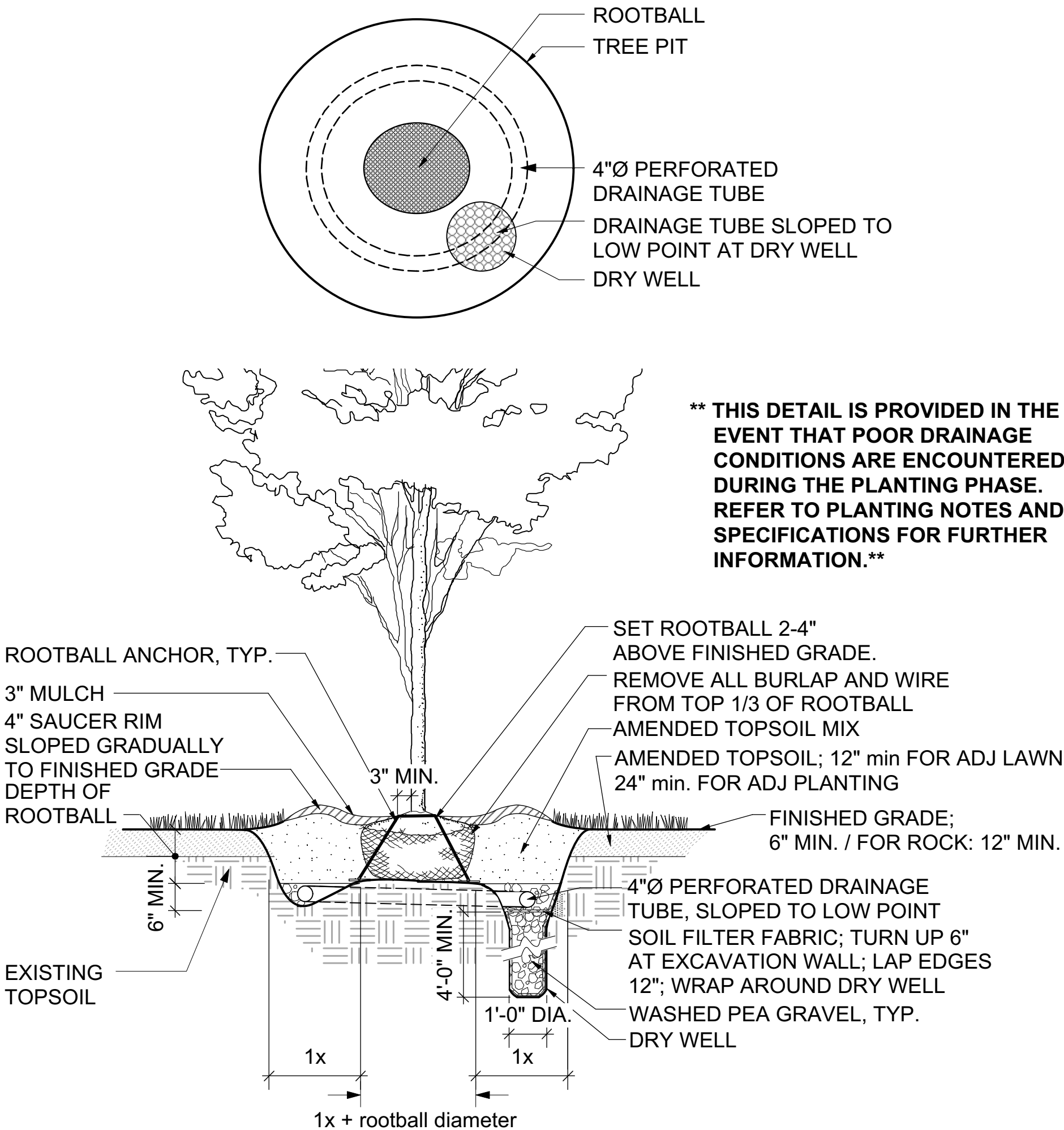
		UNITS	# of spaces Req'd per Use	# of bike racks Req'd per Use (1/2)
Restaurant, full-service	4 publicly available spaces per establishment	2	8	4
Retail	2 publicly available spaces per establishment or 1 space per 5,000 square feet, whichever is greater	12	24	12
TOTAL COUNTS		12	32	16

B. Unless otherwise expressly stated in Table 17.20.135, a minimum of two publicly available bicycle spaces shall be provided for every use. Unless specified in Table 17.20.135, residential uses shall not be required to provide bicycle parking.

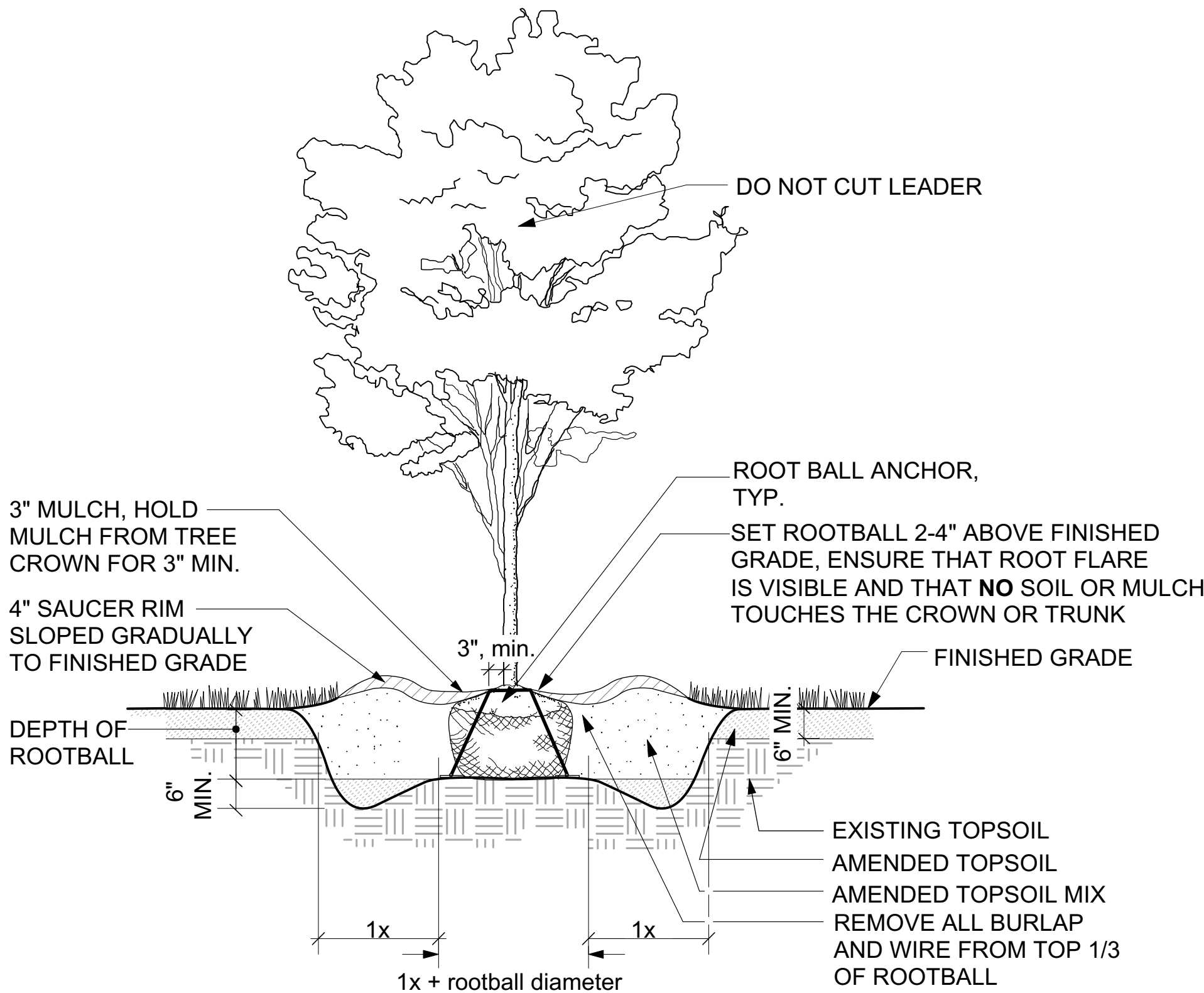
E.1 The required publicly available bicycle parking spaces shall be located in a convenient and visible area within fifty feet (50') of a principal entrance or other approved location by the Zoning Administrator with guidance from the Department of Public Works and shall permit the locking of the bicycle frame and one wheel to a rack or fixture and shall support a bicycle in a stable position without damage to the wheels, frame or components.

* If the total required spaces for Residential exceeds 50, then a maximum of 50 shall be applied to the calculations. 20% of which must be publicly accessible.

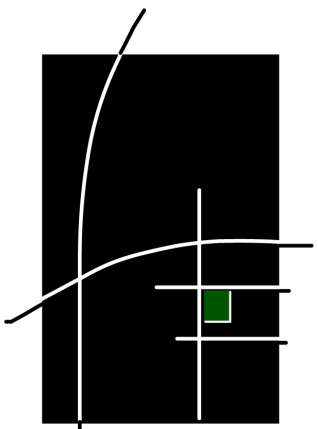
Note: The lower retail tenants have not been contracted. In the event that the anticipated retail become restaurants, the final bike counts will be adjusted to reflect that change in use.



2 TREE PIT w/ DRAINAGE (for poor drainage conditions)
N.T.S.



1 TYP. TREE
N.T.S.



Hawkins Partners, Inc.

110 10th Street

2nd Floor

Nashville, TN 37206

615.255.5218

Fax: 615.254.1424

www.hawkinspartners.com



AMENDMENT TO THE PRELIMINARY SP

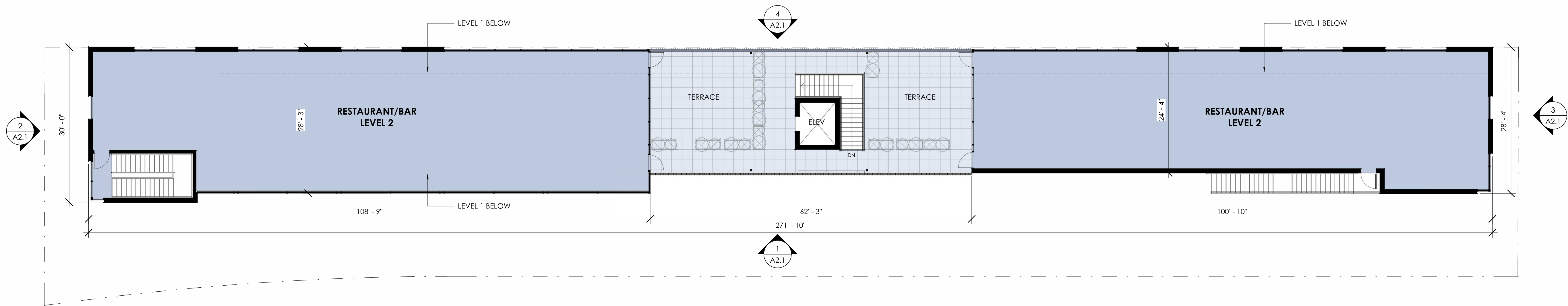
GERMANTOWN GREEN
BEING PARCEL 173 ON TAX MAP 82-05
NASHVILLE, DAVIDSON COUNTY, TN 37208

JOB NO.: 25-101
DATE: MARCH 25, 2025

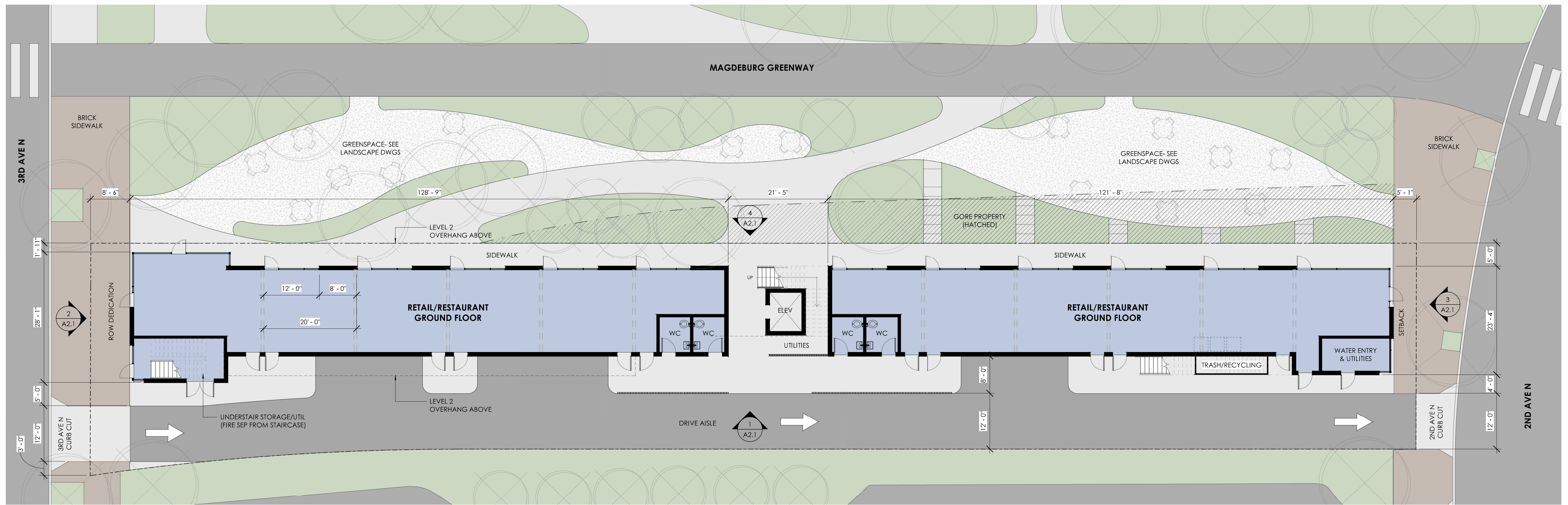
**NOT FOR
CONSTRUCTION**

SCALE: 1" = 10'-0"

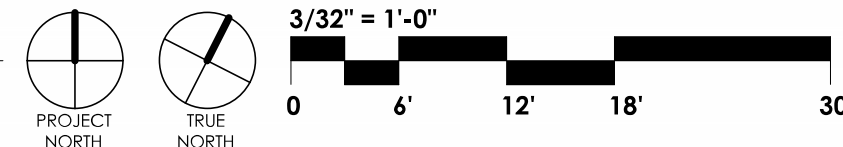
SHEET:

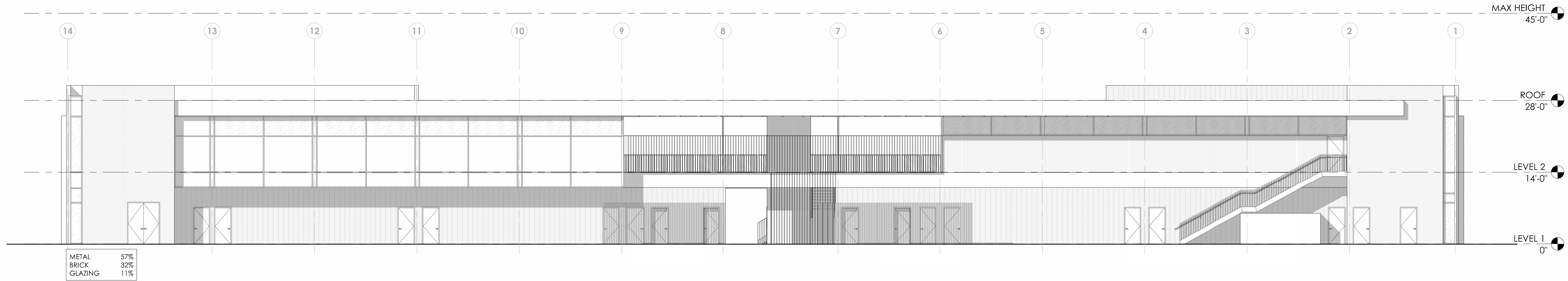


2 LEVEL 2 PLAN
3/32" = 1'-0"

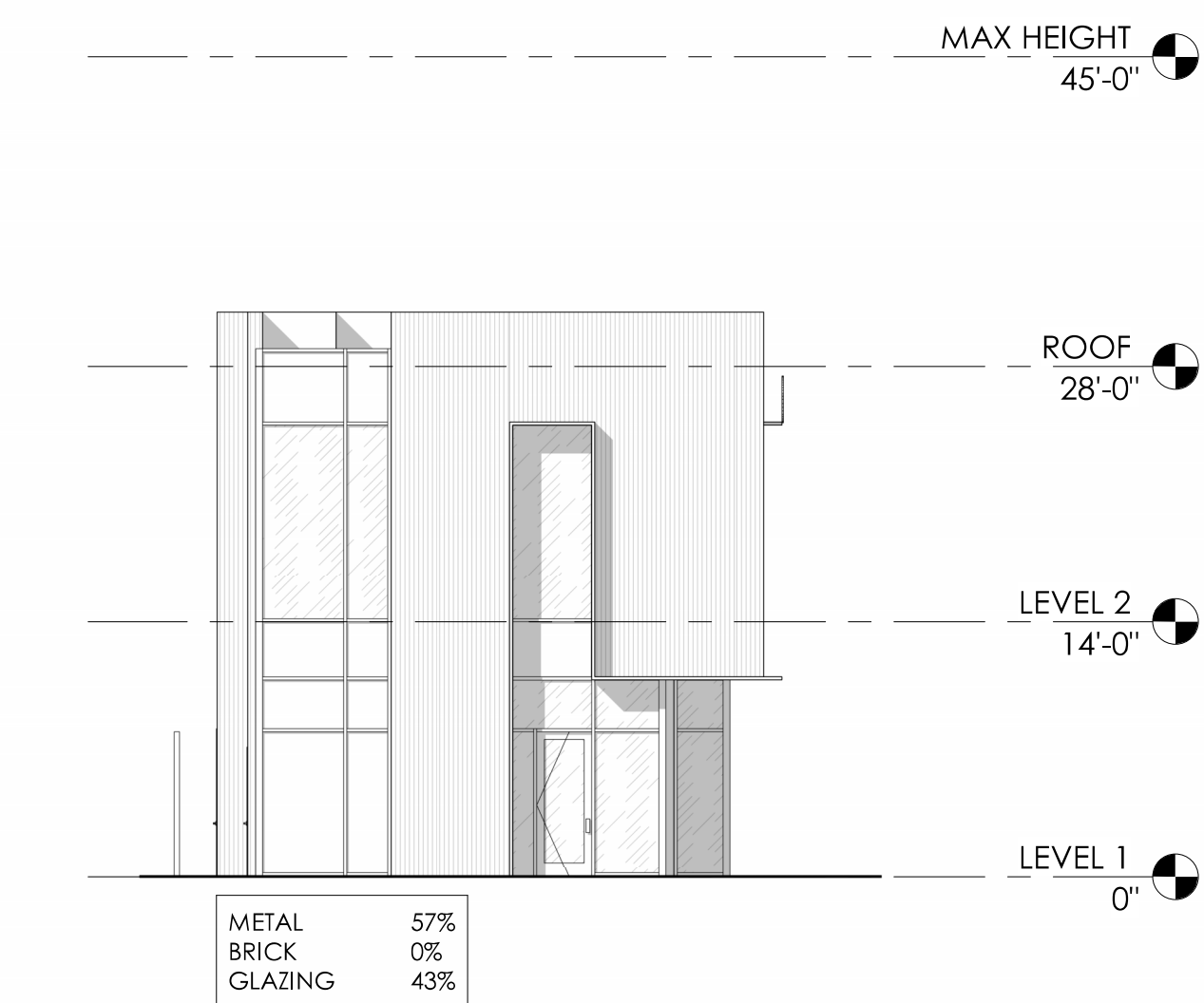


1 GROUND FLOOR PLAN
3/32" = 1'-0"





1 EXTERIOR ELEVATION SOUTH
1" = 10'-0"

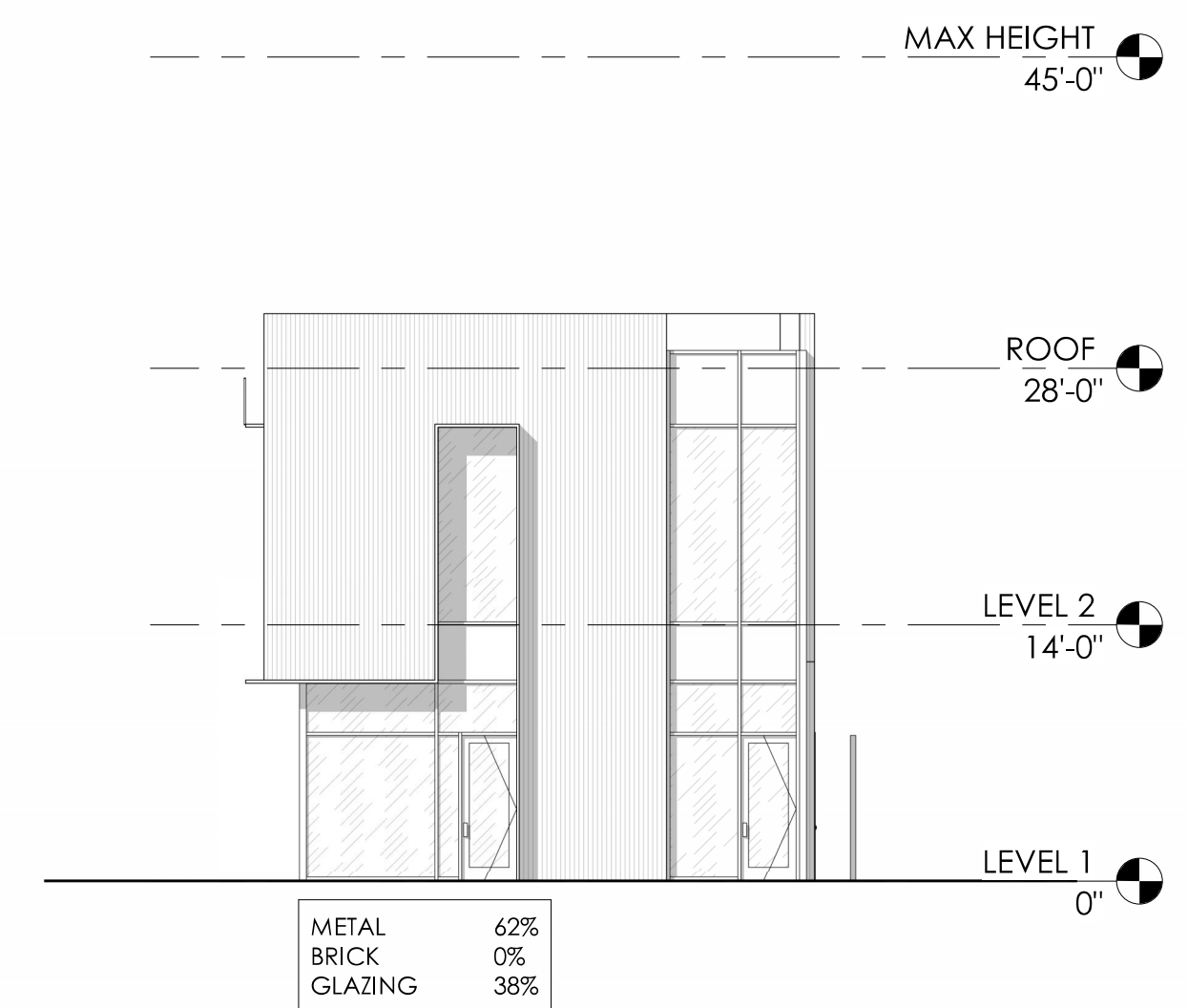


3 EXTERIOR ELEVATION EAST
1" = 10'-0"

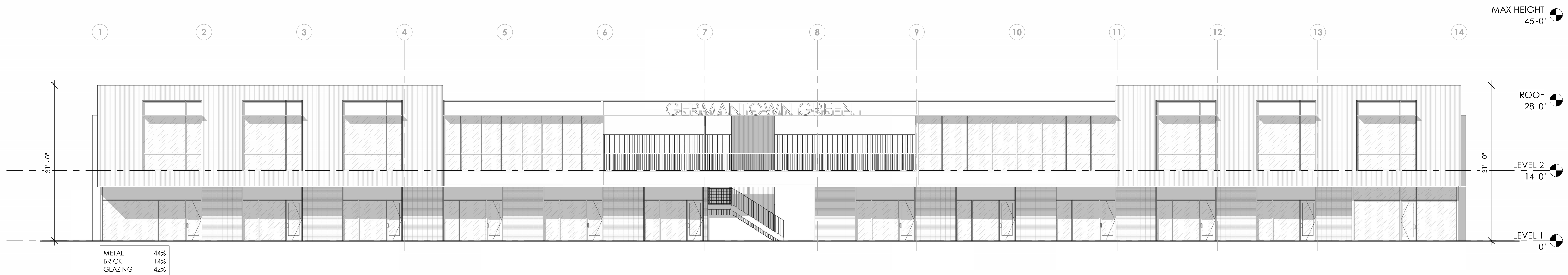
FACADE MATERIALS

EXTERIOR MATERIALS WILL BE A MIXTURE OF METAL, BRICK AND GLASS. PERCENTAGES SHOWN FOR DESIGN INTENT, AND MAY VARY UPON FINAL DESIGN.

	METAL	52%
	BRICK	20%
	GLASS	28%



2 EXTERIOR ELEVATION WEST
1" = 10'-0"



4 EXTERIOR ELEVATION NORTH
1" = 10'-0"

VISION + IMAGERY

Germantown Green will be a two- or three-story mixed-use development that will serve as a fitting addition to Germantown, fronting the Magdeburg Greenway and offering a blend of retail, dining, and recreational spaces. The building will incorporate industrial-inspired materials, including brick, metal, and glass, to reflect the history of the site and neighborhood.

The ground floor will provide a range of retail and service options, with potential tenants including a yoga/Pilates studio, coffee shop, pet store, and clothing boutique. These businesses will activate the streetscape and Greenway, creating welcoming, pedestrian-friendly spaces. The landscape buffer will enhance both the building and the existing Greenway, featuring communal tables and chairs, shade trees, planting beds, and open grass areas, offering a natural yet functional transition between the development and the greenway.

The upper floor is envisioned as a destination for dining and social experiences, with space allocated for two restaurants, with a shared terrace space and central elevator and stair. The upper floor will offer guests expansive views of the Metro Water Lawn and adjacent dog park, providing an engaging, scenic backdrop for patrons.

Designed to seamlessly integrate into its surroundings while fostering community engagement, this development will offer a modern yet historically rooted space that enhances the vibrancy of Germantown and the Magdeburg Greenway corridor.



PRECEDENT IMAGERY
PROJECT RENDERING

