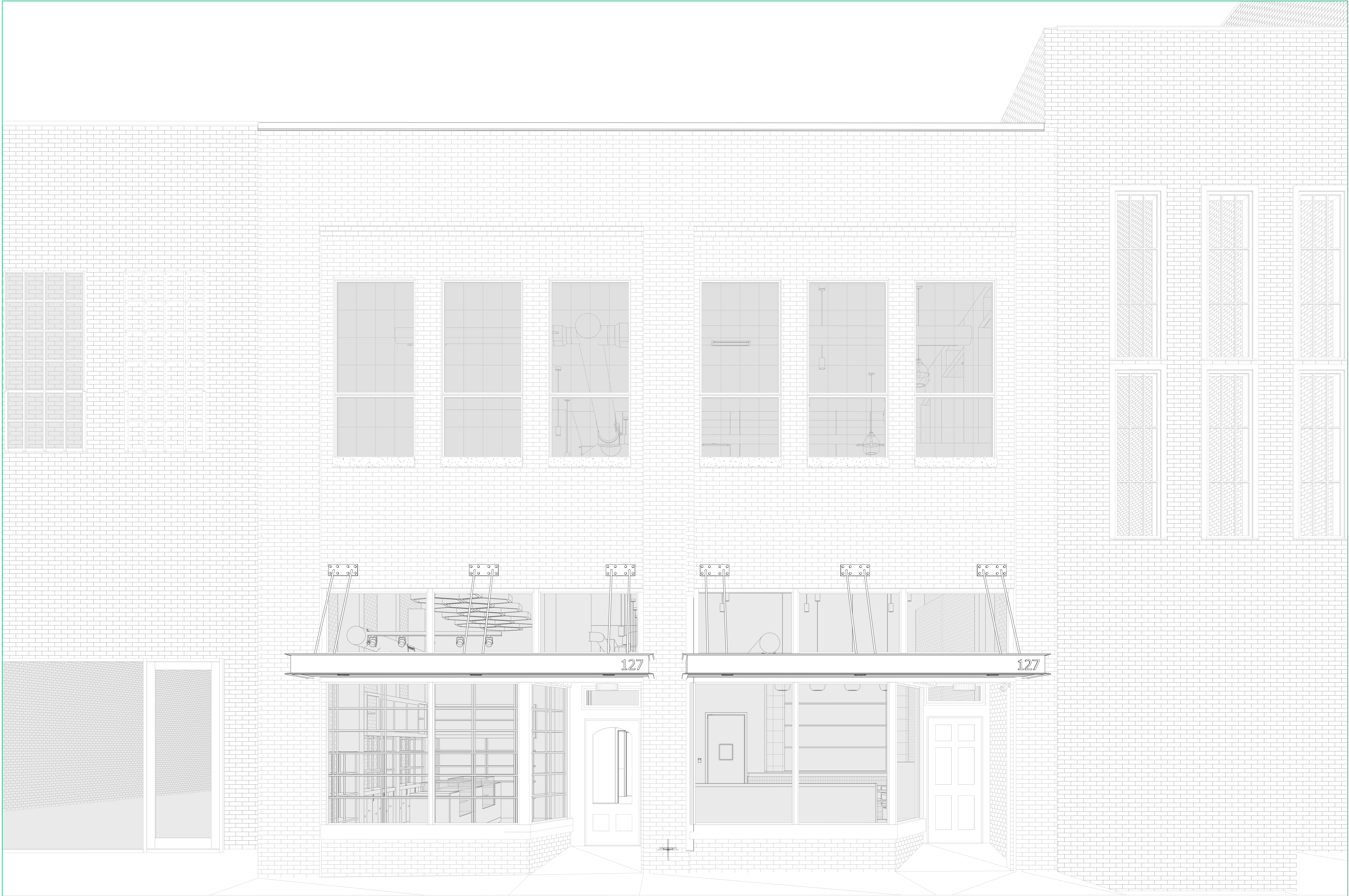


127 2ND AVE N

DTC - CONCEPT PLAN SET

127 2ND AVE. NORTH
NASHVILLE, TN 37201



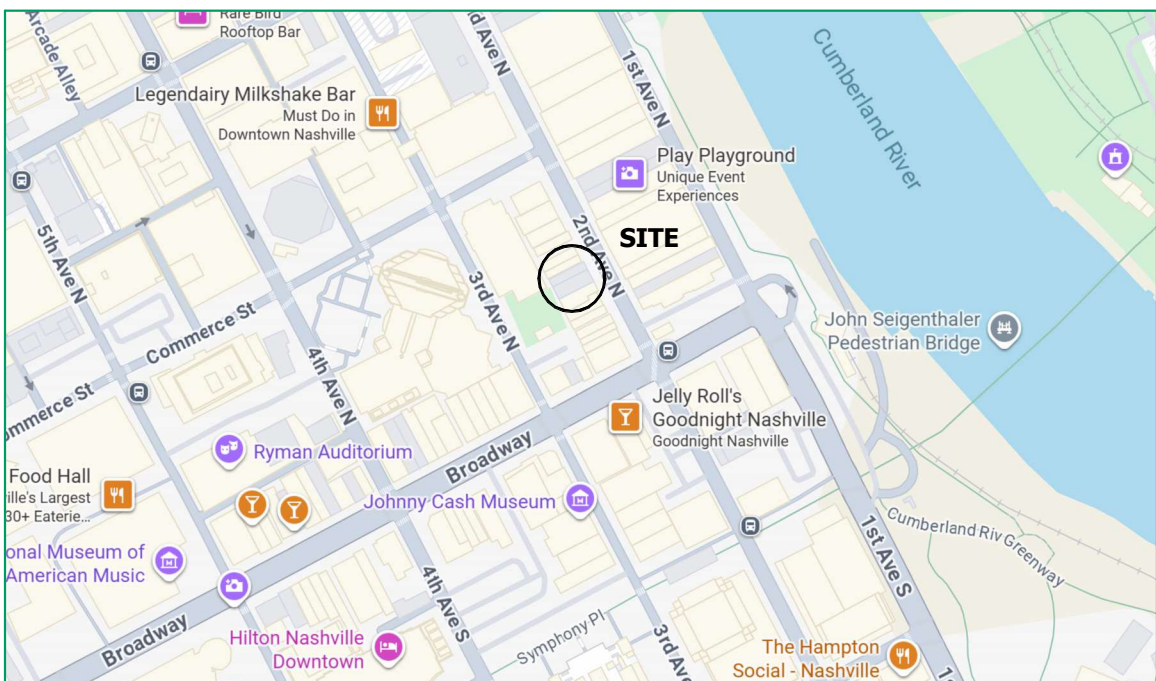
DTC - CONCEPT PLAN SET

AUGUST 18, 2026

CLIENT/CONTRACTOR	EAST GROVE DEVELOPMENT & PISHOY ZAKI EMAIL: PISHOY@EASTGROVEDEVELOPMENT.COM PHONE: (615) 477-4450 1479 MARCASITE DR. BRENTWOOD, TN 37027
EXISTING ZONING:	DTC, OV-ADE, OH-HPR, OV-UZO
PROPOSED USE:	BAR (A2) ASSEMBLY
BUILDING SF	EXISTING: 5,583 SF / PROPOSED: 2,015 SF
CONTACTS	
ARCHITECT	PARADYM VENTURES, PLLC 761 OLD HICKORY BLVD STE 301 BRENTWOOD, TN 37027 ARCHITECT: TYLER THAYER EMAIL: TYLER@PARADYM-VENTURES PHONE: 615.417.0167 PROJECT COORDINATOR: SHANNON ROISEN-REINOSO EMAIL: SHANNONR@PARADYM-VENTURES
STRUCTURAL ENGINEER	KIDWELL SCOTT ENGINEERING 565 HARRIOTT DRIVE SUITE 350, NASHVILLE, TN 37214 ENGINEER: TAYLOR KIDWELL EMAIL: TAYLORK@KIDWELLSMITH.COM PHONE: 615.750.2350 x100
ELECTRICAL ENGINEER	K-2 ENGINEERING 321 HOMESTEAD RD NASHVILLE, TN 37027 ENGINEER: JARED TRIBBLE EMAIL: JTRIBBLE@K-2ENG.COM PHONE: 615.425.0723
MECHANICAL & PLUMBING ENGINEER	K-2 ENGINEERING 321 HOMESTEAD RD NASHVILLE, TN 37027 ENGINEER: ROBERT MANGIAMELE EMAIL: RMANGIAMELE@K-2ENG.COM PHONE: 615.425.0723

SCOPE OF WORK
1. SHORING OF FRONT FACADE TO BE KEPT PER MHZC APPROVALS. (TO BE A DEFERRED SUBMITTAL) 2. DEMOLITION OF 1ST FLOOR AND WINDOWS IN FACADE. 3. DEMOLITION OF ALL STRUCTURE AND FINISHES BEHIND FACADE. 4. CONSTRUCTION OF NEW CORE AND SHELL WITH TWO ADDITIONAL FLOORS. 5. INTERIOR BUILD-OUT
DEFERRED SUBMITTAL
1. TEMPORARY SHORING OF STRUCTURE TO REMAIN

REVISIONS



GENERAL NOTES

THE FOLLOWING NOTES SUPPLEMENT AND ADD TO THE DRAWINGS AND SPECIFICATIONS. IF THERE IS ANY CONFLICT, AMBIGUITY, ETC., CREATED BY ANY NOTE THE CONTRACTOR SHALL COMPLY WITH THE MORE STRINGENT REQUIREMENT.

- A. **DIMENSIONS:**
- THE GENERAL CONTRACTOR, SUBCONTRACTORS AND ALL EMPLOYEES ON THIS PROJECT ARE NOT ALLOWED TO SCALE DRAWINGS TO DETERMINE DISTANCES OR DIMENSIONS. IF FURTHER DIMENSIONING IS REQUIRED, THE CONTRACTOR SHALL REQUEST IN WRITING FOR WRITTEN CLARIFICATION BY THE ARCHITECT.
 - EXTERIOR DIMENSIONS ARE GIVEN FACE OF EXTERIOR STUD, UNLESS NOTED OTHERWISE. INTERIOR DIMENSIONS ARE GIVEN TO FACE OF CMU, FACE OF BRICK, OR FACE OF STUD UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADE PITCHES AND OTHER CONDITIONS BY TAKING MEASUREMENTS PRIOR TO ORDERING MATERIALS OR DOING WORK. REFER DISCREPANCIES TOT HE ARCHITECT FOR ADDITIONAL INSTRUCTIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEASUREMENTS. NO CONSIDERATION WILL BE GIVEN TO ANY CLAIM BASED ON DIFFERENCES BETWEEN DRAWINGS OR SPECIFICATIONS AND ACTUAL MEASUREMENTS.
 - LOCATION AND NUMBERS OF STOREFRONT DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
 - PRIOR TO STARTING CONSTRUCTION, GC SHALL VERIFY EXISTING DIMENSIONS IN THE FIELD AND COORDINATE WITH THE NEW CONSTRUCTION. ALERT ARCHITECT OF ANY VARIATIONS FROM THE DRAWINGS IMMEDIATELY.
- B. **SIMILAR CONDITIONS:**
- WHERE A DETAIL OR SECTION IS SHOWN FOR ONE CONDITION, IT APPLIES TO ALL LIKE OR SIMILAR CONDITIONS.
- C. **COORDINATION:**
- CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS AND FEES THAT MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
 - COORDINATING ROUTING OF THE CONTRACTOR'S WORK WITH OTHER TRADES IS ESSENTIAL, AND ANY EXPENSE REQUIRED FOR THE REMOVAL OR RELOCATION SHALL BE BORNE BY THE CONTRACTOR.
 - REFER TO SURVEY FOR SITE UTILITIES AND SITE DRAINAGE.
 - REFER TO SURVEY FOR SIDEWALK, CURB, RETAINING WALLS, AND OTHER SITE IMPROVEMENTS.
- D. **SITE WORK:**
- CONTRACTOR TO PROVIDE DUMPSTER FOR CONSTRUCTION DEBRIS.
 - CONSTRUCTION SITE SHALL BE KEPT CLEAN AND HAZARD FREE.
- E. **MATERIALS:**
- ALL EXTERIOR WOOD BLOCKING, SHEATHING, OR BRACING SHALL BE TREATED PER THE IBC.
 - IT IS THE INTENT OF THE ARCHITECT AND OWNER THAT ALL BUILDING MATERIALS USED IN AND DURING CONSTRUCTION SHALL BE NON-HAZARDOUS. SHOULD NEW MATERIALS BE FOUND TO BE HAZARDOUS, THE CONTRACTOR SHALL NOTIFY THE LOCAL AUTHORITY HAVING JURISDICTION AND PROCEED PER THEIR DIRECTIVES.
 - SEE BUILDING ELEVATIONS AND SPECIFICATIONS FOR LOCATION AND SPACING OF REQUIRED CONTROL JOINTS.

FLOOR PLAN NOTES

- A. **CONCRETE FLOORS:**
- CONTRACTOR IS TO TAKE NECESSARY PRECAUTIONS TO MINIMIZE/ELIMINATE SCRATCHES IN CONCRETE FLOORS. GOUGES WILL NOT BE ALLOWED.
- B. **FIRE RATED GLASS:**
- CONTRACTOR SHALL ENSURE FIRE RATED GLASS AND FRAMES ARE PROVIDED WHEN LOCATED IN FIRE RATED WALL.

PLAN KEYNOTES

- COORDINATE LOCATION OF ELEVATOR KNOX BOX WITH FIRE DEPARTMENT.



NOTE: SEE EXISTING SURVEY FOR SIDEWALK
AND STREET AREA PLANTINGS, AS WELL AS ROW

100% STREET FRONTAGE AND 0' - 0"
BUILD TO ZONE REQ.

2ND AVENUE NORTH
(ROW WIDTH VARIES)

2ND AVENUE NORTH
(ROW WIDTH VARIES)

2ND AVENUE NORTH
(ROW WIDTH VARIES)

ALLEY

ALLEY

ALLEY



NOTE: SEE EXISTING SURVEY FOR SIDEWALK
AND STREET AREA PLANTINGS, AS WELL AS ROW

100% STREET FRONTAGE AND 0' - 0"
BUILD TO ZONE REQ.

2ND AVENUE NORTH
(ROW WIDTH VARIES)

2ND AVENUE NORTH
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2ND AVENUE NORTH
(ROW WIDTH VARIES)

ALLEY

ALLEY

ALLEY

ISSUED FOR

- ☐ Lease Outline Diagram
☐ Schematic Design
☐ Design Development
☐ Construction

REVISIONS

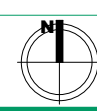
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DRAWN BY:
SRR

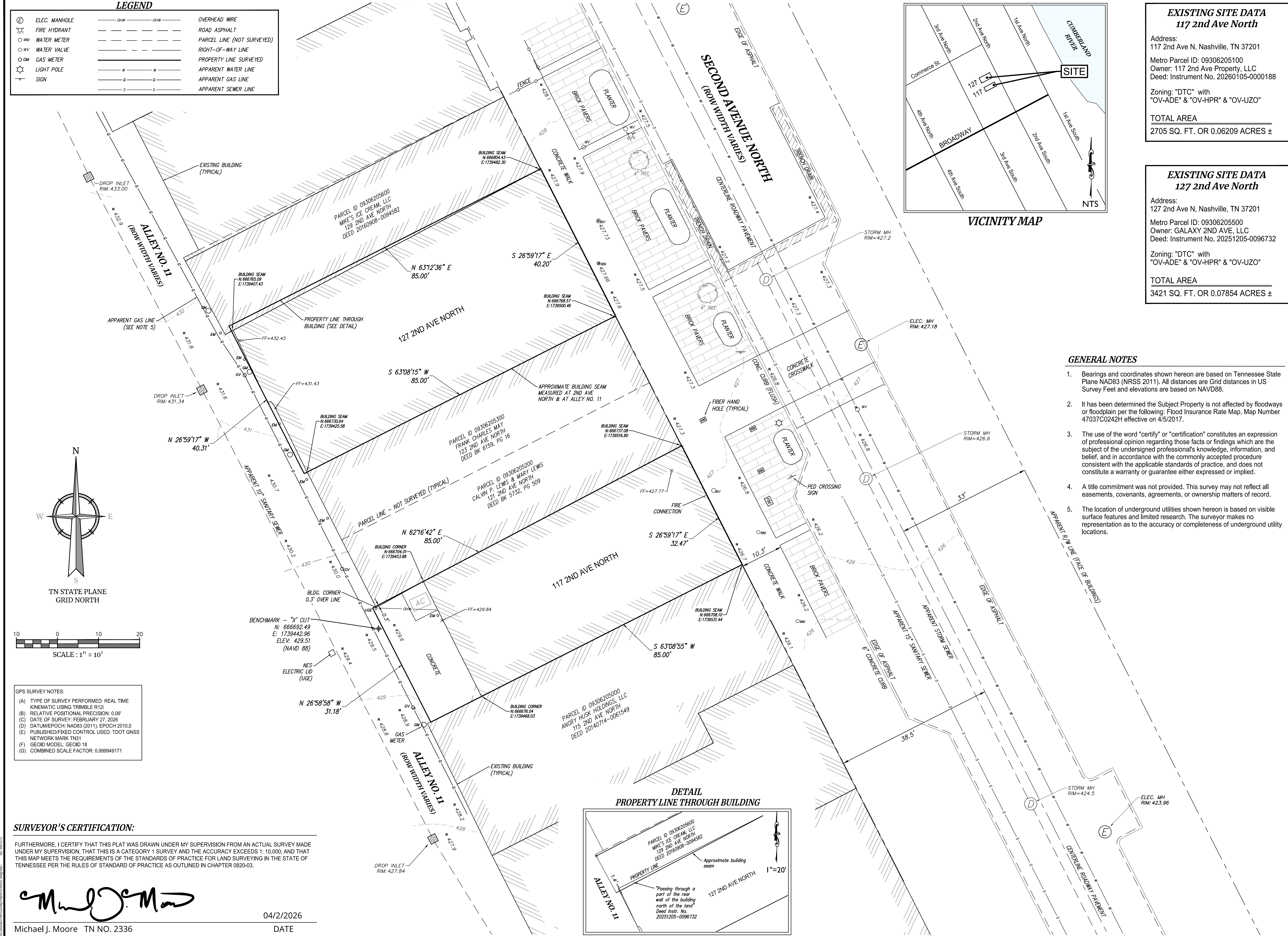
DATE:
08.17.2026

DRAWING
ARCHITECTURAL SITE
PLAN

DC100



LEGEND		
	ELEC. MANHOLE	OVERHEAD WIRE
	FIRE HYDRANT	ROAD ASPHALT
	WATER METER	PARCEL LINE (NOT SURVEYED)
	WATER VALVE	RIGHT-OF-WAY LINE
	GAS METER	PROPERTY LINE SURVEYED
	LIGHT POLE	APPARENT WATER LINE
	SIGN	APPARENT GAS LINE
	CHW	APPARENT SEWER LINE



GENERAL NOTES

- Bearings and coordinates shown hereon are based on Tennessee State Plane NAD83 (NRSS 2011). All distances are Grid distances in US Survey Feet and elevations are based on NAVD88.
- It has been determined the Subject Property is not affected by floodways or floodplain per the following: Flood Insurance Rate Map, Map Number 47037C0242H effective on 4/5/2017.
- The use of the word "certify" or "certification" constitutes an expression of professional opinion regarding those facts or findings which are the subject of the undersigned professional's knowledge, information, and belief, and in accordance with the commonly accepted procedure consistent with the applicable standards of practice, and does not constitute a warranty or guarantee either expressed or implied.
- A title commitment was not provided. This survey may not reflect all easements, covenants, agreements, or ownership matters of record.
- The location of underground utilities shown hereon is based on visible surface features and limited research. The surveyor makes no representation as to the accuracy or completeness of underground utility locations.

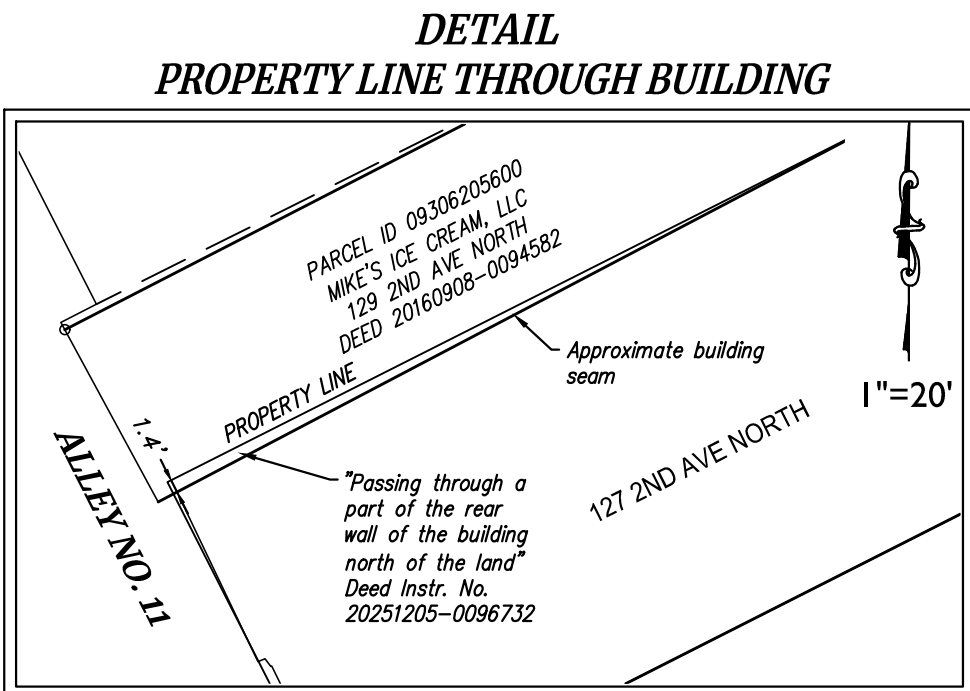
SURVEYOR'S CERTIFICATION:

FURTHERMORE, I CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS IS A CATEGORY 1 SURVEY AND THE ACCURACY EXCEEDS 1:10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF TENNESSEE PER THE RULES OF STANDARD OF PRACTICE AS OUTLINED IN CHAPTER 0820-03.

Michael J. Moore

Michael J. Moore TN NO. 2336

04/2/2026
DATE



www.colliersengineering.com

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Doing Business as

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

BOUNDARY & TOPOGRAPHIC SURVEY
FOR
EASTGROVE DEVELOPMENT
117 & 127 SECOND AVENUE NORTH
NASHVILLE
DAVIDSON COUNTY
TENNESSEE

NASHVILLE
5141 Virginia Way,
Suite 420
Brentwood, TN 37027
Phone: 615.686.2575
COLLIERS ENGINEERING & DESIGN, P.C. DOING BUSINESS AS MASER CONSULTING

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	04/02/25	BB	KW
PROJECT NUMBER:	DRAWING NUMBER:	NAME:	
26004079A	V-BASE		

BOUNDARY AND TOPOGRAPHIC SURVEY

SHEET NUMBER:
1 of 1

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

HAZARDOUS MATERIALS

- NO HAZARDOUS MATERIALS ARE KNOWN TO BE PRESENT IN THE EXISTING BUILDING. A HAZARDOUS MATERIALS SURVEY HAS NOT BEEN COMMISSIONED.
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- REFER TO ARTICLE 10.3 OF THE AIA DOCUMENT A210 AND SUPPLEMENTARY DOCUMENTS 0811 FOR PROPER PROCEDURES

DEMO GENERAL NOTES

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- VERIFY LOCATION OF EXISTING UTILITY LINES PRIOR TO EXCAVATION. THESE LINES ARE TO REMAIN UNDISTURBED DURING CONSTRUCTION. NOTIFY ARCHITECT OF ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION. COORDINATE WITH ARCHITECT FOR EXISTING EQUIPMENT TO BE RELOCATED. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONAL EXTENT OF BUILDING ELEMENTS TO REMAIN AND TO BE REMOVED.
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DEMO KEYNOTES

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- TEMPORARILY CAP ALL UTILITIES.
- CUT OPENING FOR NEW DOOR/WINDOW
- REMOVE AND REPLACE DOOR WITH SIMILAR

DEMO LEGEND

- EXISTING ELEMENT
- DEMOLISHED ELEMENT
- DEMO KEYNOTE MARKER

ISSUED FOR

- ☐ Lease Outline Diagram
- ☐ Schematic Design
- ☐ Design Development
- ☐ Construction

REVISIONS

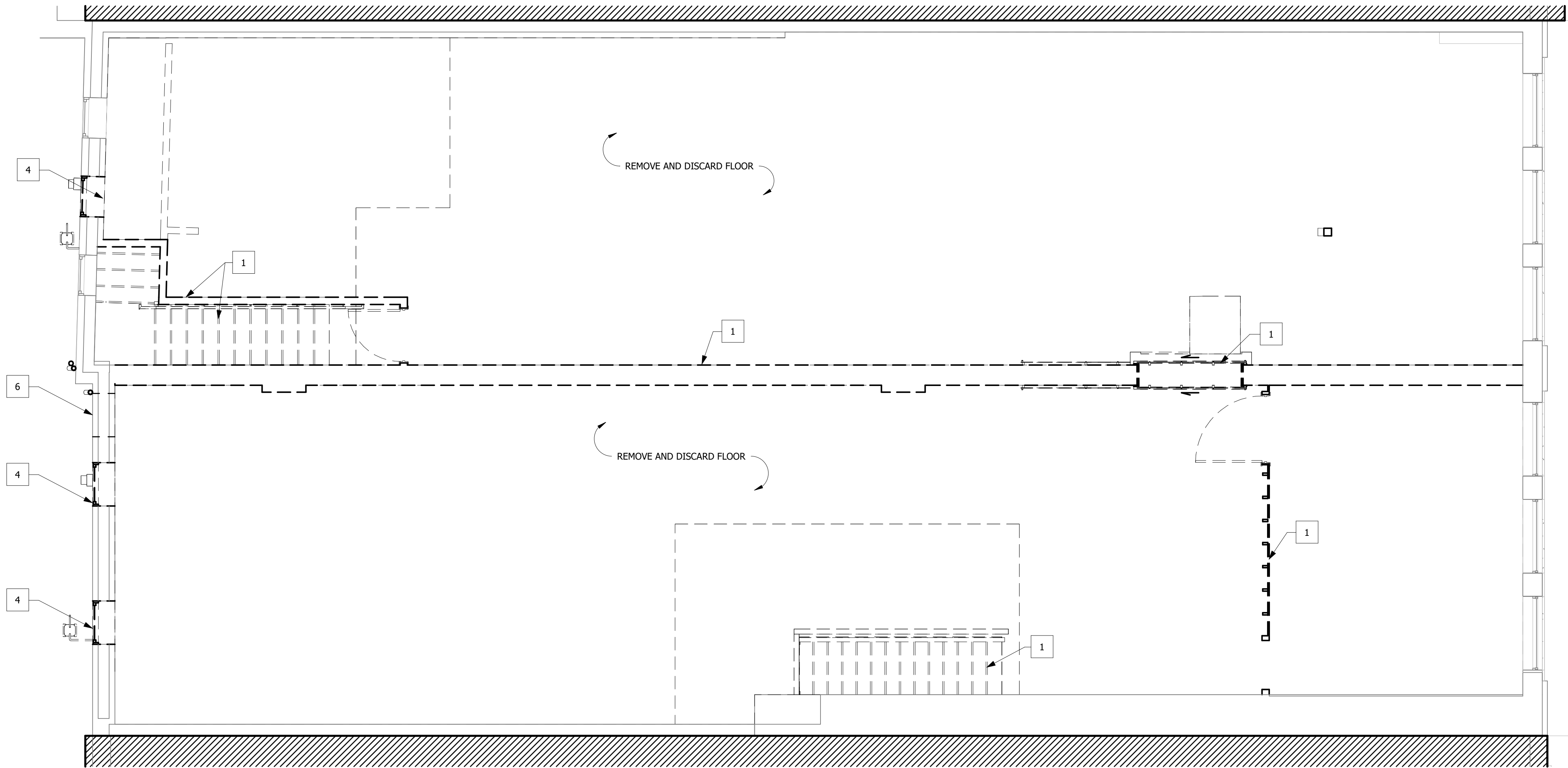
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DRAWN BY:
JDD

DATE:
08.17.2026

DRAWING
DEMO PLAN

DC101

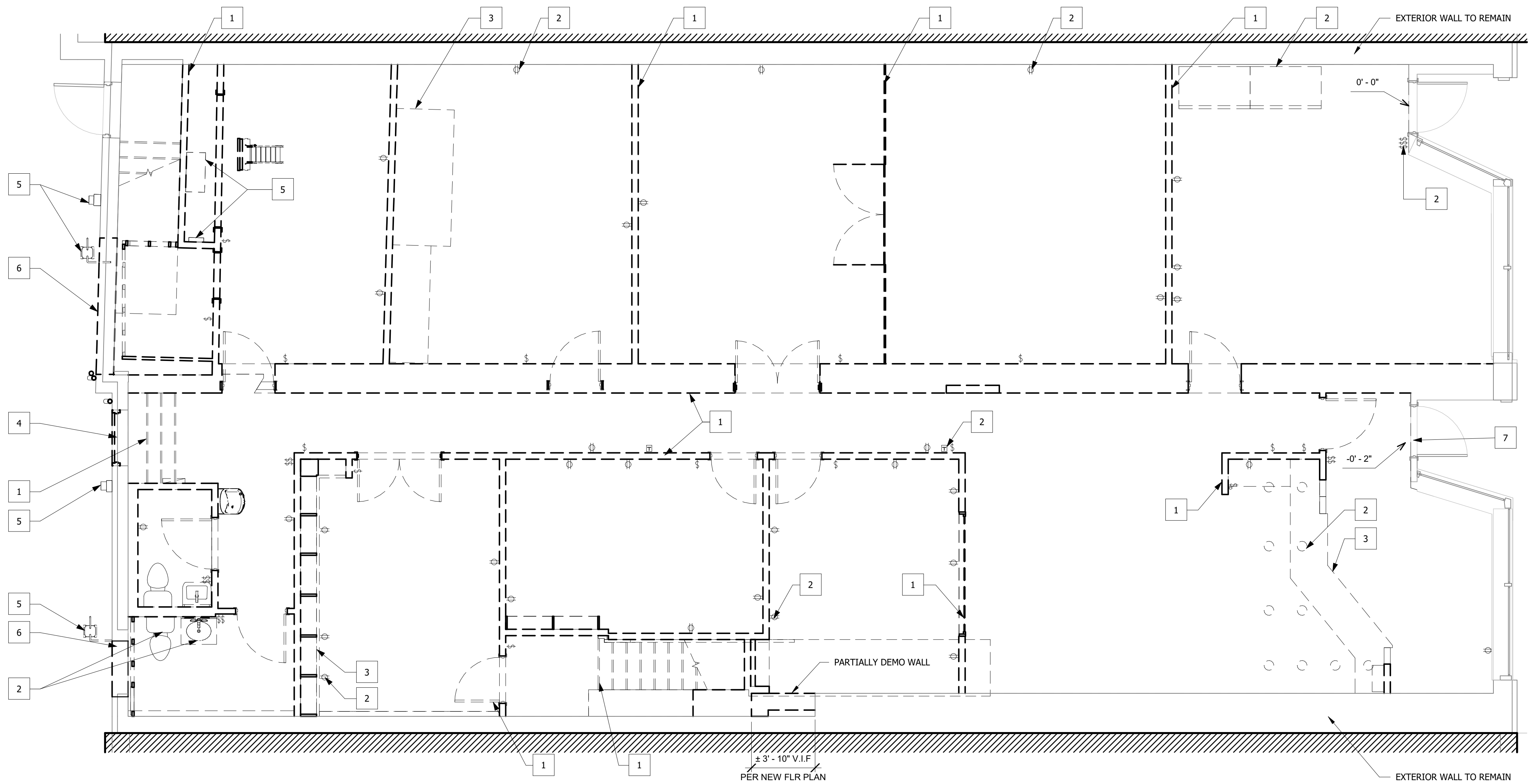


NOTE: ALL EXTERIOR WALLS TO REMAIN

NOTE: CONTRACTOR SHALL PROVIDE TEMPORARY SHORING PRIOR TO DEMOLITION OF EXISTING STRUCTURE. TEMPORARY SHORING SHALL BE PROVIDED TO MHZC FOR REVIEW PRIOR TO PULLING PERMIT

2 EXISTING & DEMO SECOND FLOOR PLAN

1/4" = 1'-0"



NOTE: ALL EXTERIOR WALLS TO REMAIN

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1 EXISTING & DEMO FIRST FLOOR PLAN

1/4" = 1'-0"

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- 4.

DEMO GENERAL
NOTES

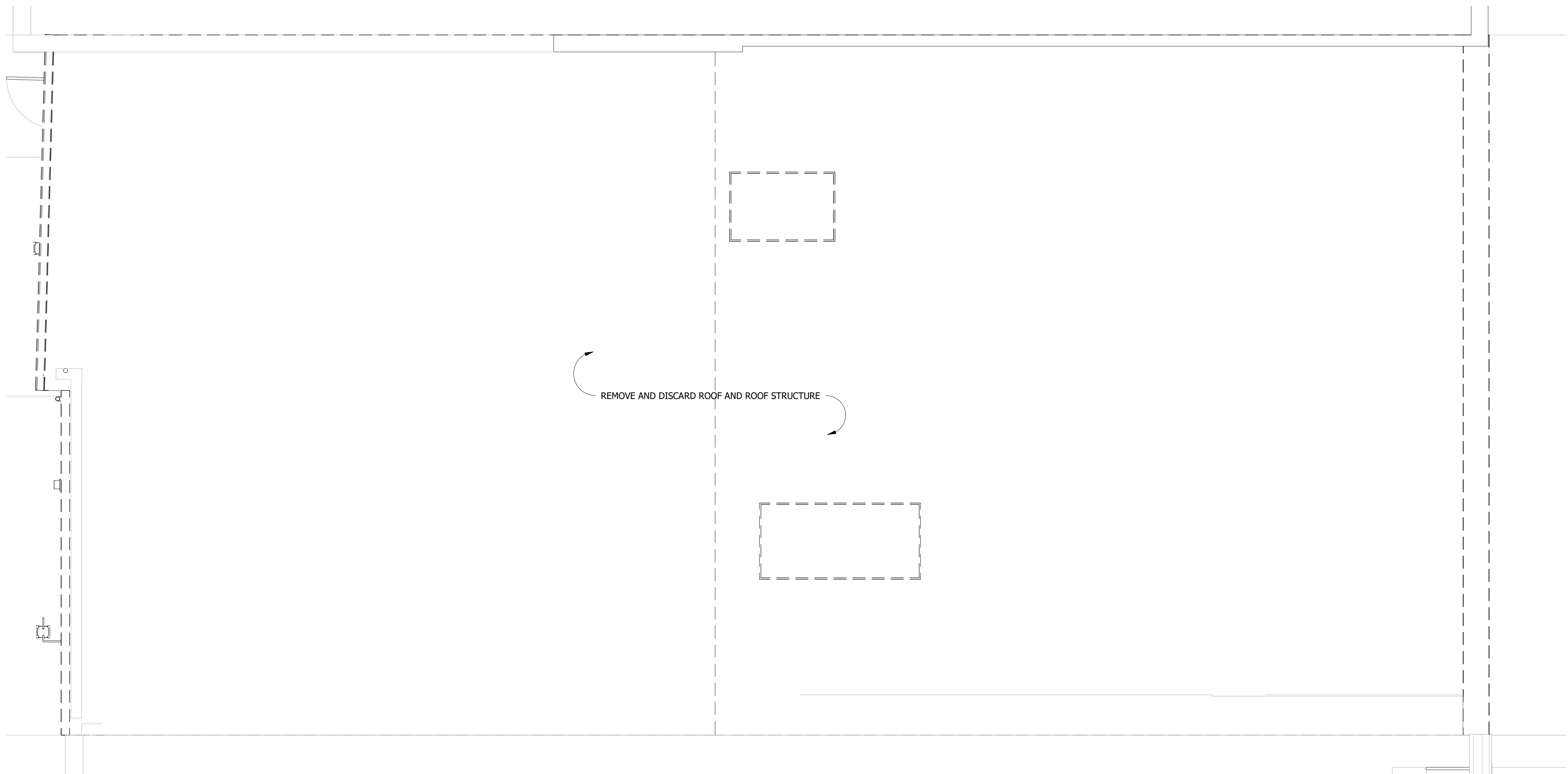
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DEMO LEGEND

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- DEMOLISHED ELEMENT
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NOTE: ALL EXTERIOR WALLS TO REMAIN

NOTE: CONTRACTOR SHALL PROVIDE TEMPORARY SHORING PRIOR TO DEMOLITION OF EXISTING STRUCTURE. TEMPORARY SHORING SHALL BE PROVIDED TO MHCC FOR REVIEW PRIOR TO PULLING PERMIT



ISSUED FOR

- ☐ Lease Outline Diagram
- ☐ Schematic Design
- ☐ Design Development
- ☐ Construction

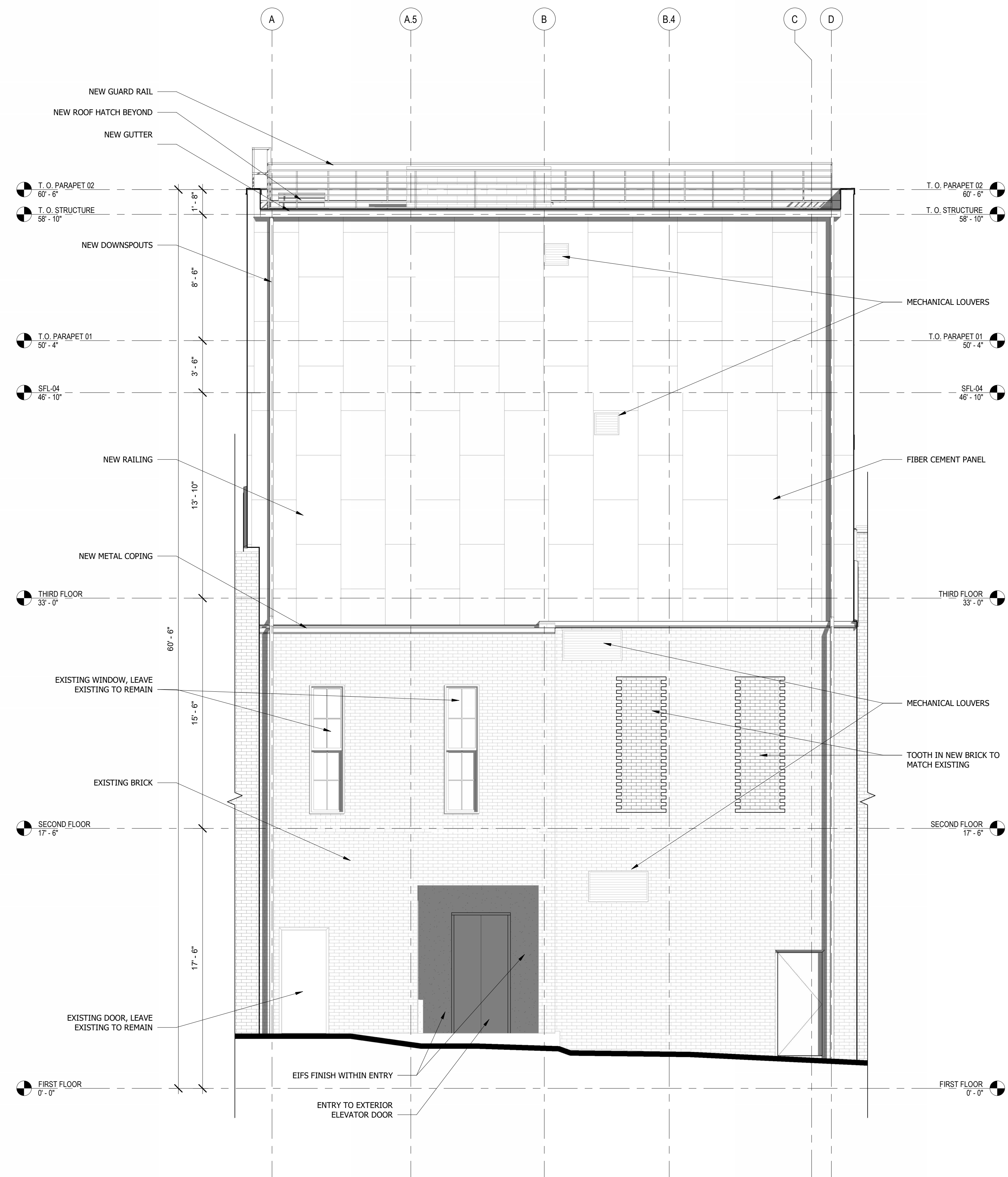
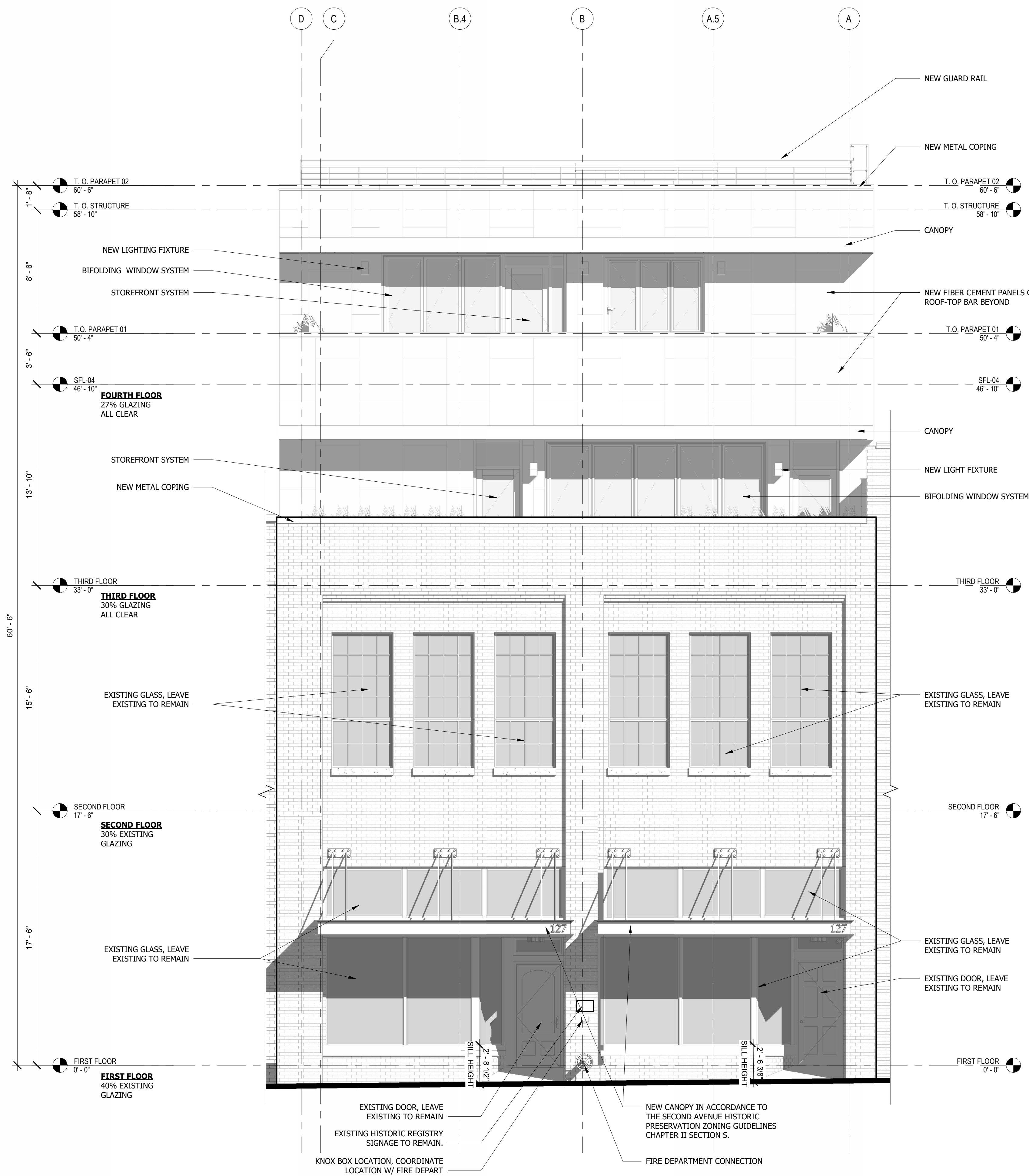
REVISIONS

PROJECT NUMBER:
25036

DRAWN BY:
JDD

DATE:
08.17.2026

DRAWING
DEMO PLAN



ISSUED FOR

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REVISIONS

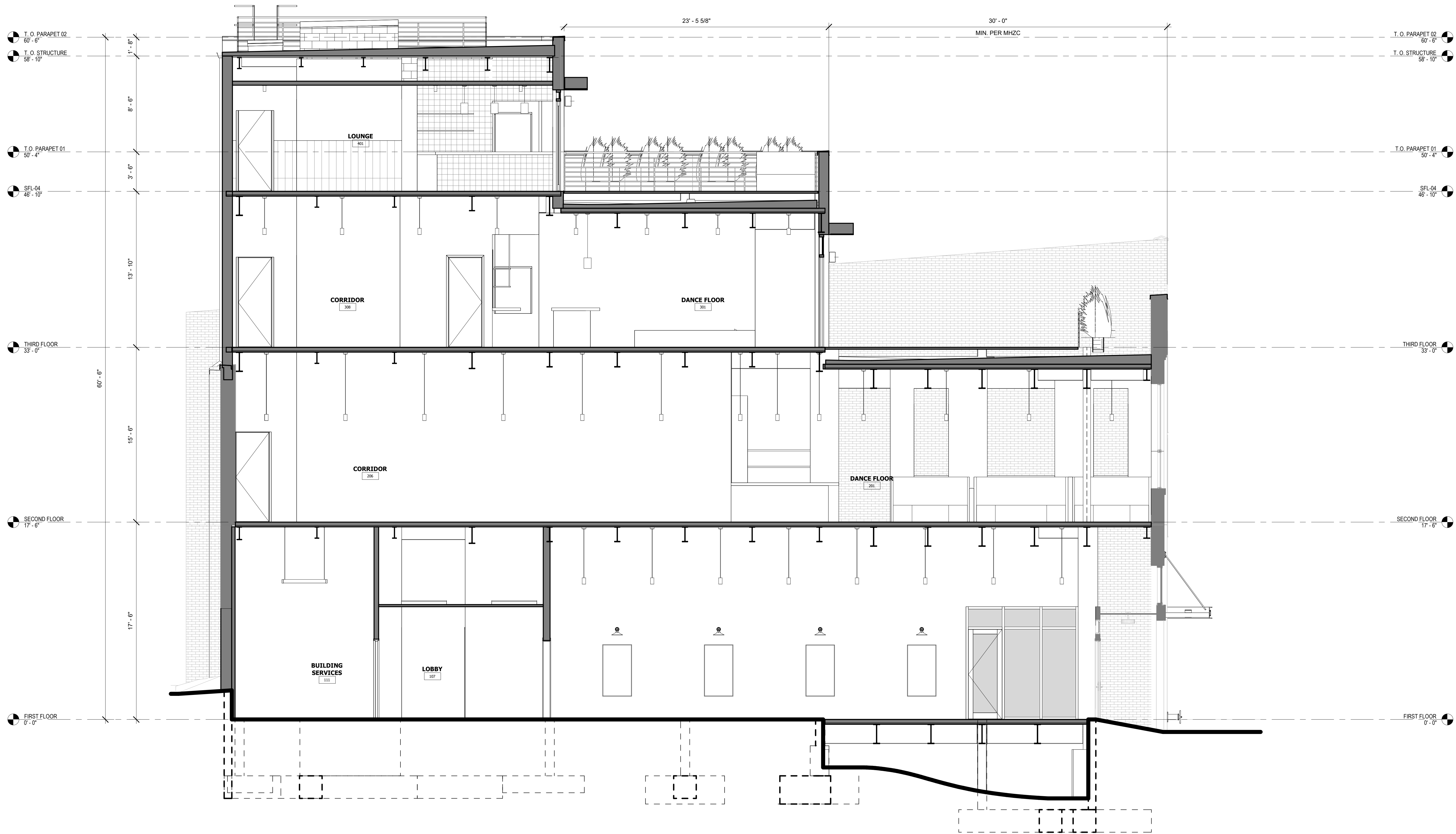
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SRR

DATE:
08.17.2026

DRAWING
EXTERIOR ELEVATIONS

DC103



ISSUED FOR

- ☐ Lease Outline Diagram
- ☐ Schematic Design
- ☐ Design Development
- ☐ Construction

REVISIONS

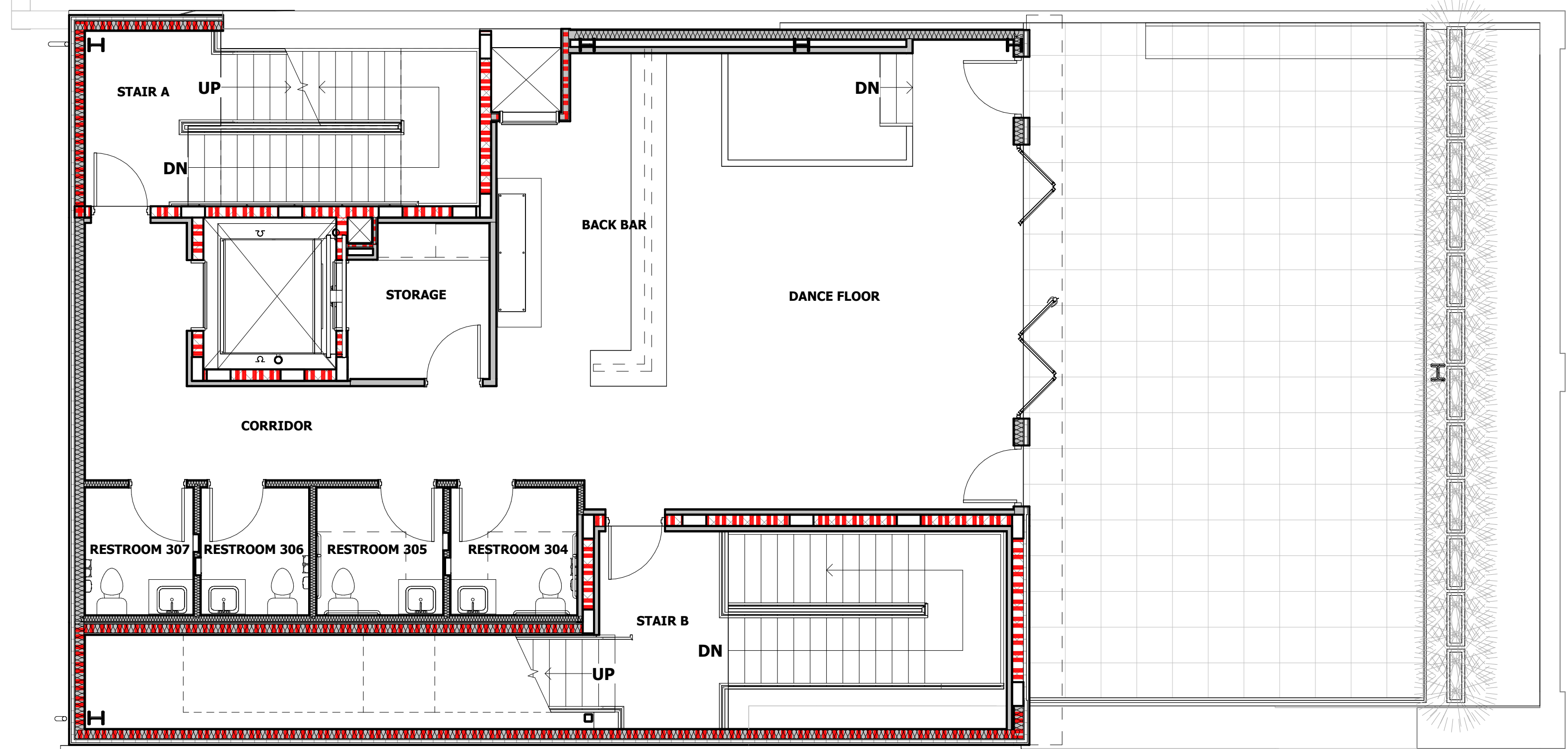
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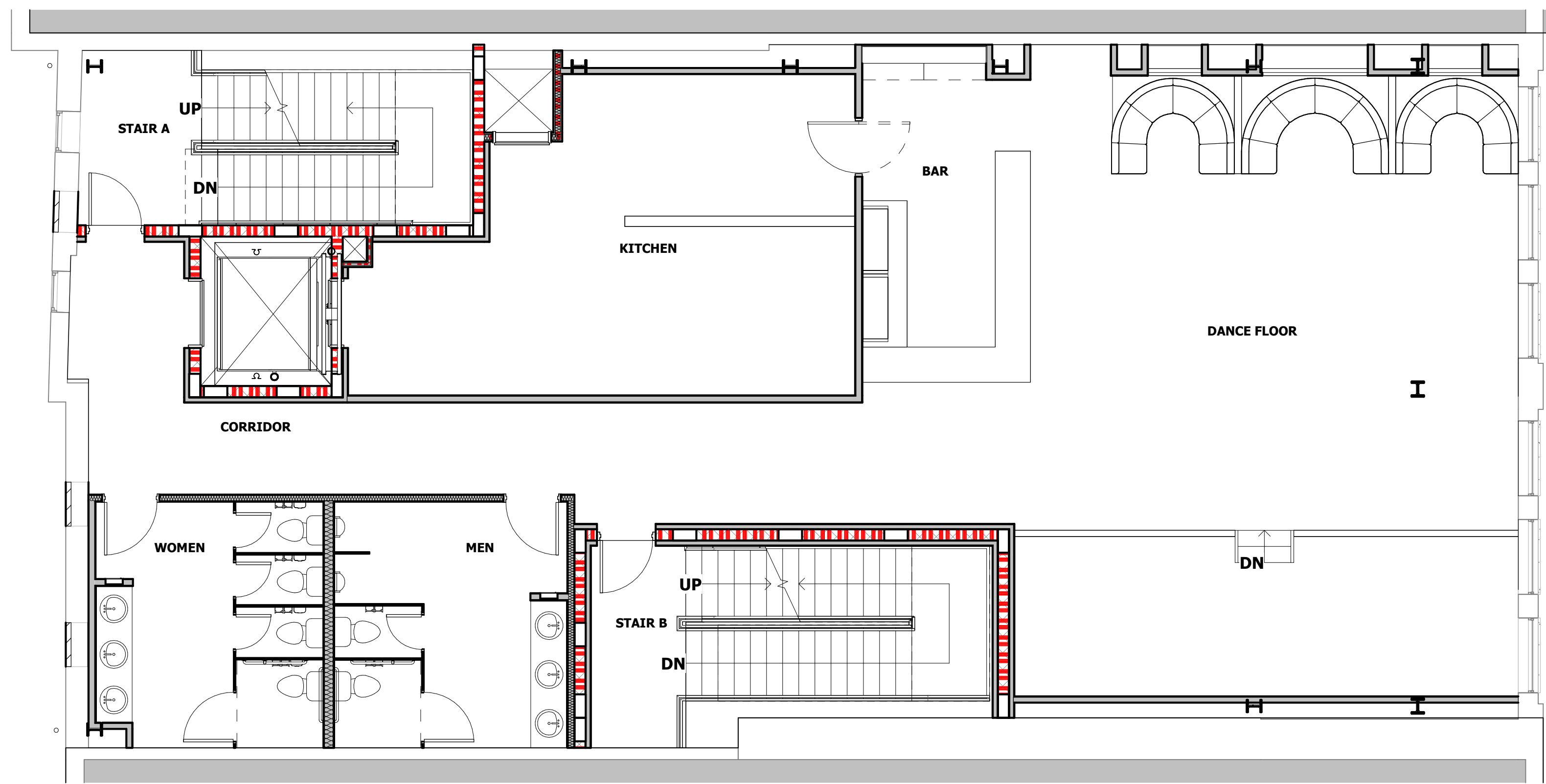
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DRAWING
BUILDING SECTIONS

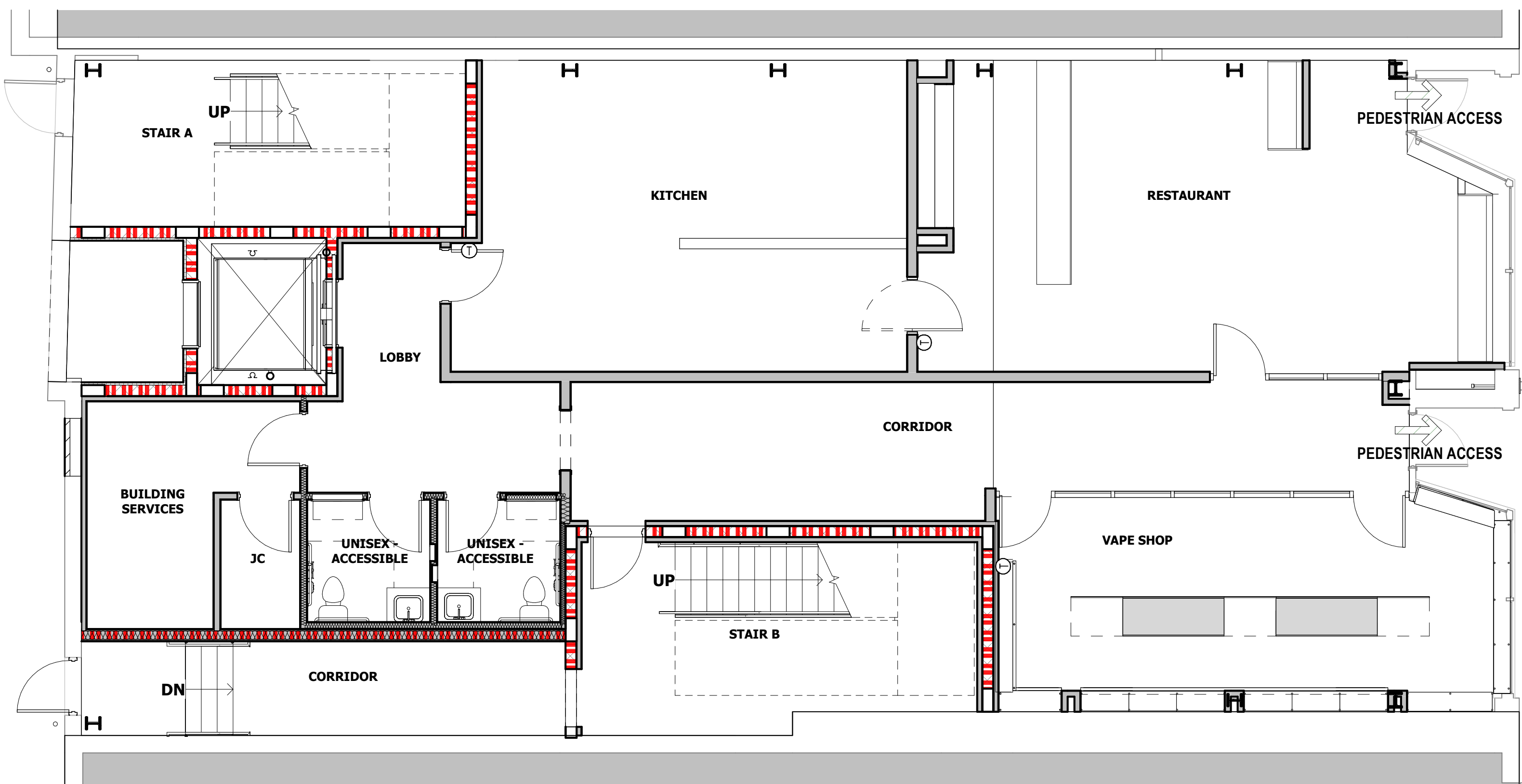
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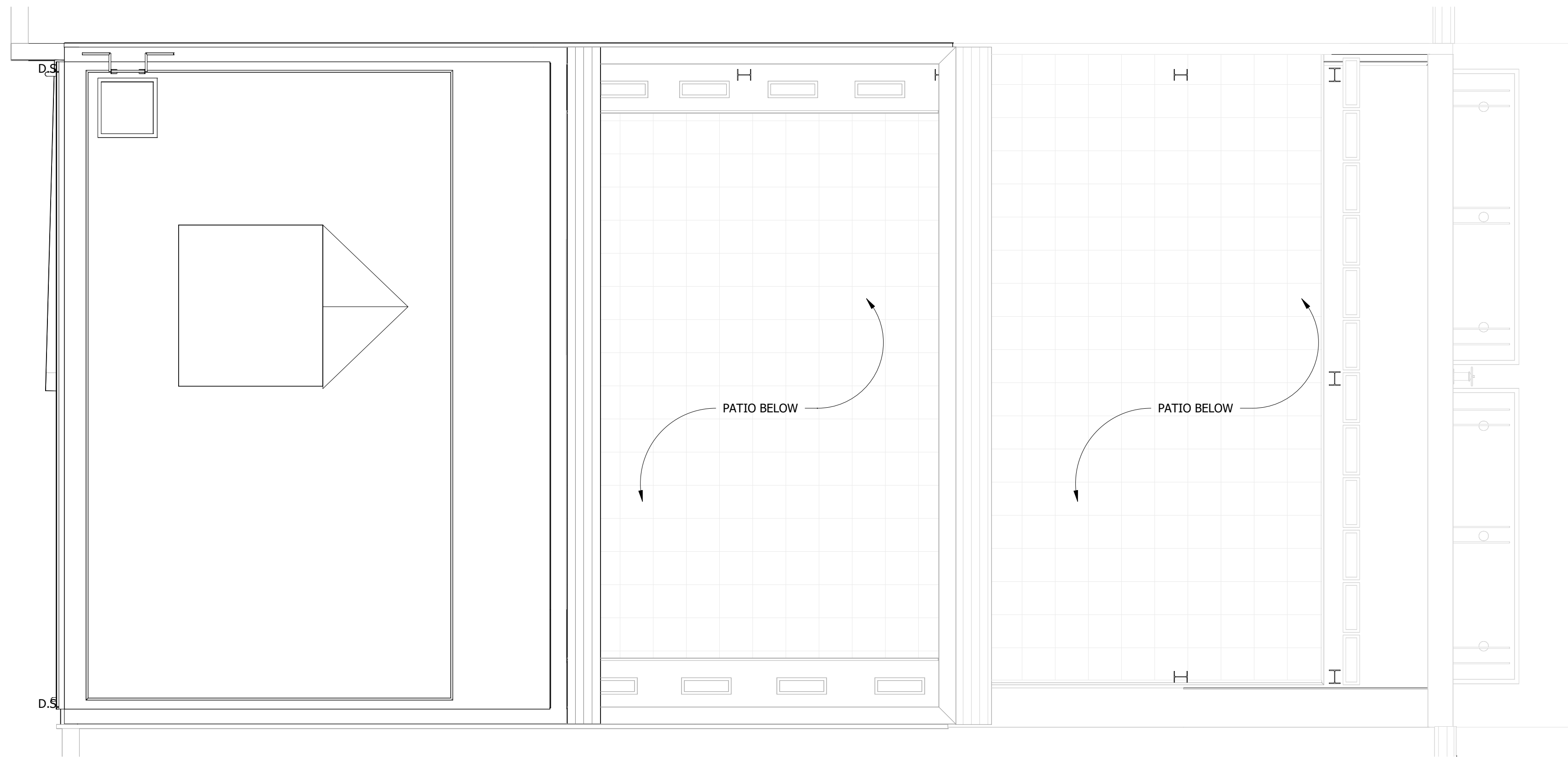
3 THIRD FLOOR
3/16" = 1'-0"



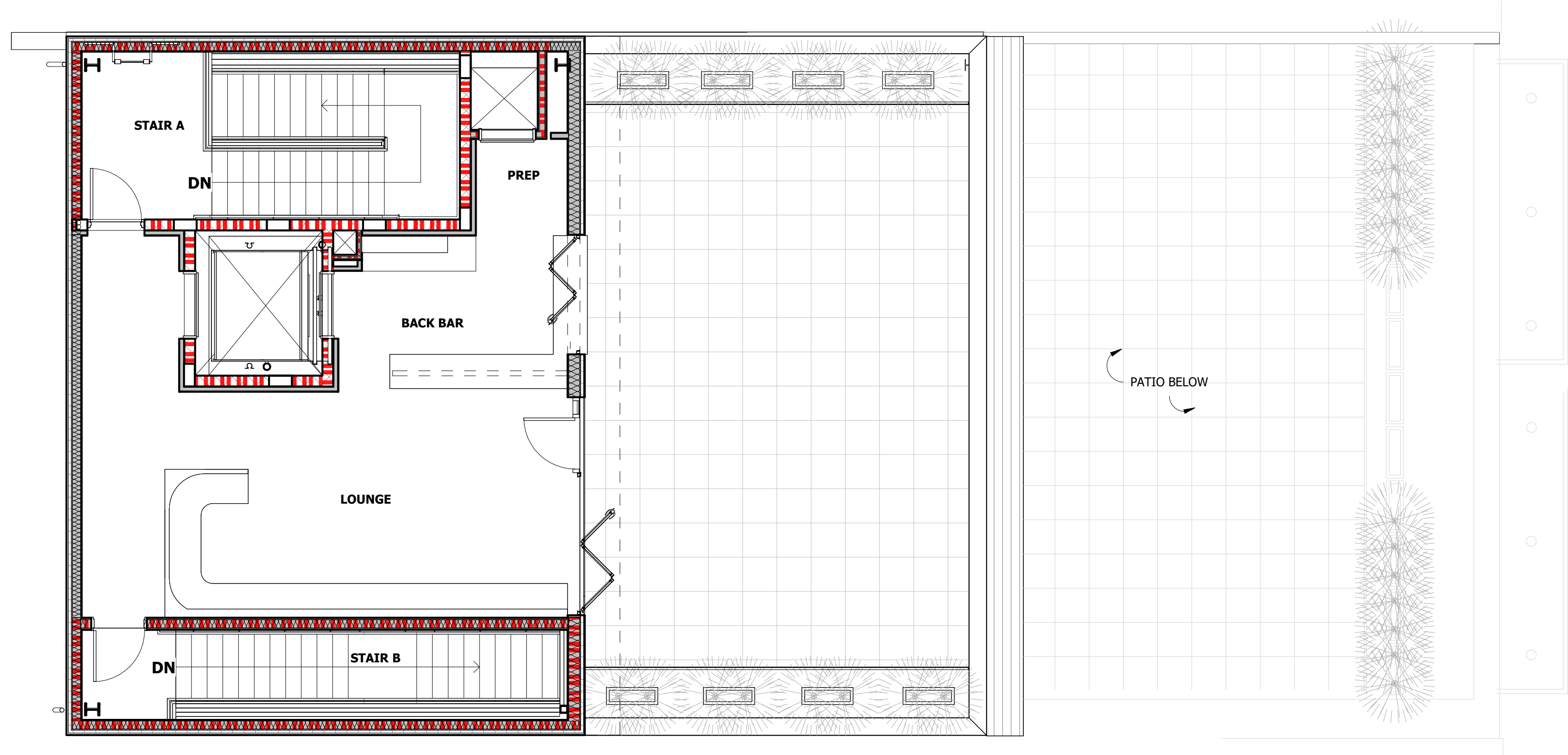
2 SECOND FLOOR
3/16" = 1'-0"



1 FIRST FLOOR
3/16" = 1'-0"



5 ROOF PLAN.
3/16" = 1'-0"



4 FOURTH FLOOR
3/16" = 1'-0"

- ISSUED FOR
- ☐ Lease Outline Diagram
 - ☐ Schematic Design
 - ☐ Design Development
 - ☐ Construction

REVISIONS

PROJECT NUMBER:
25036

DRAWN BY:
SR

DATE:
08.17.2026

DRAWING
FLOOR PLANS